

DESIGN REVIEW BOARD MEETING

CITY OF DAVENPORT, IOWA

MONDAY, APRIL 26, 2021; 5:00 PM

COUNCIL CHAMBERS CITY HALL, 226 W. 4TH STREET

A PARTIALLY ELECTRONIC MEETING IS BEING HELD BECAUSE A FULLY "IN-PERSON" MEETING IS IMPRACTICAL DUE TO CONCERNS FOR THE HEALTH AND SAFETY OF COUNCIL MEMBERS, STAFF, AND THE PUBLIC PRESENTED BY COVID-19, AND TO FOLLOW THE GOVERNOR'S PROCLAMATION AND THE MAYOR'S EXECUTIVE ORDER DIRECTING SOCIAL DISTANCING AND PLACING RESTRICTIONS ON GATHERINGS. IN-PERSON ATTENDANCE BY THE GENERAL PUBLIC AT ANY CITY OF DAVENPORT PUBLIC MEETING WITHIN ITS FACILITIES SHALL BE LIMITED TO 20 PERSONS.

I. Call to Order

II. Secretary's Report

- A. Consideration of the March 22, 2021 meeting minutes.

III. Old Business

- A. Case DR20-06: Request for Design Review, C-D Downtown Zoning District; Revised exterior materials for a new multi-family building at 400 W. River Drive. Mark Seabold on behalf of 400 W River LLC, Petitioner. [Ward 3]
- B. Case DR20-36: Request for Design Approval, C-E Elmore Corners Zoning District; Monument Sign Installation at 6280 N Elmore Avenue. Dr. Brad Burt, petitioner. [Ward 6].
- C. Case DR21-02: Request for Design Review, C-D Downtown Zoning District; Exterior Remodel at 303 West 3rd Street. Kyle Peters, petitioner. [Ward 3]

IV. New Business

- A. Case DR21-05: Request for Design Review, C-V Village of East Davenport Zoning District; Canopy Structure at 1107 Mound Street. John Wisor, Petitioner. [Ward 5]
- B. Case DR21-06: Request for Design Approval, C-D Downtown Zoning District; Projecting Sign Installation at 421 West River Drive. Greg Beaman, petitioner. [Ward 3].
- C. Case DR21-07: Request for Design Approval, C-D Downtown Zoning District; Projecting Sign Installation at 311 East 2nd Street. Mike Lange, Lange Sign Group, on behalf of John McDermott, petitioner. [Ward 3]
- D. Case DR21-08: Request for Design Review, C-D Downtown Zoning District; Painting west wall, window trim and casings at 324 N. Main Street. Andrew Wold, Petitioner. [Ward 3]

V. General Discussion

VI. Public Comment

VII. Adjournment

VIII. Next Board Meeting: May 24, 2021

City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:
Consideration of the March 22, 2021 meeting minutes.

ATTACHMENTS:

Type	Description
▣ Backup Material	Minutes 3-22-2021

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Berkley, Laura	Approved	4/21/2021 - 3:18 PM

MINUTES
DESIGN REVIEW BOARD MEETING
CITY OF DAVENPORT, IOWA

MONDAY, MARCH 22, 2021; 5:00 PM

COUNCIL CHAMBERS CITY HALL 226 WEST 4TH STREET

A PARTIALLY ELECTRONIC MEETING IS BEING HELD BECAUSE A FULLY IN
PERSON MEETING IS IMPOSSIBLE OR IMPRACTICABLE DUE TO CONCERNS FOR THE HEALTH
AND SAFETY OF BOARD MEMBERS, STAFF, AND THE PUBLIC PRESENTED BY COVID-19, AND
TO FOLLOW THE GOVERNOR'S PROCLAMATION DIRECTING SOCIAL DISTANCING AND PLACING
RESTRICTIONS ON GATHERINGS

I. Call to Order

Present: Wilkinson, Slobojan, Kvapil, Gramenz, Stinocher, Trees

Absent: Rashid, Harris, Salzer, Lundgren, Howell,

Staff: Berkley, Pradhan

II. Secretary's Report

- A. Consideration of the February 22, 2021 Minutes. The minutes were approved following a motion by Slobojan and a second by Gramenz.

III. Old Business

IV. New Business

- A. Case DR21-04: Request for Design Approval, C-V Village of East Davenport Zoning District; Window Replacement at 2230 E 11th Street. Bruce Boyler, petitioner. [Ward 5] Bruce Boyler was present.

Motion by Slobojan and seconded by Gramenz to approve the work as presented. Motion to approve passed unanimously.

- B. Case DR21-03: Request for Design Approval, C-D Downtown Zoning District; New Sign Installation at 118 E 4th Street. Pamala Diedrick, petitioner. [Ward 3] Pamala Diedrick was present.

Motion by Trees and seconded by Kvapil to approve work as presented with the condition that the sign be installed into the mortar instead of the brick. The motion to approve passed unanimously.

V. General Discussion

VI. Public Comment

VII. Adjournment: The meeting adjourned at 5:25 pm

VIII. Next Board Meeting: April 26, 2021

City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR20-06: Request for Design Review, C-D Downtown Zoning District; Revised exterior materials for a new multi-family building at 400 W. River Drive. Mark Seabold on behalf of 400 W River LLC, Petitioner. [Ward 3]

Recommendation:

Staff recommends approval as presented.

Background:

The Design Review Board originally approved the new construction of the multi-family building at 400 W. River Drive at its March 23, 2020 meeting. The petitioner has proposed an altered the exterior material palate for the project.

The materials and colors are high quality and durable and are subtle changes from the original proposed materials.

ATTACHMENTS:

Type	Description
▣ Backup Material	Application
▣ Backup Material	Revised Exterior Materials
▣ Backup Material	Previously Approved Project

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Berkley, Laura	Approved	4/23/2021 - 5:55 PM



Complete application can be emailed to planning@davenportiowa.com

Property Address*

*If no property address, please submit a legal description of the property.

Applicant (Primary Contact)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Application Form Type:

Plan and Zoning Commission

Zoning Map Amendment (Rezoning)
Planned Unit Development
Zoning Ordinance Text Amendment
Right-of-way or Easement Vacation
Voluntary Annexation

Owner (if different from Applicant)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Zoning Board of Adjustment

Zoning Appeal
Special Use
Hardship Variance

Engineer (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Design Review Board

Design Approval
Demolition Request in the Downtown
Demolition Request in the Village of
East Davenport

Architect (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Historic Preservation Commission

Certificate of Appropriateness
Landmark Nomination
Demolition Request

Administrative

Administrative Exception
Health Services and Congregate
Living Permit

Attorney (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Design District:

CD - Downtown

CV – Village of East Davenport

CE – Elmore Corners

Not sure which district you are in? You can click [here](#) for a map of the districts or you can contact Planning staff at (563) 326-6198 or planning@davenportiowa.com and we can help you.

When is an application for design approval required?

Prior to the commencement of any work.

What type of activity requires design approval?

- New construction or an alteration to the exterior of a structure where changes are visible from the public right-of-way.
- Installation of any sign or action related to a sign.
- New parking lots, fencing/walls and landscaping or an alteration to existing parking lots, fencing/walls or landscaping.
- Streetscape elements within the right-of-way.
- Demolition within the C-D and C-V Districts requires the owner(s) of record or the City to apply for a demolition approval.

Submittal requirements

- Please contact Planning staff at (563) 326-6198 or planning@davenportiowa.com so we can help you determine what exactly is required to be submitted.
- Incomplete applications will not be accepted.

Submittal requirements for all types of requests:

- The completed application form.
- A work plan that accurately and completely describes the work to be done.
- Color digital photographs depicting the building elevations and proposed construction.

Submittal requirements for specific types of requests:

Minor alterations to existing buildings and new and replacement signs (all of the above and):

- Specifications, including dimensions, material used and color of the material.
- A rendering of the proposed alteration as depicted on the existing building.
- Samples of the materials, including the color, along with scaled, accurately colored elevations for any proposed sign and/or sign package.

Minor additions, site improvements and outdoor storage areas (all of the above and):

- A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels.
- A preliminary grading plan showing before and after grades at two-foot contour intervals, where deemed necessary by the development official.
- Outdoor storage areas shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the materials and treatment proposed that would accurately reflect the screening of the storage areas.
- A landscape plan.

Major additions and new buildings (all of the above and):

- Reproductions of building or site information found in the historical surveys if applicable
- A verifiable legal description, or a land survey.
- A map showing the existing topography of other properties at two-foot contour intervals, extending one hundred feet from the subject parcel.
- Elevation drawings, in color and drawn to scale, of the front, sides, rear, and roof lines of all proposed buildings or structures, illustrating the appearance and treatment of required screening elements for roof-mounted equipment, where deemed necessary by the development official.
- A materials board containing samples of each type of exterior building materials.

Formal Procedure

(1) Application:

- Prior to submission of the application, the applicant shall correspond with Planning staff to discuss the request, potential alternatives and the process.
- The submission of the application does not constitute official acceptance by the City of Davenport. Planning staff will review the application for completeness and notify the applicant that the application has been accepted or additional information is required. Inaccurate or incomplete applications may result in delay of required public hearings.

(2) Design Review Board consideration of the request:

- Only work described in the application may be approved by the Board.
- If the Board determines there is insufficient information to make a proper judgment on the application, it may continue the application a maximum of three regularly schedule consecutive meetings. This time period does not apply if the applicant requests the continuance.

(3) After the Design Review Board's decision:

- If approved, design approval does not constitute a City permit or license and does vest against any other land development regulation or regulatory approval. You will need to contact Davenport Public Works and other regulatory agencies regarding permits and/or licenses.
- If approved, design approval will expire one year from the date of approval unless a building permit is obtained within such period. The Zoning Administrator may grant an extension for a period of validity longer than one year. An applicant may apply in writing for an extension of time at any time prior to the date of expiration.
- The applicant may appeal the Design Review Board's determination to the City Council. A written appeal must be submitted to the Zoning Administrator within thirty calendar days of the Design Review Board's decision.

Applicant:

Date:

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by:

Date:

Planning staff

Date of the Public Meeting:

Meetings are held in City Hall Council Chambers located at 226 West 4th Street, Davenport, Iowa.

Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.



400 W River Drive
43,450 SF

unit mix :
1 - 1BR townhouse
4 - 2 BR townhouses
50 - 1BR apartments



view from River Drive and Ripley St.



view from south (River Drive)



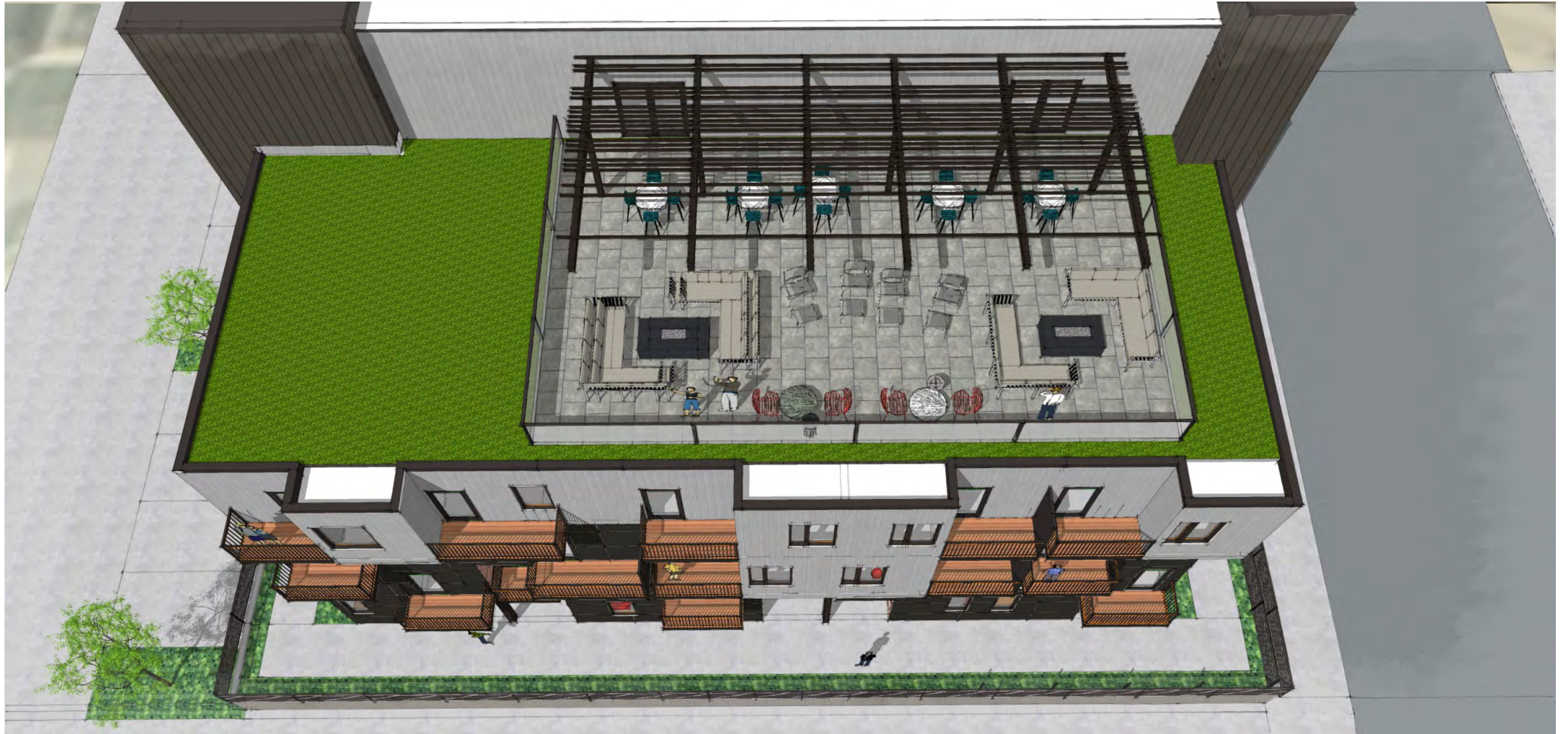
view from west



view from east



view from north (alley)



view of south facing roof deck



Corrugated Galvanized Metal Panel



NewTechWood- Wood Grain
“Brazilian IPE”



