

46TH STREET

PROPOSED PRIVATE DRIVE

PROPOSED PRIVATE DRIVE

70

60



DATE: 12/1/20
 563 386.4236 office 386.4231 fax
 2224 East 12th Street, Davenport, IA 52803

DRAWN BY: TAS
 CHECKED BY: CRT
 DRAWING LOCATION
 S:\DASSO-ANDREW\THE ROCK DAVENPORT

NO.	REVISIONS: DESCRIPTION	DATE

PROJECT: SITE PLAN
 THE ROCK
 DAVENPORT, IOWA

DEVELOPER: STREAMLINE ARCHITECTS
 318 E. THIRD STREET
 DAVENPORT, IOWA 52801

SHEET NO. C1



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, X, AE, AR
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard. Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes. Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN Area of Minimal Flood Hazard Zone X
- Effective LOMRs
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

MAP PANELS

- The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/17/2020 at 9:03 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

SITE PLAN

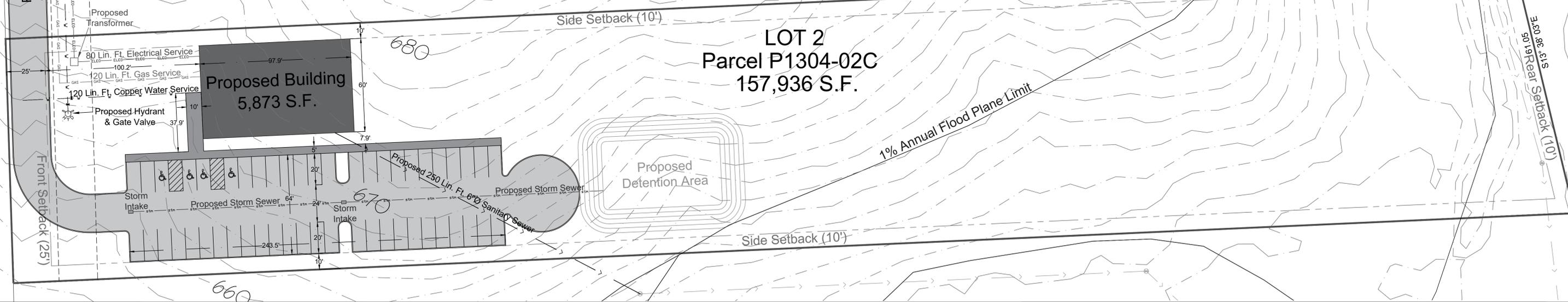
STREAMLINE ARCHITECTS

THE ROCK

TO THE CITY OF DAVENPORT, IA

IOWA ONE CALL 800.292.9889
 Call 2 Working Days before YOU DIG

GRAPHIC SCALE
 30 0 15 30
 (IN FEET)
 1" = 30' (24x36)



70

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