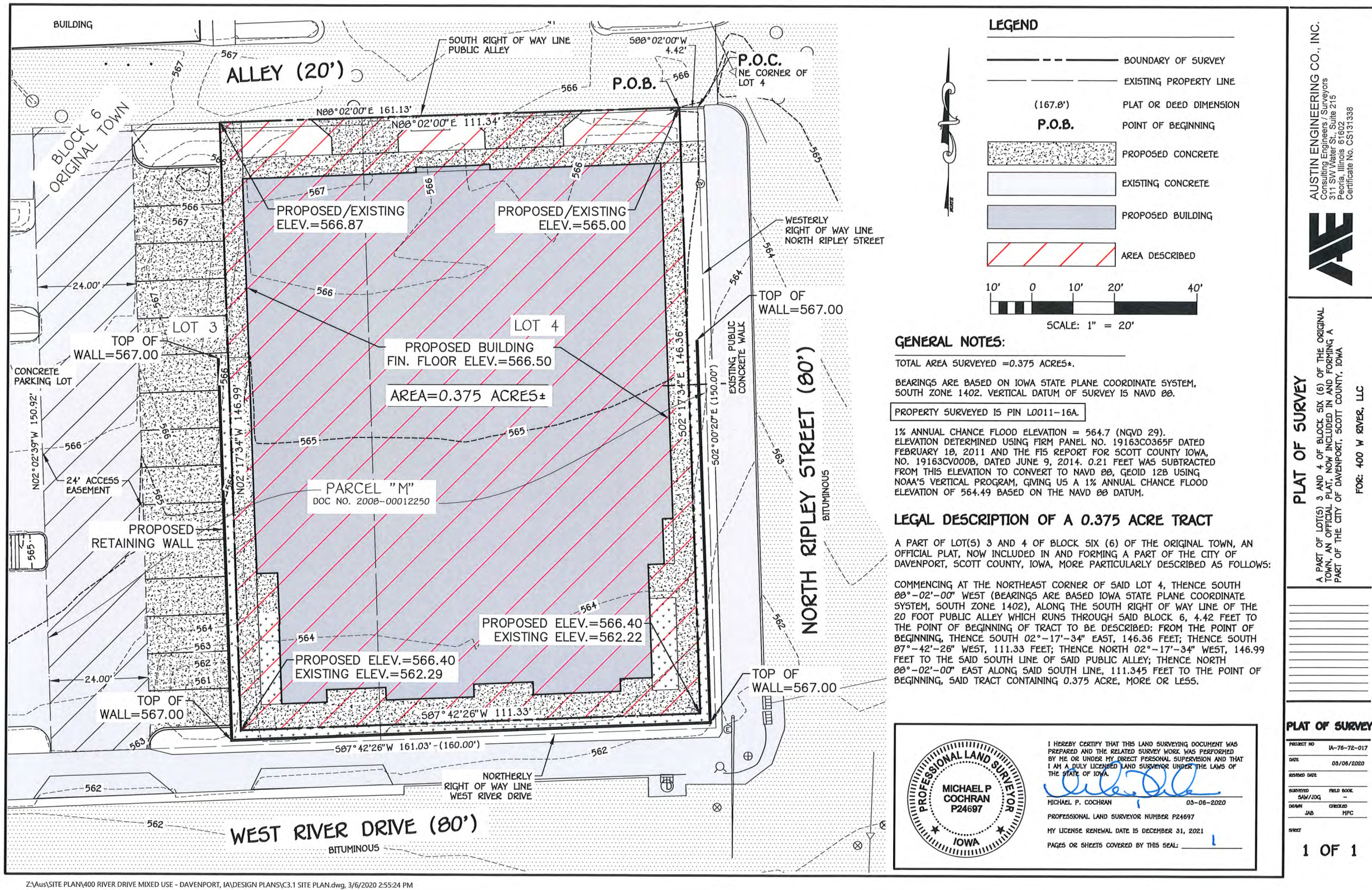
LP Smartside 38 series
“Coffee” Diamond Kote
Texture: Embossed Rough Sawn Cedar

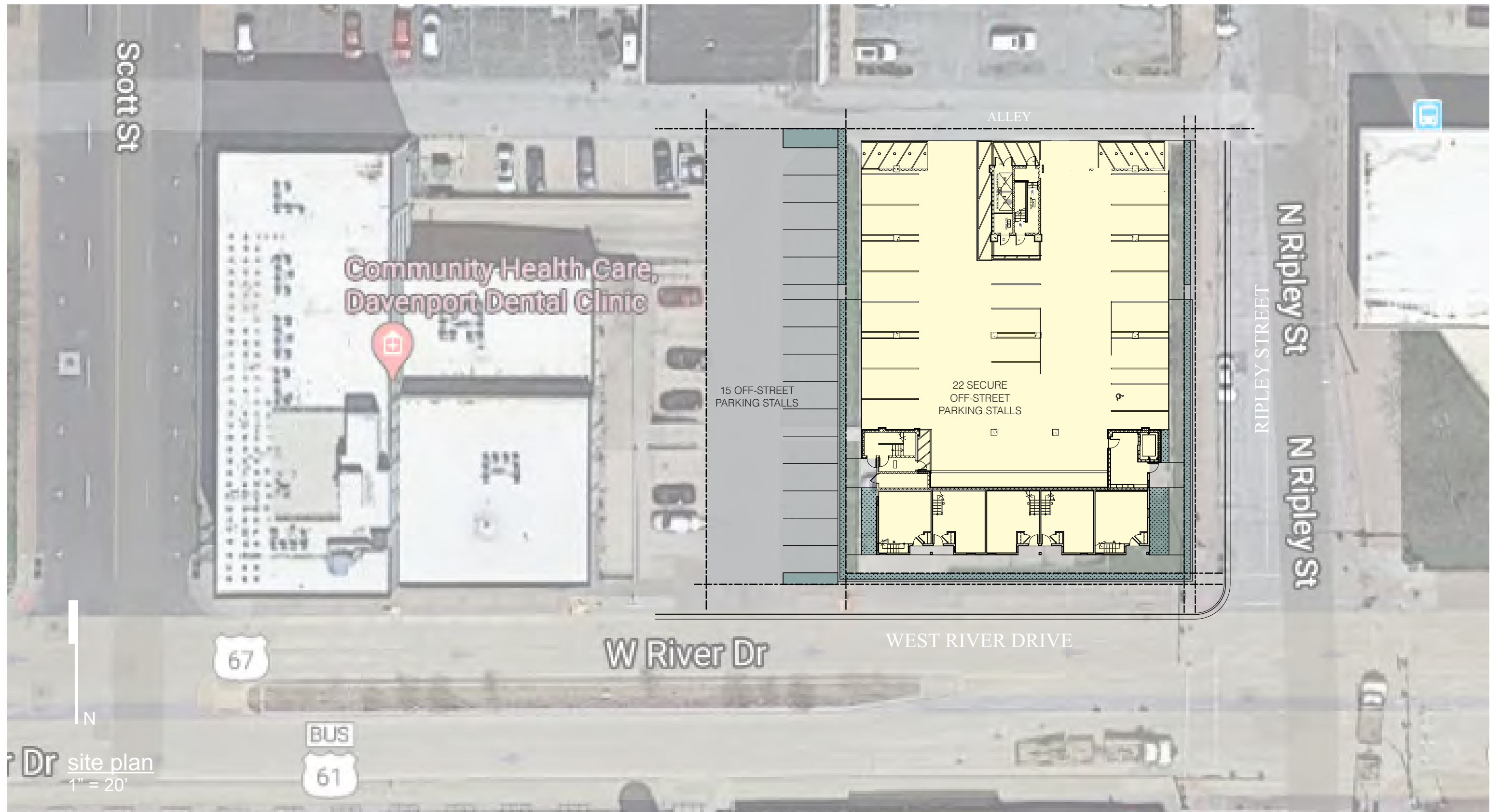
material selections



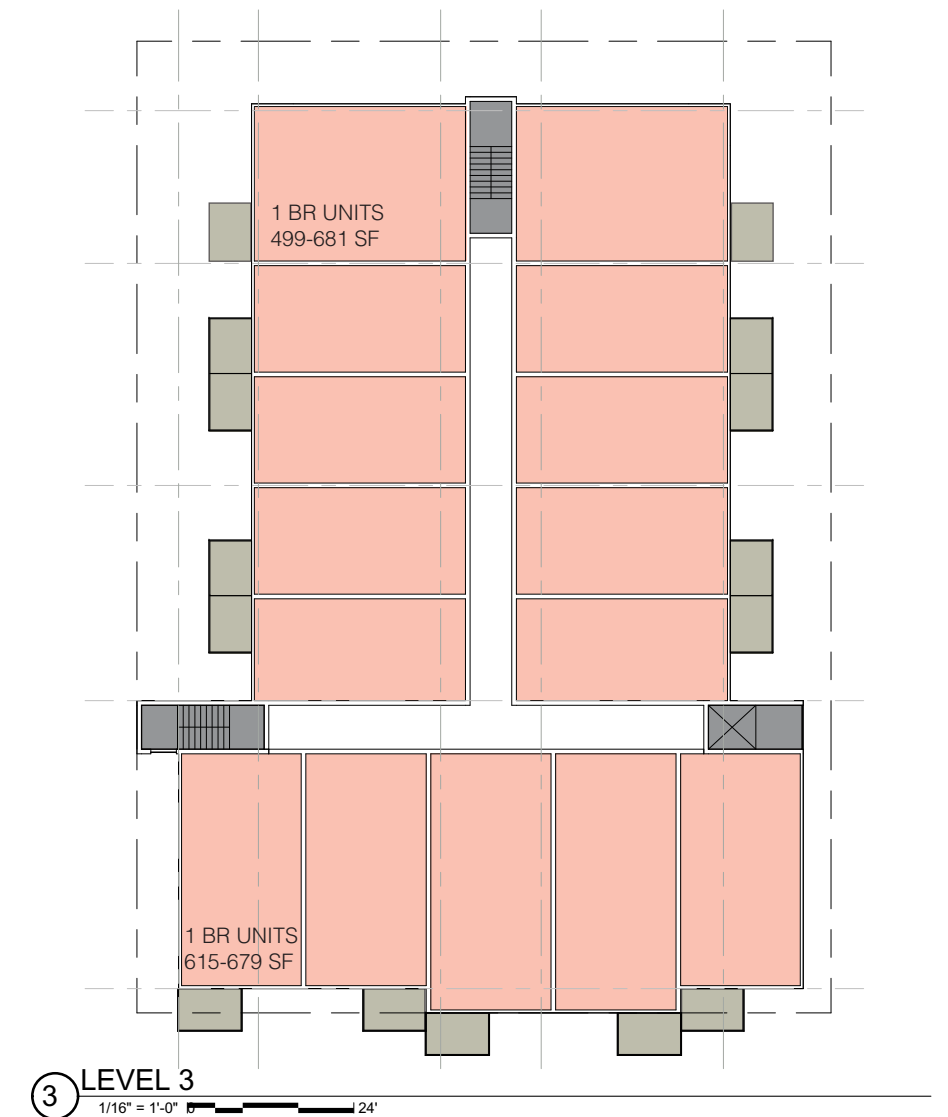
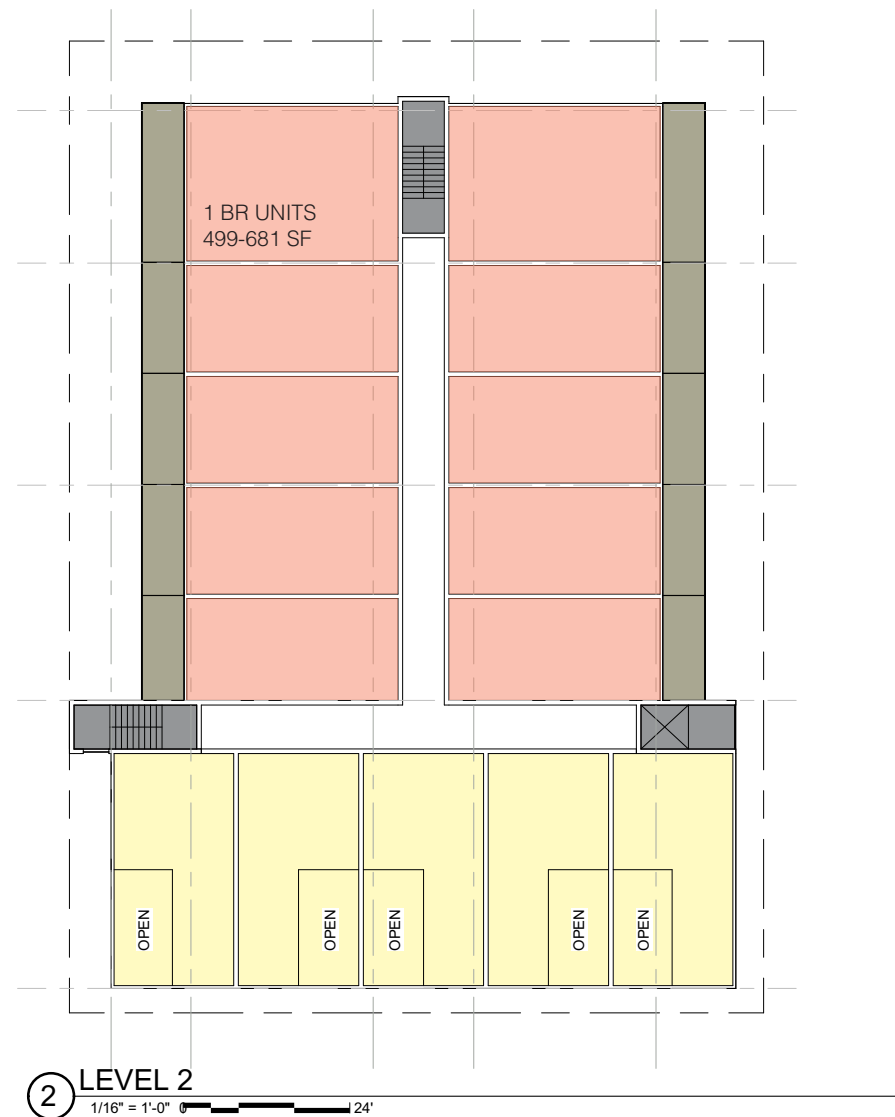
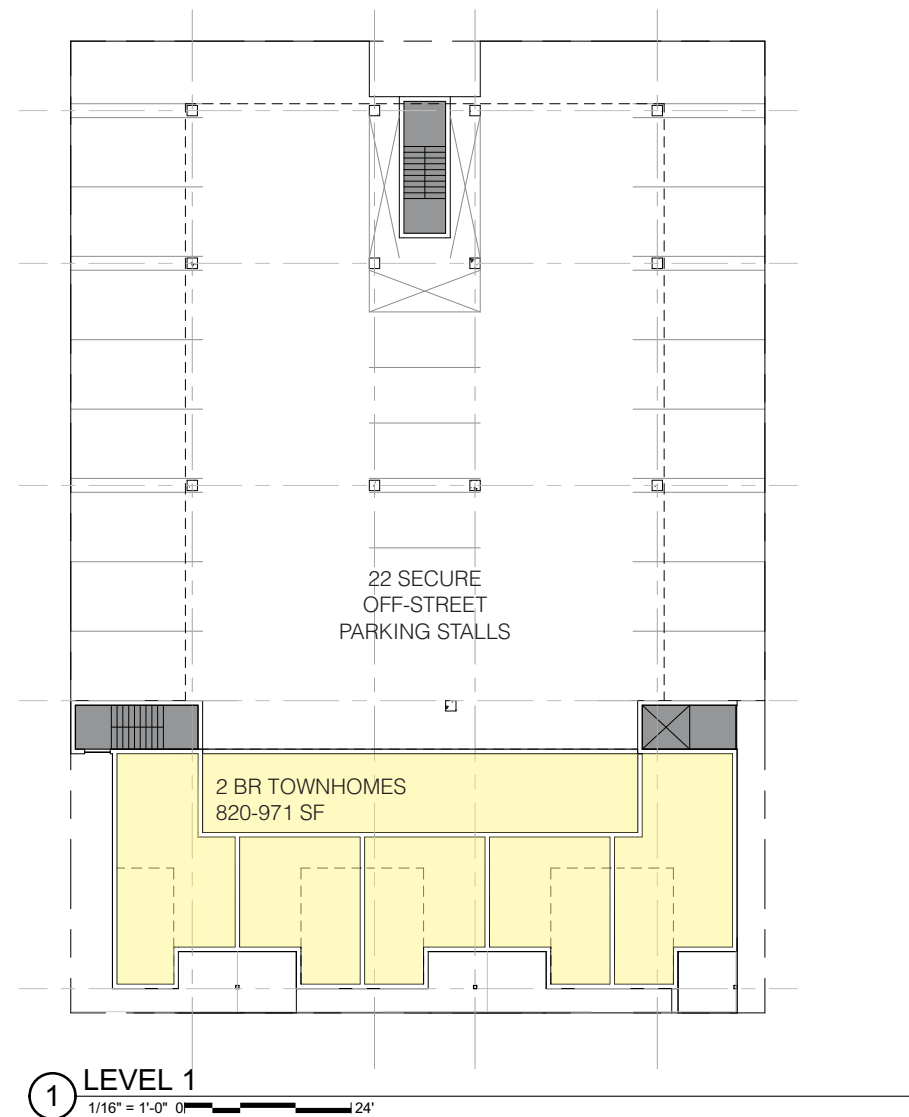
400 W River Drive
43,450 SF

unit mix :
1 - 1BR townhouse
4 - 2 BR townhouses
50 - 1BR apartments

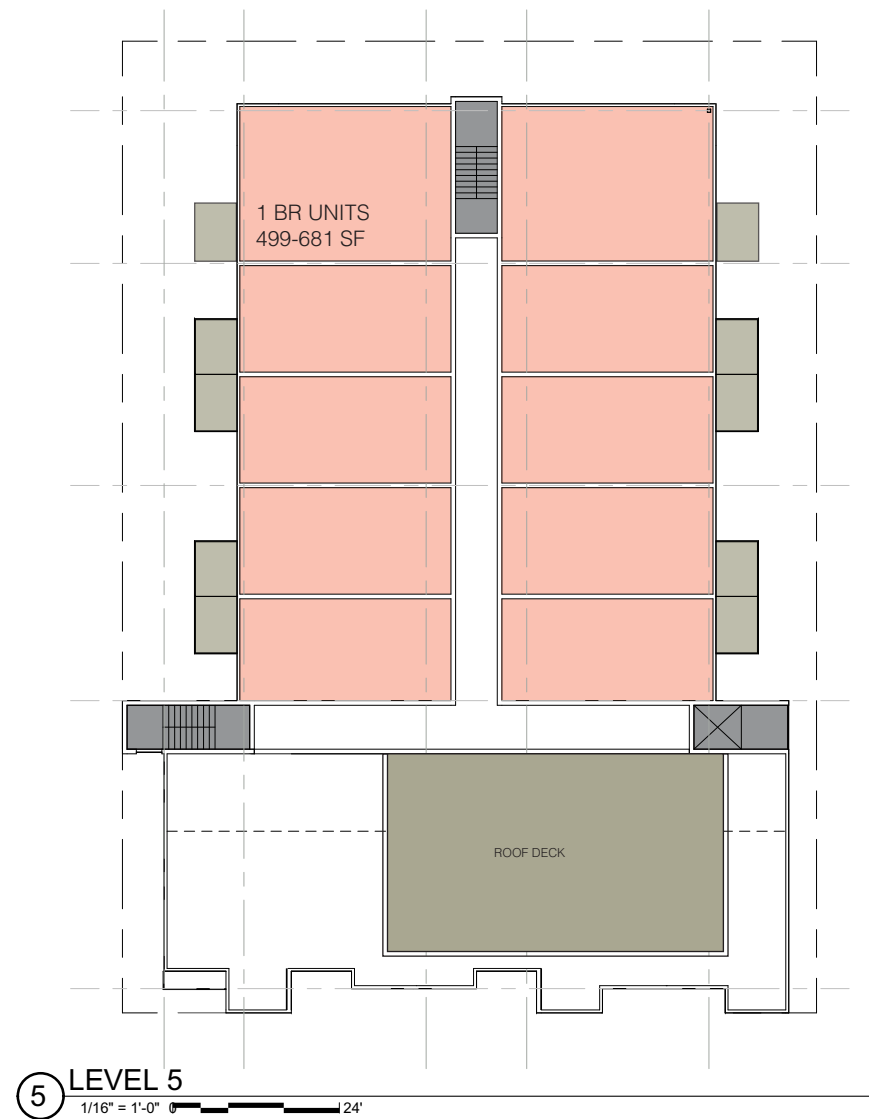
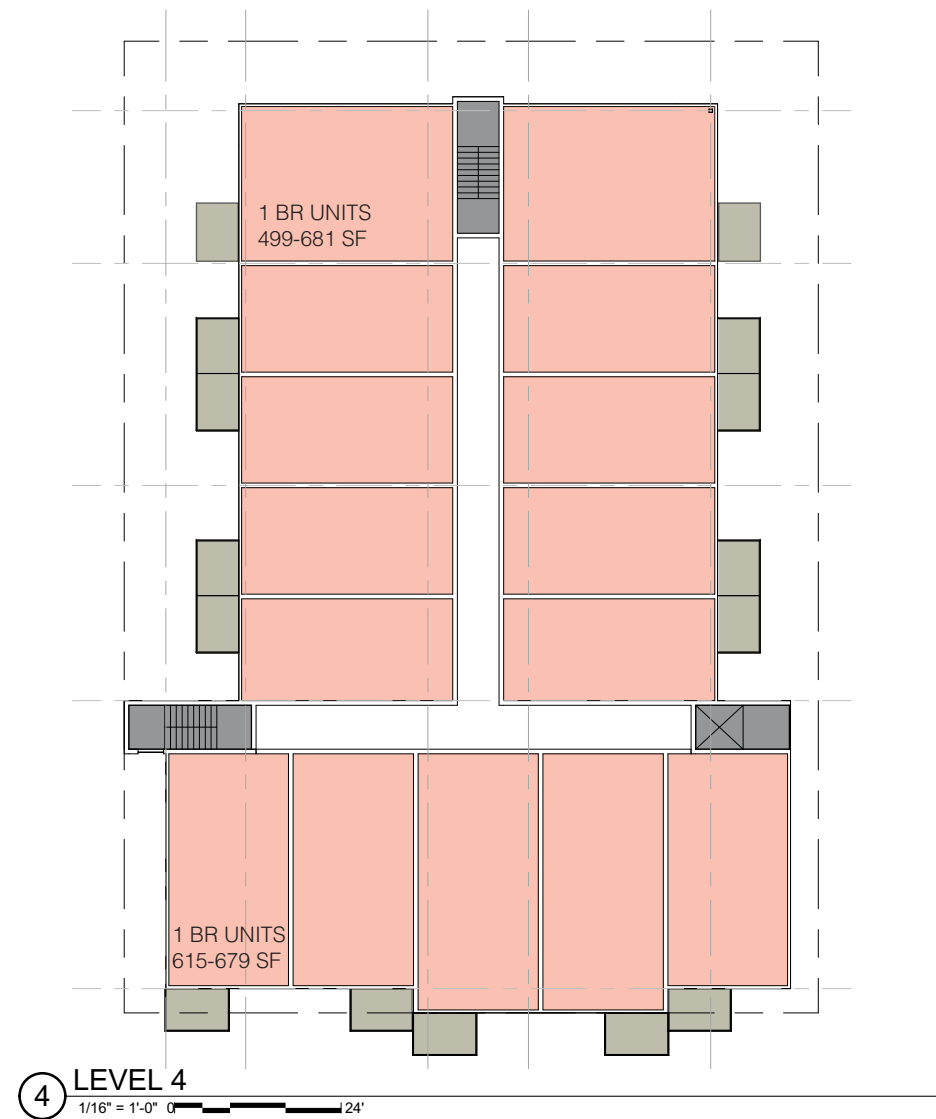




400 W River Drive
Davenport, Iowa



floor plan diagrams



floor plan diagrams



view from River Drive and Ripley St.



view from south (River Drive)



view from west



view from east



view from north (alley)



view of south facing roof deck



PAC-CLAD Precision 7/8" HWP 12
variable colors
"weathered zinc"
"zinc"
"city scape"



NICHHA - Vintage Wood
"spruce"



LP Smartside 38 series
"Coffee" Diamond Kote
Texture: Embossed Rough Sawn Cedar

material selections

400 W River Drive
Davenport, Iowa

City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR20-36: Request for Design Approval, C-E Elmore Corners Zoning District; Monument Sign Installation at 6280 N Elmore Avenue. Dr. Brad Burt, petitioner. [Ward 6].

Recommendation:

Staff recommends approval with the following conditions:

1. The signs shall be submitted through the City's Electronic Plan Review portal for sign building permits.
2. The height of the monument sign shall not exceed 25 feet.
3. The square footage of the monument sign shall not exceed 100 square feet.
4. Landscaping shall extend a minimum of two feet from the base of the monument sign on all sides.
5. Landscaping shall not grow to cover the sign message.

Background:

The proposed monument sign will be located at the southeast corner of the property. The material used for the monument base is natural stone outcrops, which are approximately 18" x 36" x 24". The proposed lettering of the sign is black powder coated metal. The sign will be illuminated with front "up-lit" landscape lights.

The following are dimensions of the proposed waterfall style monument sign:

- Height: 4.5 feet
- Width: 50 feet
- Depth: 2 feet at the base
- Height of Letters: 20 inches by 36 feet
- Overall Square Footage of Sign: 60 Square Feet

Landscaping includes small shrubs in front of the base, taller decorative grasses to the sides and rear, hedge rows and decorative trees further behind. A full water-fall feature will be installed between the metal letters of the sign and the stones.

The attached sketch details the proposed monument sign, but in a different location of the site.

The signage section of the Elmore Corners Design Guidelines have been provided as a reference.

ATTACHMENTS:

Type	Description
□ Backup Material	Application
□ Backup Material	Monument Sign Drawing
□ Backup Material	Proposed Monument Sign Location
□ Backup Material	Email Correspondence

- ▣ Backup Material
- ▣ Backup Material

Example Photos

Elmore Corners Sign Design Guidelines

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Werderitch, Matt	Approved	4/23/2021 - 3:28 PM



Complete application can be emailed to planning@ci.davenport.ia.us

Property Address*

*If no property address, please submit a legal description of the property.

Applicant (Primary Contact)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Application Form Type:

Plan and Zoning Commission

Zoning Map Amendment (Rezoning)
Planned Unit Development
Zoning Ordinance Text Amendment
Right-of-way or Easement Vacation
Voluntary Annexation

Owner (if different from Applicant)

Name:
Company:
Address:
City/State/Zip
Phone:
Email:

Zoning Board of Adjustment

Zoning Appeal
Special Use
Hardship Variance

Engineer (if applicable)

Name:
Company:
Address:
City/State/Zip
Phone:
Email:

Design Review Board

Design Approval
Demolition Request in the Downtown
Demolition Request in the Village of
East Davenport

Architect (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Historic Preservation Commission

Certificate of Appropriateness
Landmark Nomination
Demolition Request

Administrative

Administrative Exception
Health Services and Congregate
Living Permit

Attorney (if applicable)

Name:
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CD - Downtown

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Applicant:

Date:

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by:

Date:

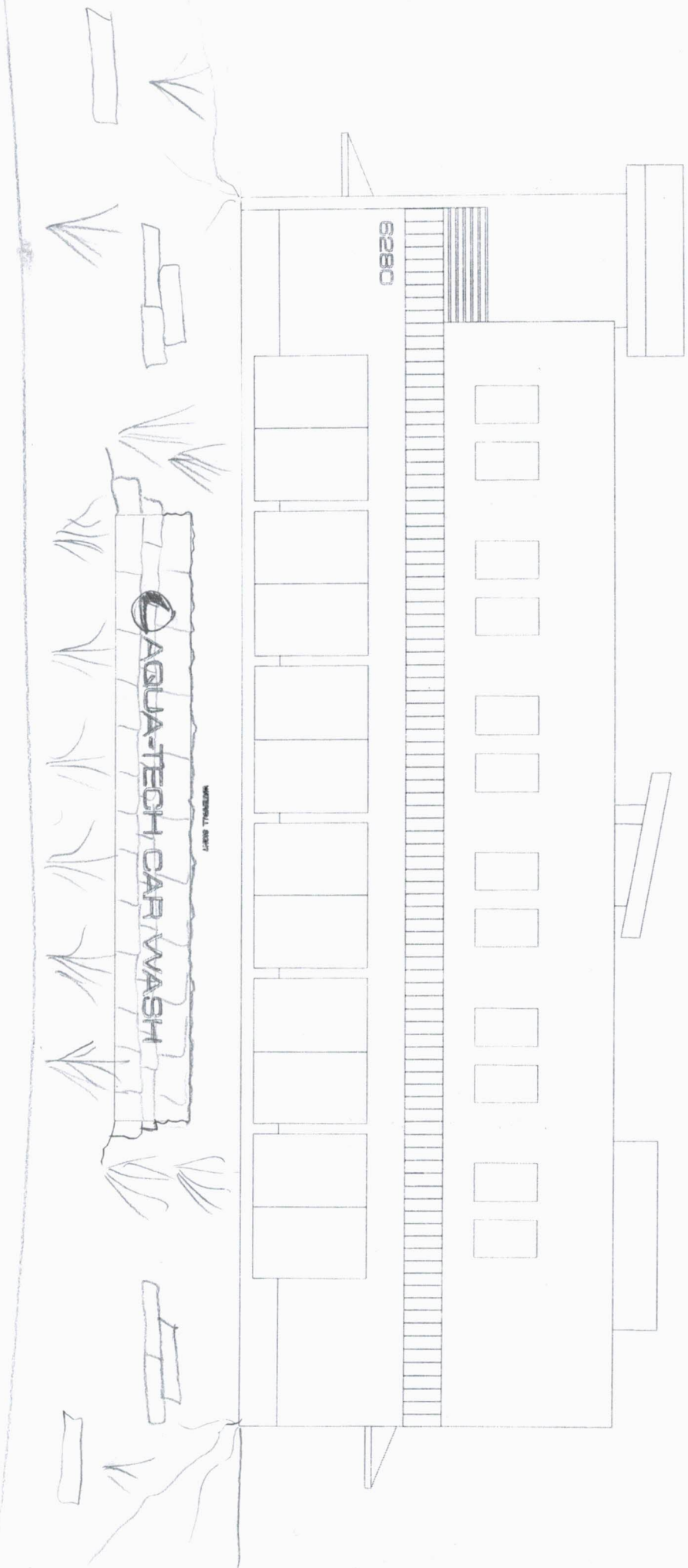
Planning staff

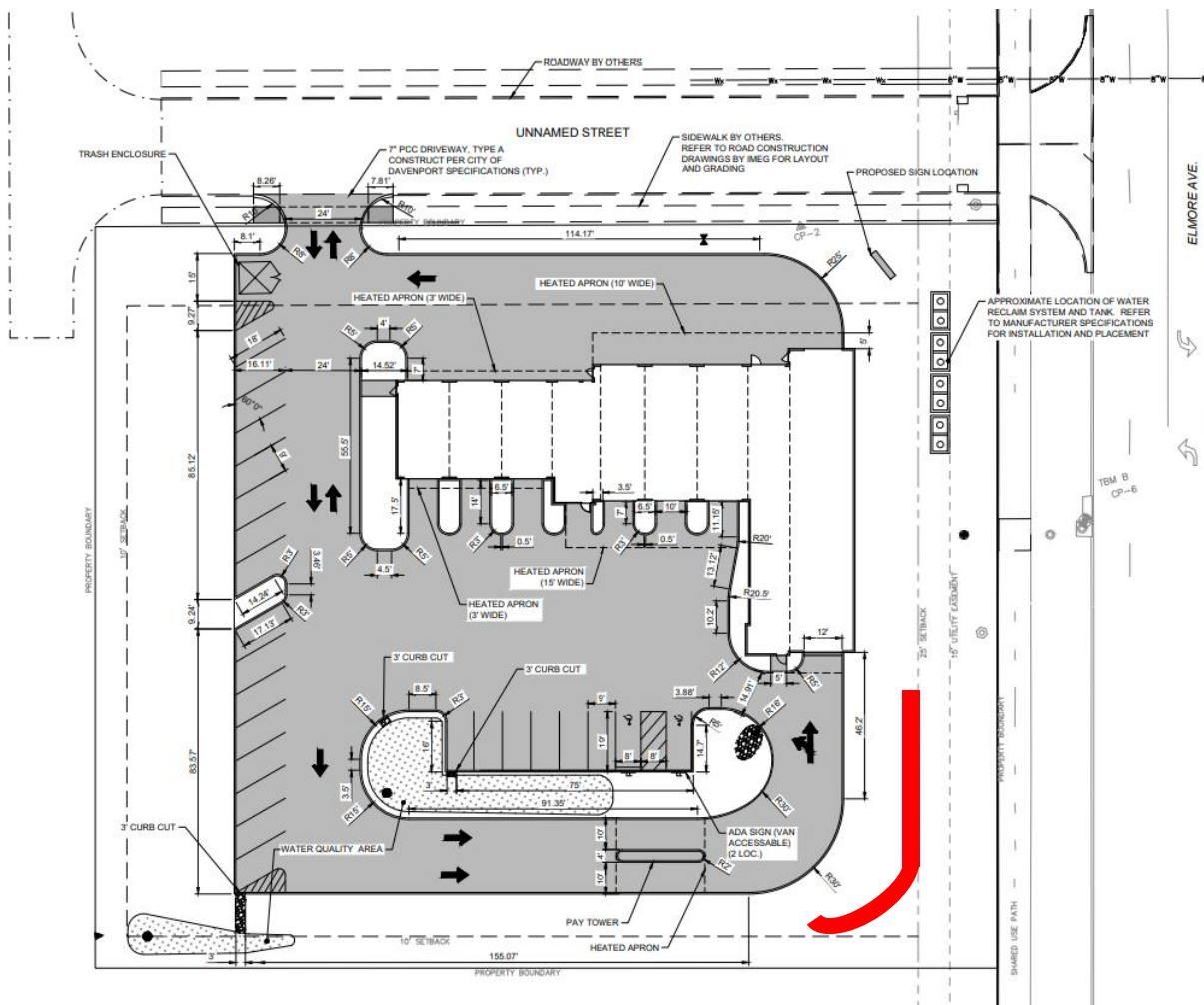
Date of the Public Meeting:

Meetings are held in City Hall Council Chambers located at 226 West 4th Street, Davenport, Iowa.

Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.





From: Berkley, Laura [<mailto:Laura.Berkley@davenportiowa.com>]
Sent: Tuesday, March 30, 2021 9:22 AM
To: 'Brad Burt' <drbradley@burtclinic.com>
Cc: Pradhan, Trishna <Trishna.Pradhan@davenportiowa.com>
Subject: AquaTec Monument Sign

Hi Brad,

I received your voicemail that you are ready to take the monument waterfall sign to DRB for review and approval. Since the concept of the sign was part of your original application, you do not need to fill out a new application. Here is a list of information I will need to take it to DRB:

- Location of the sign **SE corner of property (per the site plan included)**
- Dimensions (height **4.5'**, width **50'** and depth **2'** of the base, height of the letters **20" x 36"** and overall square footage of actual signage area = **60 sq.ft.**)
- Material type for both the base **natural stone outcrops (approximately 18" x 36" x 24")** and the lettering of the sign **black powder coated metal**
- How the light will be lit: **front "up-lit" from landscape lights**
- Landscaping plan for around the sign. **Small shrubs in front of the base, taller decorative grasses to the sides and behind, hedge rows and decorative trees further behind closer to the concrete drives. A full water-fall feature will be installed between the metal letters of the sign, and the stones.**
- Renderings of the sign **(see attached)**

Aqua Tech Car Wash

6280 North Elmore Avenue

DAVENPORT
IOWA | USA



Example Signage

Aqua Tech Car Wash

6280 North Elmore Avenue

DAVENPORT
IOWA | USA



SIGNAGE

Guideline: Signage shall function as a marketing device, complement building architecture and materials, and not dominate the site. All signs must meet City Sign Codes.

Appropriate and attractively designed site signage is an important component of the overall aesthetic appeal of any commercial or mixed-use area. Good signage based on design and graphic quality is encouraged throughout Elmore Corners.

- Business signage shall be wall mounted (projecting or flat), monument (if located away from the building), and window, canopy or awning style
- Similar materials, colors and styles shall be used to ensure the signage is consistent with the building design
- Signs shall reflect and enhance the nature and appeal of the retail and commercial experience and not be just a list of tenants
- Materials shall be of high quality to prevent premature weathering of the sign
- Signs shall fit within and not overwhelm the architectural features of the buildings
- Signs shall harmonize with their surroundings in terms of size, shape, color, texture, and lighting so that they complement the character of the neighborhood
- Signs shall be professionally constructed using high quality materials such as metal, stone, tile, composites, brass/metal plated, hardwood, and glass
- The creative use of materials, lettering, and interesting use of graphics is allowed and encouraged if the signs work well and complement the overall building and street design
- Signs shall be designed with the purpose of promoting retail and street activity while enhancing the pedestrian experience
- Addresses shall be clearly visible from the public right-of-way
- The use of tastefully designed pedestrian scale directories is encouraged for multi-tenant buildings
- Monument signs shall contain a base and not be pole-mounted
- Monument signs shall contain landscaping at the base that will not grow to cover the sign message
- Lighting shall be designed carefully to avoid excessive glare or over illumination:
 - Letters can be illuminated internally or externally
 - External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path
 - Fixtures shall be simple but attractive
 - Lighting signs and letters shall be done in an attractive and subtle technique
 - Individual letters that are backlit, halo-lit, reverse illumination channel letters, and neon are encouraged



Example Signage

Inappropriate Signage

- Pole signs, billboard style wall-mounted and roof mounted signs are not allowed without special permission from the City Plan Commission
- Monument signs advertising individual businesses
- Tall mast signs
- Large temporary signs that impede pedestrian traffic
- Inflatable signs
- Overly illuminated signs
- Unshielded sign light sources, allowing upward transmission of light
- LED, animated, flashing, blinking, and video signs
- Plastic box signs
- Generic, un-stylized signs
- Large temporary signage located in windows that reduces transparency
- Large-scale street-level signage that overwhelms the pedestrian environment
- Signage that obscures architectural details
- Glaring and directed spotlights that affects neighboring properties

ENTERTAINMENT DISTRICT SIGNAGE

Since the area around the Rhythm City Casino is planned for entertainment purposes, sign design and guidelines may be relaxed to create an exciting sense of place. Signs in this area may be taller along the interstate corridors, contain additional illumination, and may have moving components to advertise this district and its activities.



City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR21-02: Request for Design Review, C-D Downtown Zoning District; Exterior Remodel at 303 West 3rd Street. Kyle Peters, petitioner. [Ward 3]

Recommendation:

Staff recommends approval subject to the following condition:

1. The street trees on West 3rd Street and Harrison Street shall be preserved.
2. The use of the public right-of-way for outdoor seating shall be approved by City Council.

Background:

The Design Review Board approved exterior façade renovations at its February 22, 2021 meeting. The Daiquiri Factory is seeking design approval for landscaping, signage, and outdoor dining railings at 303 West 3rd Street.

The proposed on-site landscape plan consists of planting ten winter gem boxwood shrubs in a landscaping pebble bed along the Harrison Street frontage.

The overall exterior signage attempts to capture the personality of the Daiquiri Factory brand by use of color and style. Two wall signs are proposed to be installed on the east and north building elevations. The language of the signs read "daq fac est. 2004" and then is followed by an illuminated accent band that extends the length of the east and north facades.

The applicant is also proposing to remove two street trees near the intersection of Harrison Street and West 3rd Street to allow for enhanced visibility of the wall signs. However, the removal of street trees is contrary to City policy. Trimming of the trees likely would achieve the necessary visibility.

Both wall signs will be internally illuminated. The proposed wall signs comply with the standards outlined in Chapter 17.12 of the Zoning Ordinance.

The outdoor dining area consists of 308 square feet enclosed by a 3.5 foot patio railing. The black metal fence defines the exterior patio from the public walkway. The outdoor dining area requires approval from City Council.

ATTACHMENTS:

Type	Description
▣ Backup Material	Application
▣ Backup Material	Renderings
▣ Backup Material	Landscaping Plan

- ▣ Backup Material
- ▣ Backup Material
- ▣ Backup Material
- ▣ Backup Material
- ▣ Backup Material

Tree Overlay Street Images
 Railing Details
 Signage East
 Signage North
 Photos

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Werderitch, Matt	Approved	4/23/2021 - 4:32 PM



Complete application can be emailed to planning@davenportiowa.com

Property Address*

*If no property address, please submit a legal description of the property.

Applicant (Primary Contact)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Application Form Type:

Plan and Zoning Commission

Zoning Map Amendment (Rezoning)
Planned Unit Development
Zoning Ordinance Text Amendment
Right-of-way or Easement Vacation
Voluntary Annexation

Owner (if different from Applicant)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Zoning Board of Adjustment

Zoning Appeal
Special Use
Hardship Variance

Engineer (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Design Review Board

Design Approval
Demolition Request in the Downtown
Demolition Request in the Village of
East Davenport

Architect (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Historic Preservation Commission

Certificate of Appropriateness
Landmark Nomination
Demolition Request

Administrative

Administrative Exception
Health Services and Congregate
Living Permit

Attorney (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

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CD - Downtown

CV – Village of East Davenport

CE – Elmore Corners

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- A rendering of the proposed alteration as depicted on the existing building.
- Samples of the materials, including the color, along with scaled, accurately colored elevations for any proposed sign and/or sign package.

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Applicant:

Date:

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by:

Date:

Planning staff

Date of the Public Meeting:

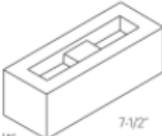
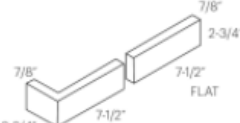
Meetings are held in City Hall Council Chambers located at 226 West 4th Street, Davenport, Iowa.

Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.

Bayou Brick Examples:



QUEEN SIZE			
 2-3/4" 7-1/2" 2-3/4"	FULL SIZE BRICK	PIECES PER S.F.	5.5 PC
		PIECES PER PALLET	948 PC
		PIECES PER TRUCKLOAD	12,324 PC
		WEIGHT PER PIECE	3.10 LB
 7/8" 7-1/2" 2-3/4" 7/8" 7-1/2" 2-3/4" CORNER FLAT	THIN CUT BRICK	PIECES PER S.F.	5.5 PC
		PIECES PER L.F.	4 PC
		PIECES PER PACKAGE	PACKAGING IS DONE TO THE EXACT AMOUNT REQUESTED
		WEIGHT PER PIECE	1 LB



www.streamlinearchitects.com

Streamline Architects

Principal Architect
Andrew Dasso, AIA
575 12th Avenue
East Moline, IL
309-737-8587
andrew@buildbyarchitects.com

Project Manager
Joshua Arguello
575 12th Avenue
East Moline, IL
563-265-4348
joshua@streamlinearchitects.com

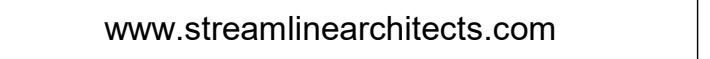
[illegible]DAIQUIRI FACTORY
DAVENPORT

RENDERINGS

Project number	21-009
Date	3/15/21
Drawn by	JJA
Checked by	ODB

A005

Scale



Principal Architect
Andrew Dasso, AIA
575 12th Avenue
East Moline, IL
309-737-8587
andrew@buildbyarchitects.com

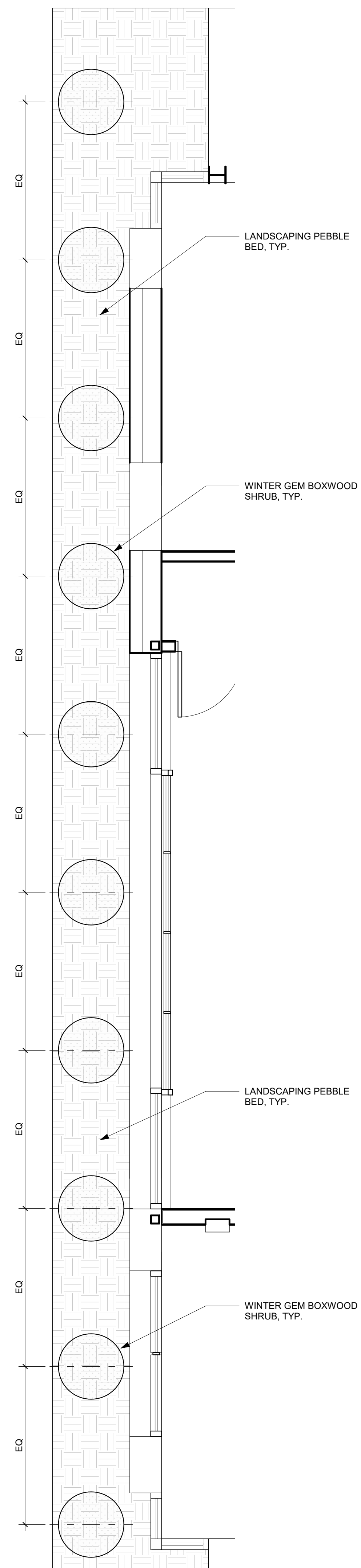
Project Manager
Joshua Arguello
575 12th Avenue
East Moline, IL
563-265-4348
joshua@streamlinearchitects.com

[illegible]

LANDSCAPE PLAN

Project number	21-009
Date	3/15/21
Drawn by	Author
Checked by	Checker

Scale $3/8" = 1'-0"$



1 EAST LANDSCAPING BED
3/8" = 1'-0"



Streamline Architects

Andrew Dasso, AIA
575 12th Avenue
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1 EXTERIOR ELEVATION - NORTH



2 EXTERIOR ELEVATION - EAST

DAIQUIRI FACTORY
DAVENPORT

EXTERIOR ELEVATIONS

Project number	21-009
Date	3/15/21
Drawn by	JJA
Checked by	CJD

A200

Scale $1/4" = 1'-0"$



Google



W 3rd Street

NO RIGHT TURN
ONE WAY

NO PARKING
ANYTIME

PUB



Google



Google





2 HOUR
PARKING

NO RE-ENTRY
NO PARKING
IN FRONT OF
BUS STOP

Modelo
Special
24 BOTTLES
\$3 PINTS
\$2 DRAUGHTS

FRIENDSHIP BY
THE BOTTLE
THURSDAY
SPECIALS
\$1.00 \$1.50 \$2.00
DRAFTS BOTTLES WELLS

HAPPY HOUR
\$1.25 DRAFTS
\$2 DOMESTIC
BOTTLES
\$2 WELLS

GRIN
DAY NIGHTS
NOW OPEN SUNDAY NIGHT
\$1 DRAFTS | \$2 MON | \$3 DRAFTS
Modelo
FRIDAY NIGHT
\$5 BEER
BOMB \$1.25 DRAFT

\$1.25
DRAFTS
ALALI
DAY
EVERY
DAY
DRAFT LIGHT

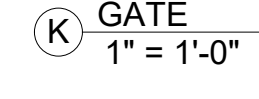
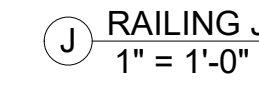
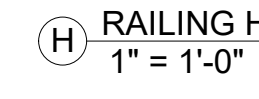
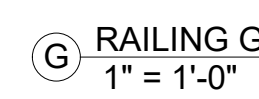
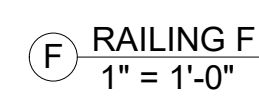
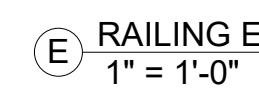
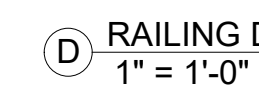
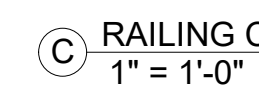
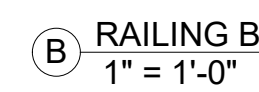
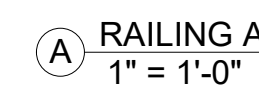
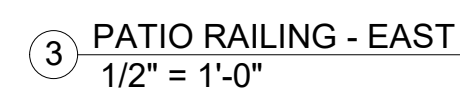
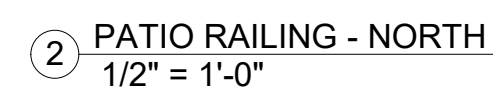
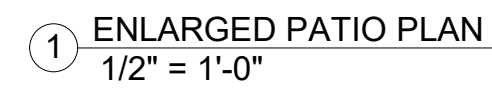
Google



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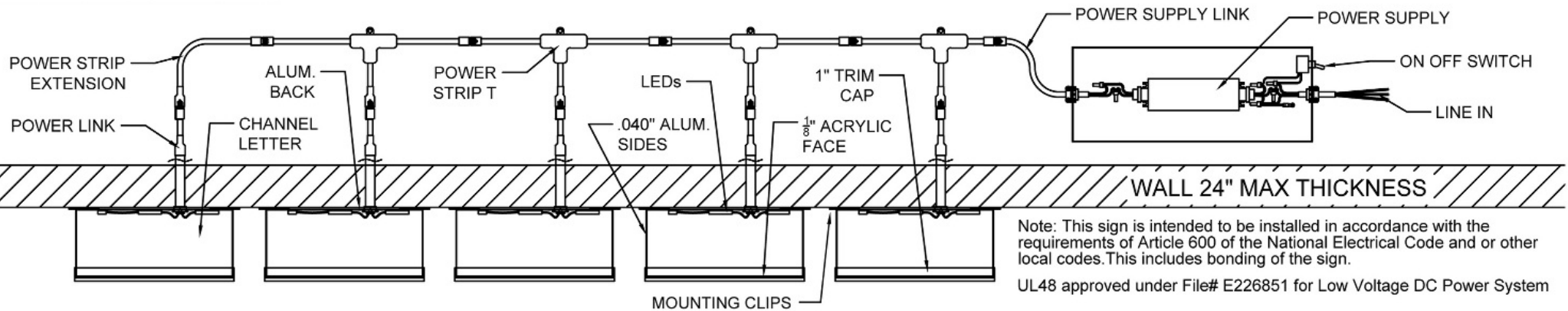
DAIQUIRI FACTORY
DAVENPORT

Project number	21-009
Date	3/15/21
Drawn by	Author
Checked by	Checker

A402

Scale	As indicated
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Installation Schematic

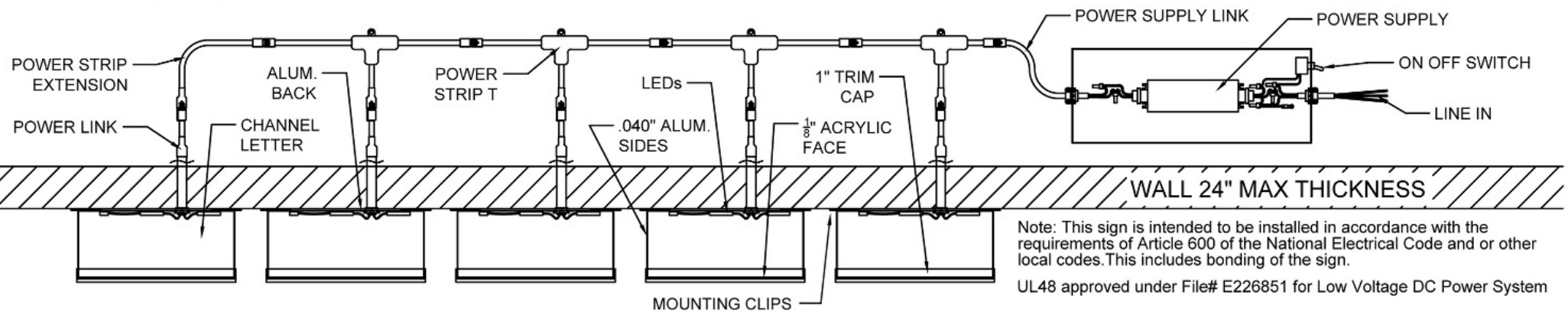


Installation Elevation Sign Size **27.30" H x 708.00" W**, Total Sign **134** Square Feet

Estimated Electrical Load: 3 amps @ 120 volts

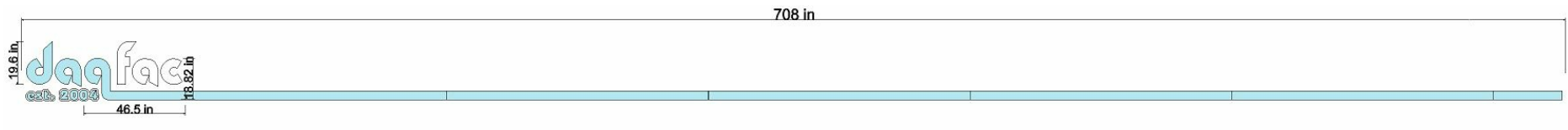


Installation Schematic



Installation Elevation Sign Size 43.00" H x 1143.00" W, Total Sign 341 Square Feet

Estimated Electrical Load: 6 amps @ 120 volts



Daiquiri Factory

303 West 3rd Street

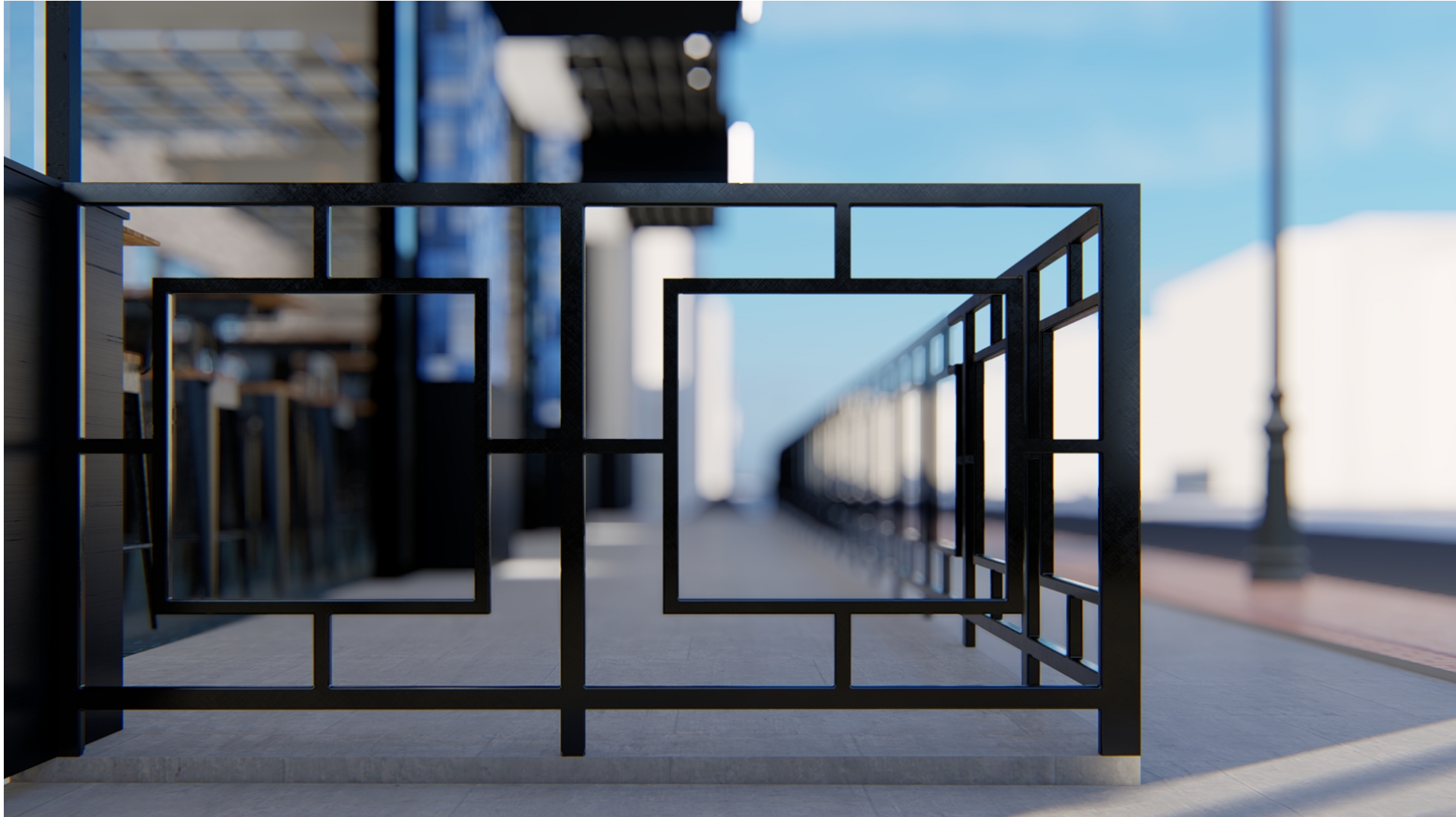
DAVENPORT
I O W A | U S A



Daiquiri Factory

303 West 3rd Street

DAVENPORT
I O W A | U S A



City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR21-05: Request for Design Review, C-V Village of East Davenport Zoning District; Canopy Structure at 1107 Mound Street. John Wisor, Petitioner. [Ward 5]

Recommendation:

Staff recommends approval as presented.

Background:

11th Street Precinct is nearing completion of their previously approved building addition and council approved perimeter wall around an outside dining/beer garden.

A canopy structure, not previously reviewed has been mostly constructed over the space to provide shade to the customers. The structure is a black aluminum with a louvered roof which safely accommodates wind and snow loads. In addition, ceiling fans and sun shades will be installed to keep customers comfortable would outside.

The Village of East Davenport's Design Guidelines for infill are:

- Encourage high quality design and materials.

In staff's opinion, the canopy lends itself to more of a porch type feel for the space, which according to the guidelines help serve as connections to the street. The materials are high quality and durable.

New additions should be designed to reflect its time while respecting key features of its context. The color ties in with the railing on the wall and compliments the trim on the original building. Black also is used within the streetscaping elements of the lighting, benches and refuse containers.

ATTACHMENTS:

Type	Description
▢ Backup Material	Application
▢ Backup Material	Plans
▢ Backup Material	Photo Set

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Berkley, Laura	Approved	4/23/2021 - 5:23 PM



Complete application can be emailed to planning@davenportiowa.com

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Company:
Address:
City/State/Zip:
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East Davenport

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Date:

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Received by:

Date:

Planning staff

Date of the Public Meeting:

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Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.

PROJECT

WISOR 11TH STREET BEER GARDEN

ADDRESS

2108 EAST 11TH STREET
DAVENPORT, IA 41803

CONTRACT NO.

C-20090002



STRUXURE OUTDOOR INC.
154 ETHAN ALLEN DRIVE
DAHLONEGA, GA

SHEET INDEX	
TITLE	SHEET NO.
COVER PAGE	A100
PERSPECTIVE VIEW	A101
TOP VIEW	A102
BEAMS & GUTTER PLAN	A103
DRAINAGE PLAN	A104
ELECTRICAL PLAN	A105
SECTION A-A	A106
SECTION B-B	A107
DETAILS	A108
DETAILS	A109
DETAILS	A110
DETAILS	A111
DETAILS	A112
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DETAILS	A114
DETAILS	A115
DETAILS	A116
DETAILS	A117
DETAILS	A118
DETAILS	A119
REVISIONS	A120
NOTES	
FRAME: TBD LOUVERS: TBD ELEVATION: SLAB ON GRADE	
DURING SUCH PERIODS OF TIME AS ARE DESIGNATED BY THE U.S.WEATHER BUREAU AS A HIGH WIND OR SNOW ADVISORY FOR THE AREA, THIS SYSTEM MUST BE LOCKED IN THE OPEN POSITION, WITH THE LOUVER BLADES VERTICAL THE STRUCTURE SHALL ALSO NOT BE WALKED UPON AND IS NOT DESIGNED FOR HUMAN ACTIVITY OR STORAGE.	

STRUXURE
OUTDOOR

STRUXURE OUTDOOR INC.
154 ETHAN ALLEN DRIVE
DAHLONEGA, GA

WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DESCRIPTION

DATE

09/28/20

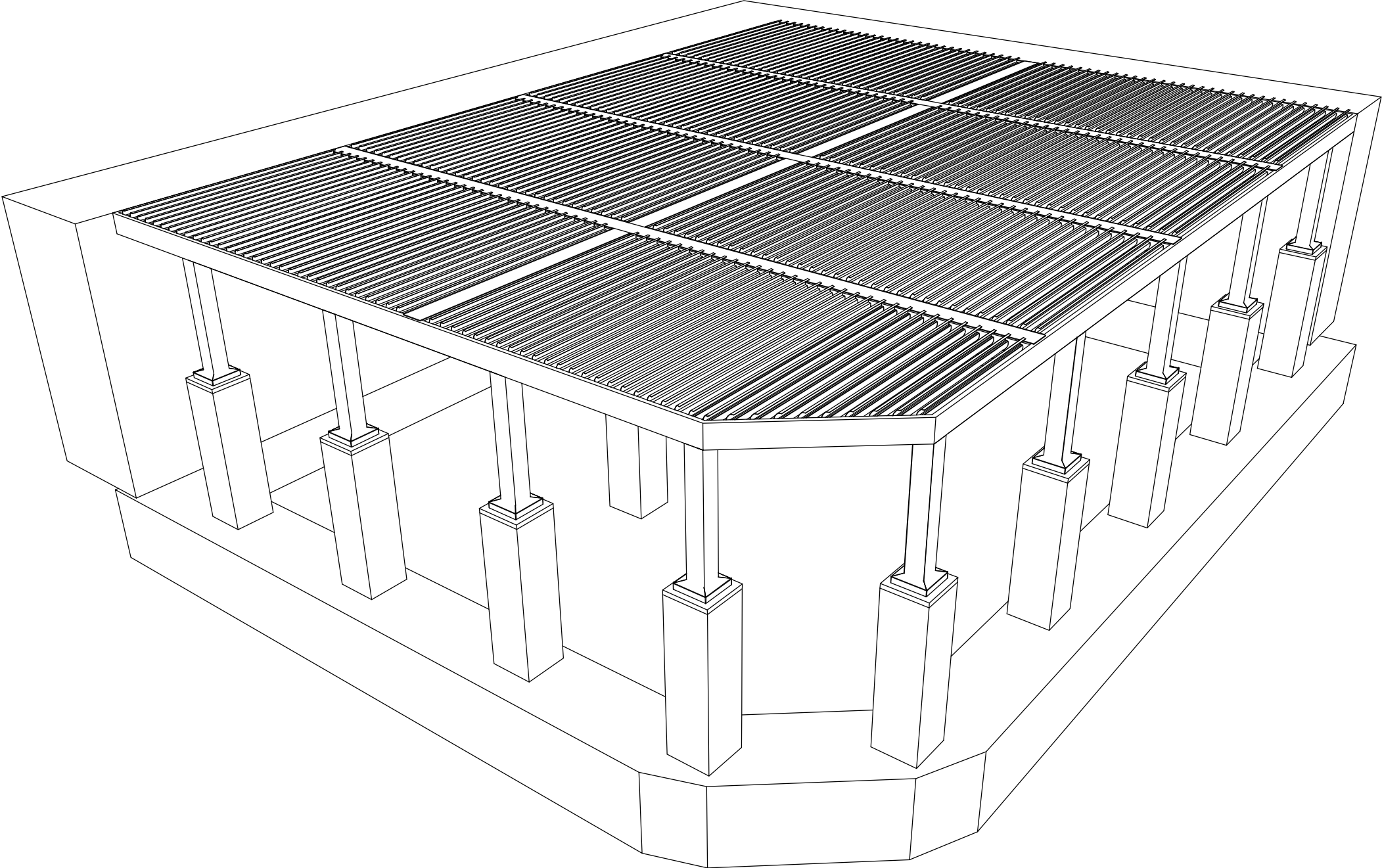
DRAWN BY

I&S

SCALE

SHEET NO.

A 100



STRUXURE™
OUTDOOR

154 ETHAN ALLEN DR.
DAHLONEGA, GA 30553
(800) 303-5248

WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

PERSPECTIVE
VIEW

DATE
09/28/20

DRAWN BY
I&S

SCALE

SHEET NO.

A 101

ABBREVIATIONS

LEGEND

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

HOST STRUCTURE

STRUXURE™
OUTDOOR

154 ETHAN ALLEN DR.
DAHLONEGA, GA 30553
(800) 303-5248

WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

TOP VIEW

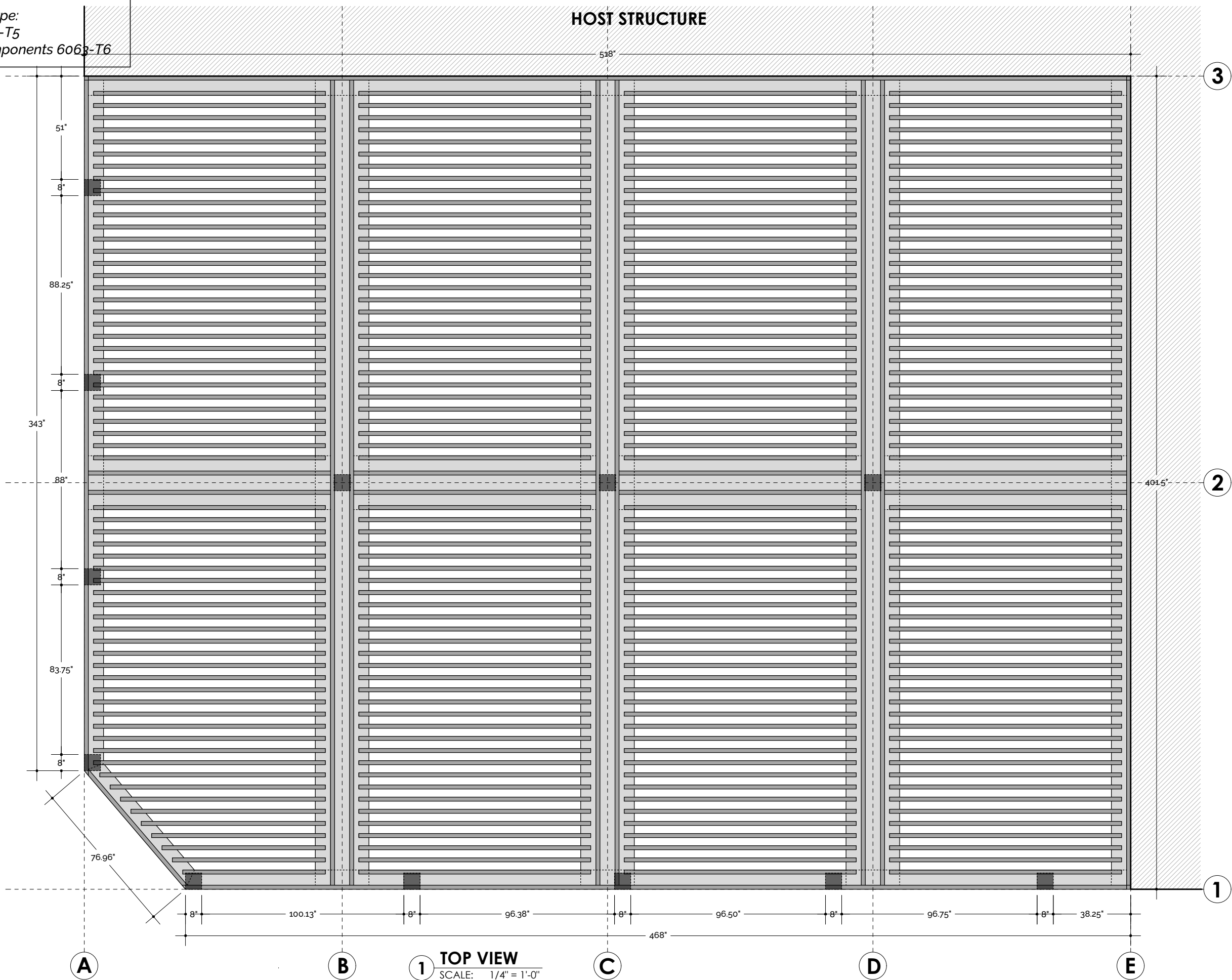
DATE
09/28/20

DRAWN BY
I&S

SCALE
1/4" = 1'-0"

SHEET NO.

A 102



1 TOP VIEW
SCALE: 1/4" = 1'-0"

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

HOST STRUCTURE

STRUXURE™
OUTDOOR

154 ETHAN ALLEN DR.
DAHLONEGA, GA 30553
(800) 303-5248

WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

BEAMS &
GUTTER PLAN

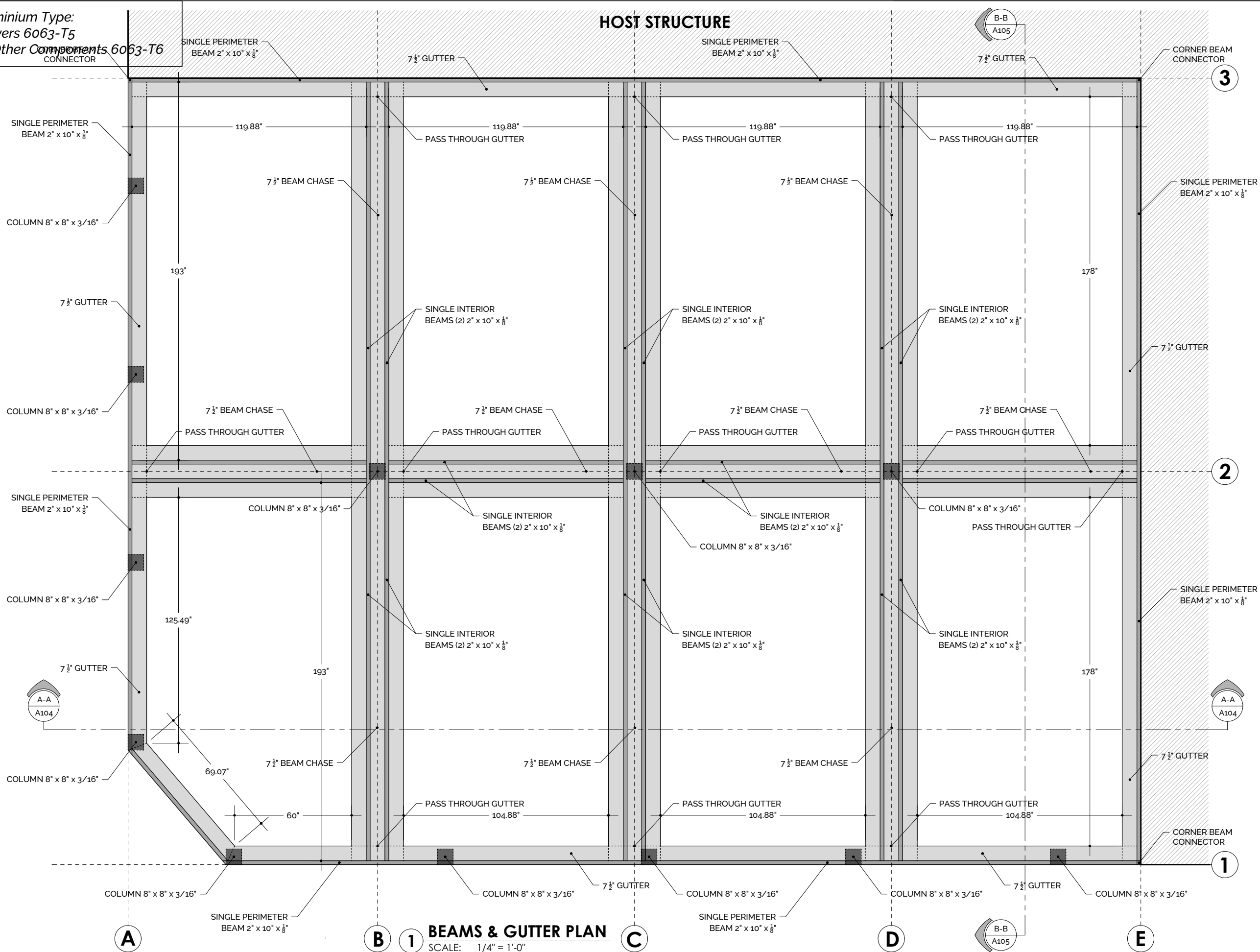
DATE
09/28/20

DRAWN BY
I&S

SCALE
1/4" = 1'-0"

SHEET NO.

A 103



Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

HOST STRUCTURE

STRUXURE™
OUTDOOR

154 ETHAN ALLEN DR.
DAHLONEGA, GA 30553
(800) 303-5248

WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DRAINAGE
PLAN

DATE
09/28/20

DRAWN BY
I&S

SCALE
1/4" = 1'-0"

SHEET NO.

A 104

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

DRAIN POST W/EXTERIOR
GUTTERS

A

B

1

DRAINAGE PLAN
SCALE: 1/4" = 1'-0"

C

D

E

3

2

1

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

HOST STRUCTURE

ELECTRICAL RUN
FROM BUILDING

STRUXURE™
OUTDOOR

154 ETHAN ALLEN DR.
DAHLONEGA, GA 30553
(800) 303-5248

WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

ELECTRICAL
PLAN

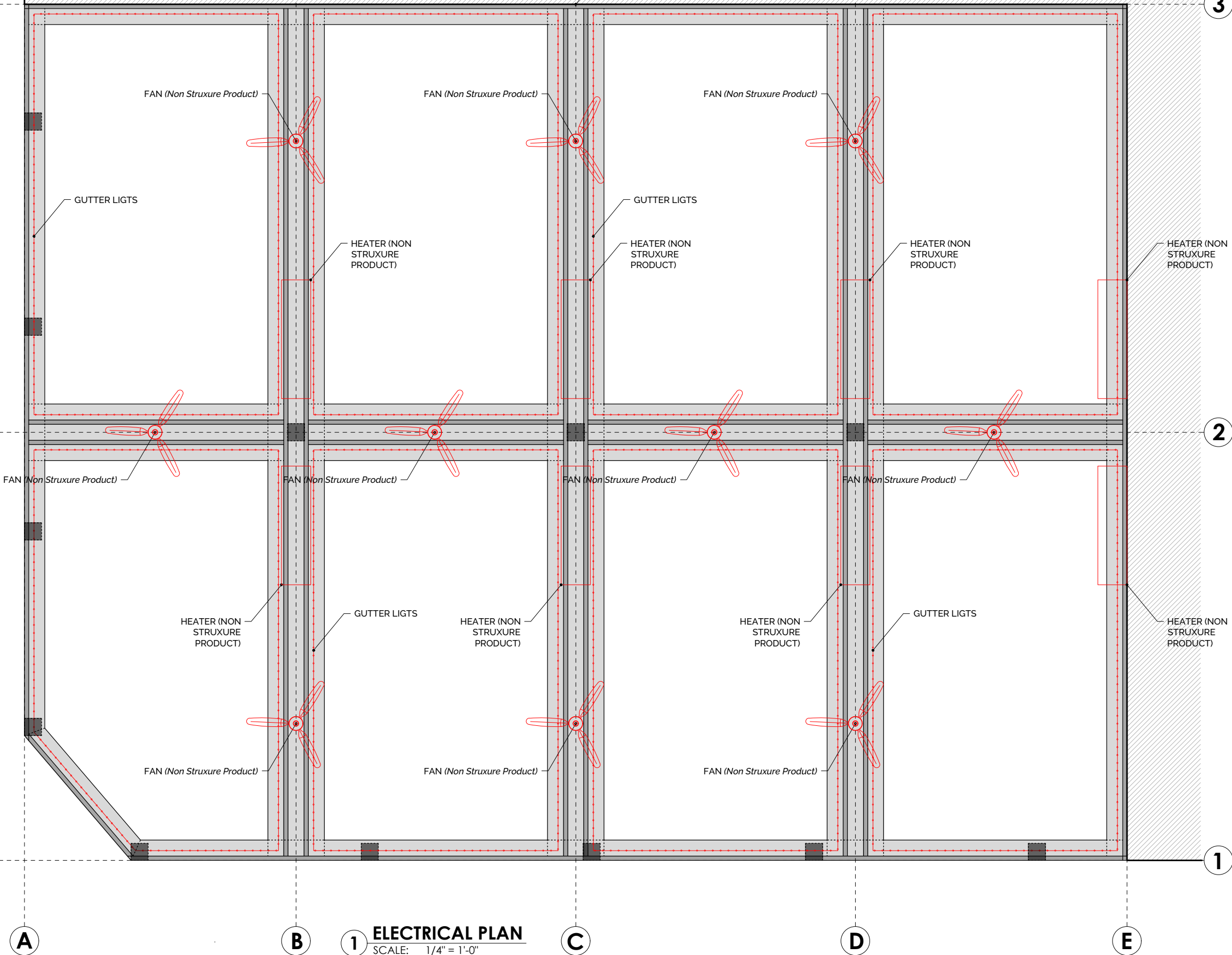
DATE
09/28/20

DRAWN BY
I&S

SCALE
1/4" = 1'-0"

SHEET NO.

A 105



Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE[™]
OUTDOOR

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(800) 303-5248

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BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

SECTION
A-A

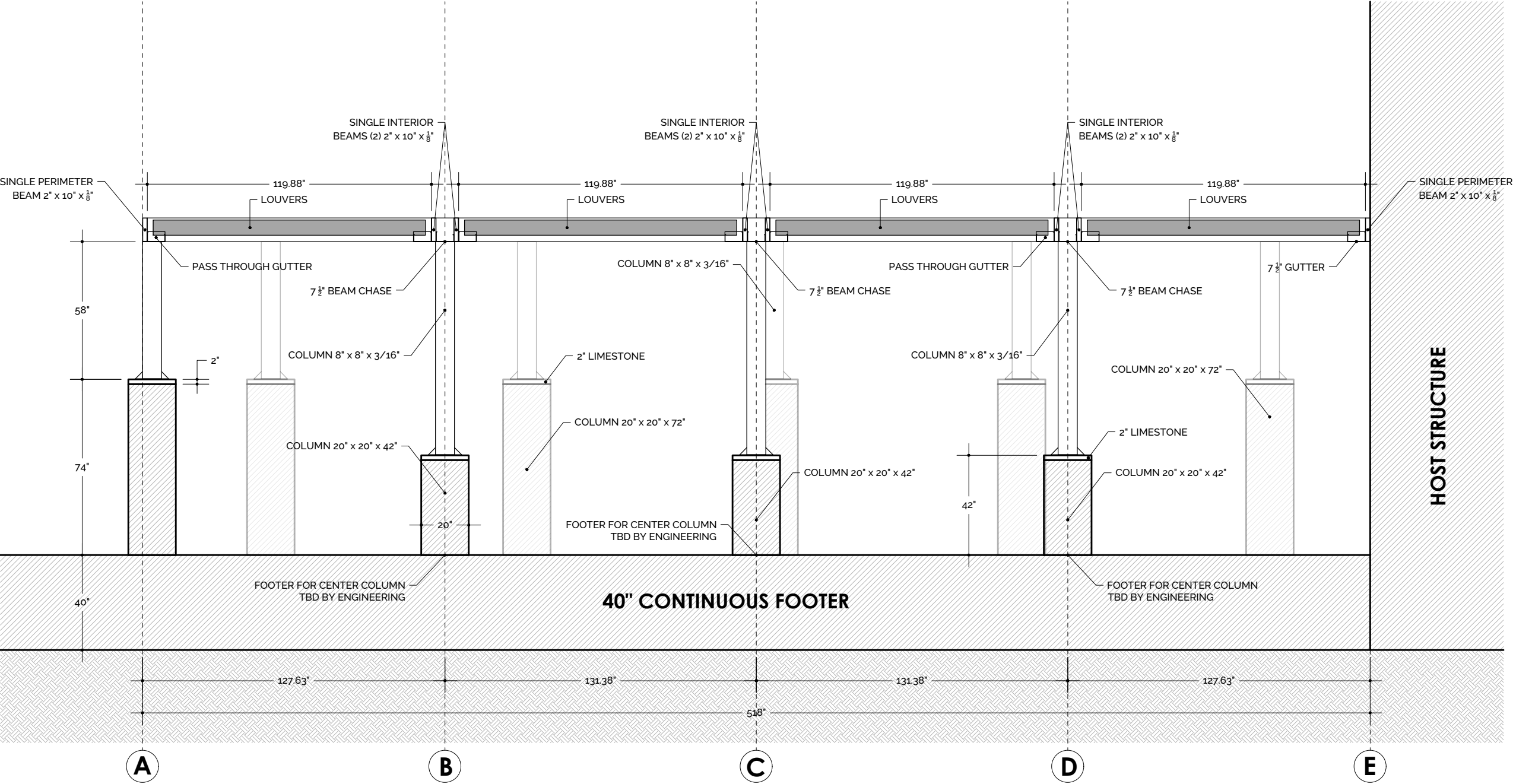
DATE
09/28/20

DRAWN BY
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SCALE
1/4" = 1'-0"

SHEET NO.

A 106



1 SECTION A-A
SCALE: 1/4" = 1'-0"

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE[™]
OUTDOOR

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DAHLONEGA, GA 30553
(800) 303-5248

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BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

SECTION
B-B

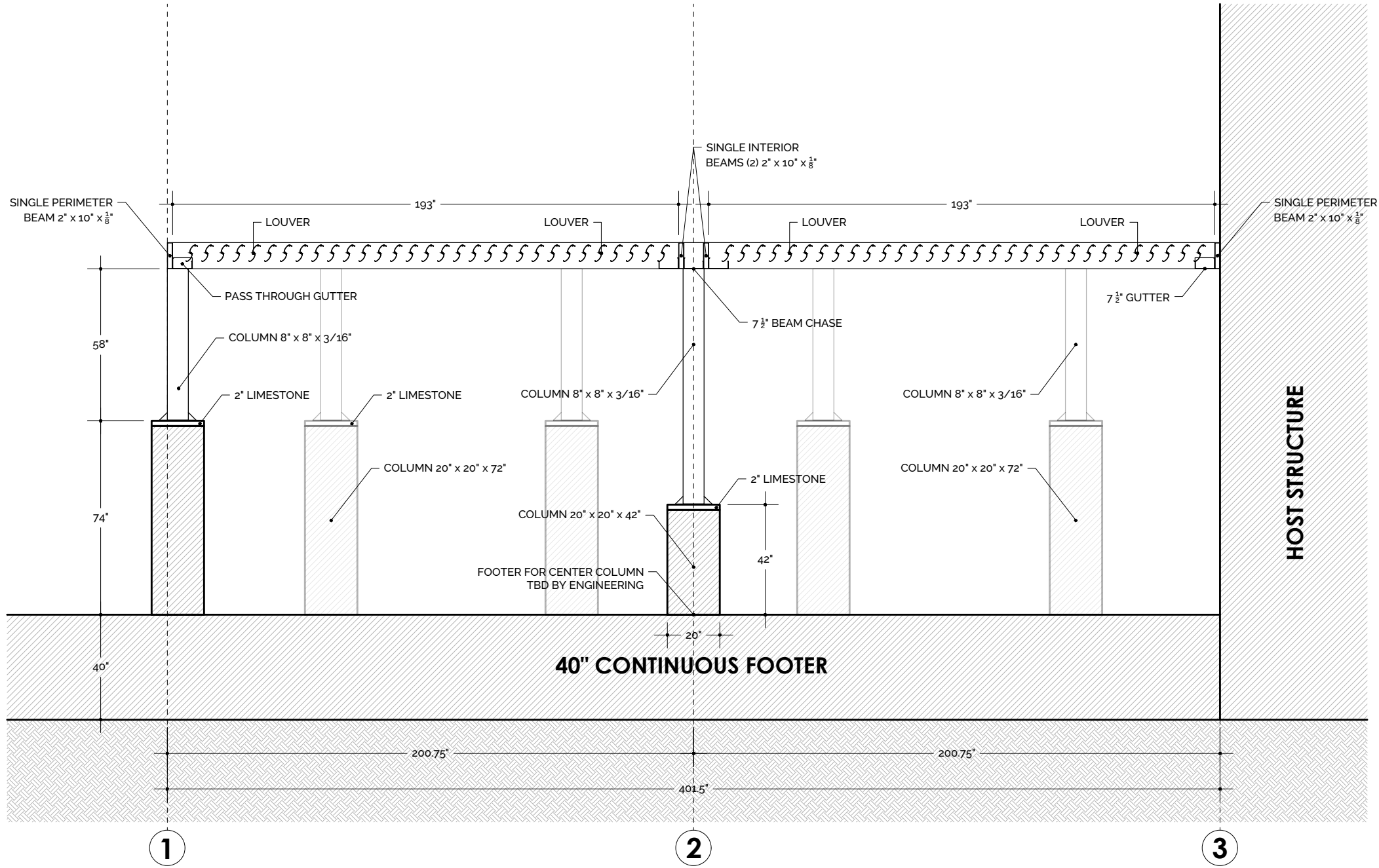
DATE
09/28/20

DRAWN BY
I&S

SCALE
1/4" = 1'-0"

SHEET NO.

A 107



1 SECTION B-B
SCALE: 1/4" = 1'-0"

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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BEER GARDEN
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DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

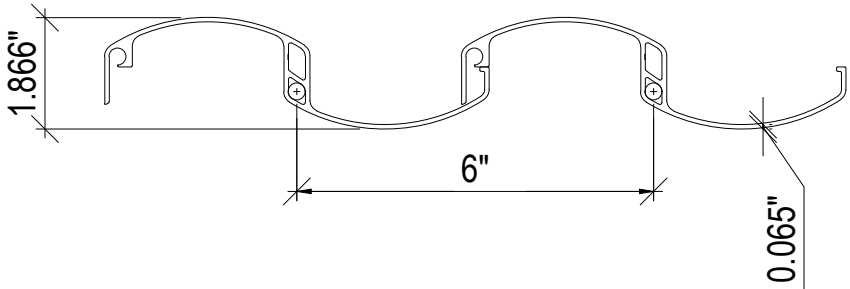
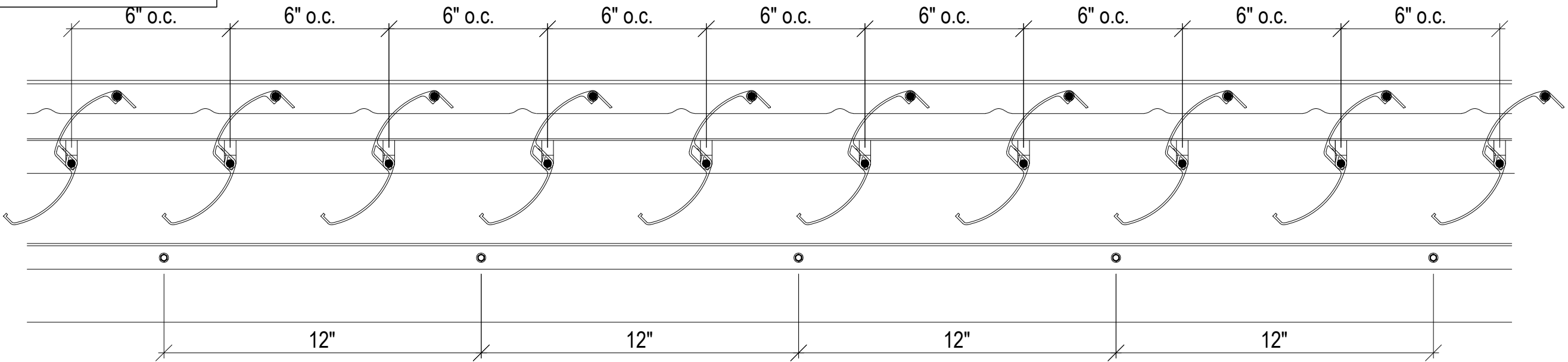
DATE
09/28/20

DRAWN BY
I&S

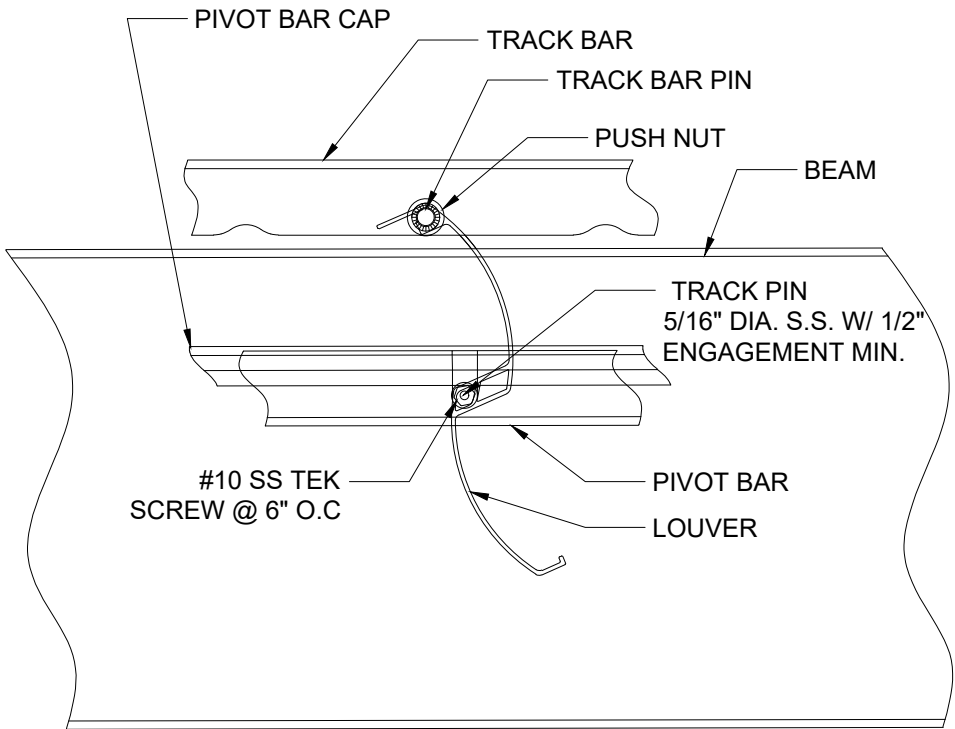
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SHEET NO.

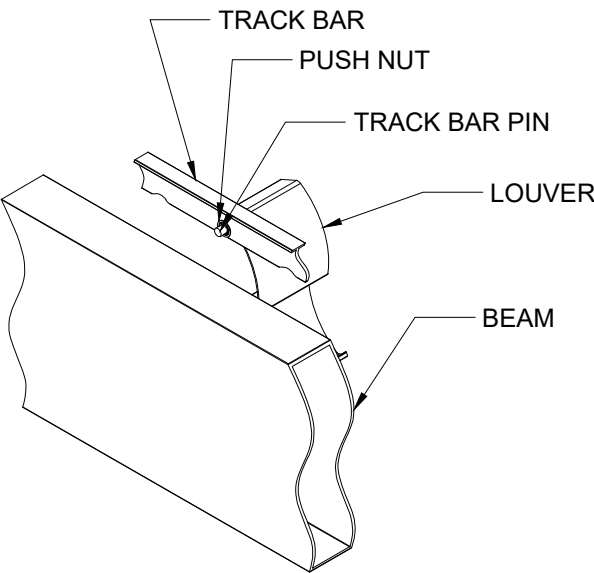
A 108



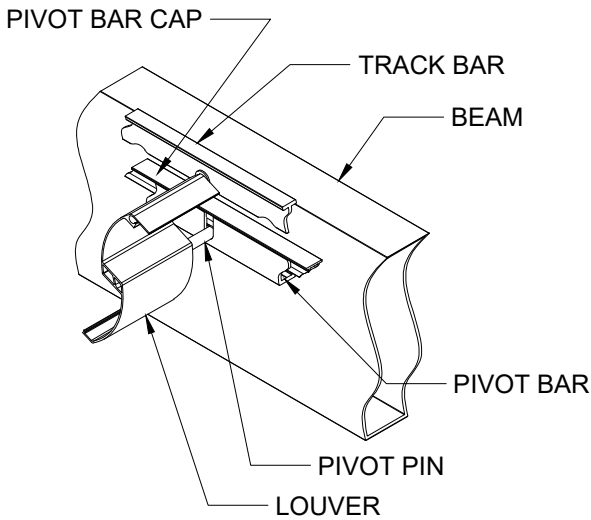
LOUVERS DETAIL



SIDE VIEW



ISOMETRIC OUT-SIDE VIEW



ISOMETRIC IN-SIDE VIEW

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

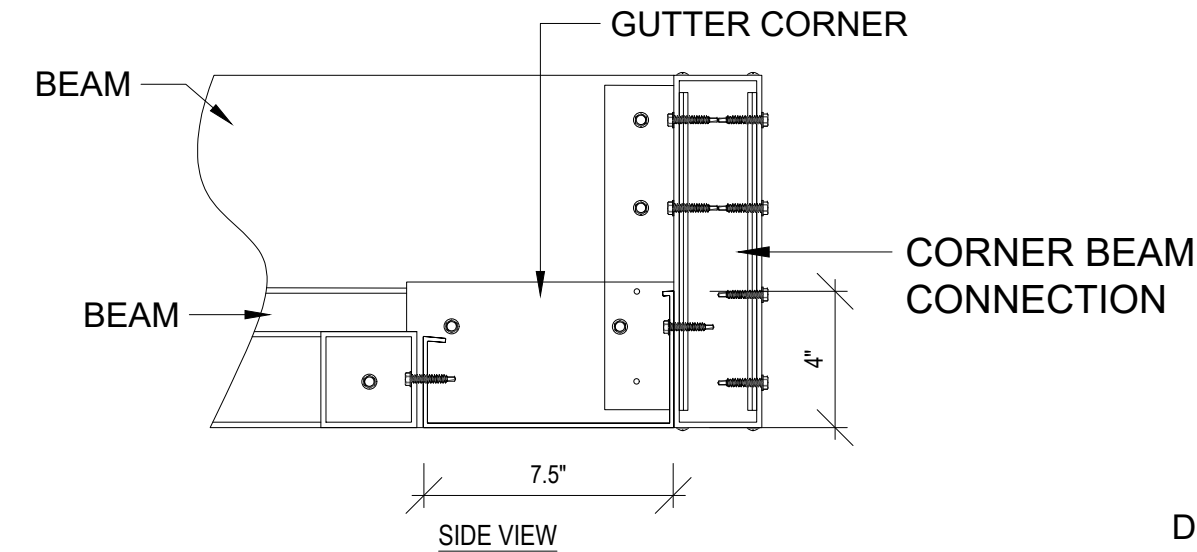
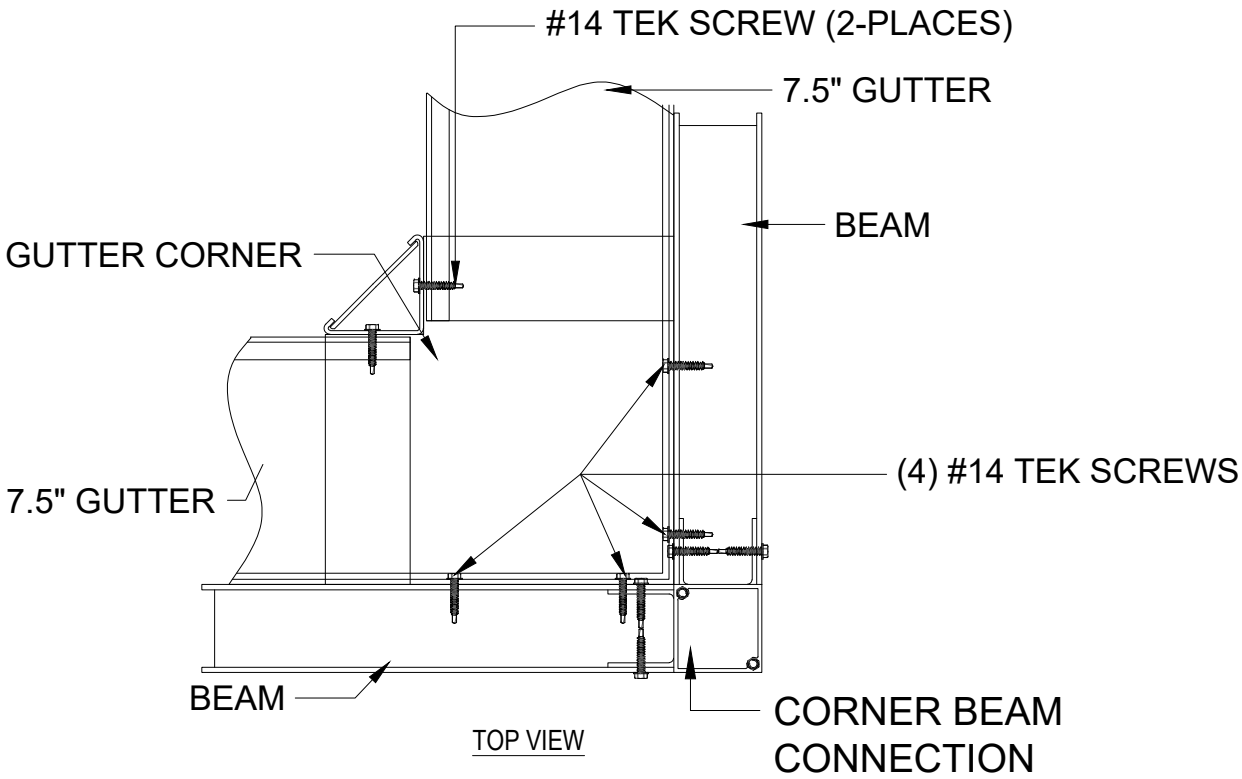
DATE
09/28/20

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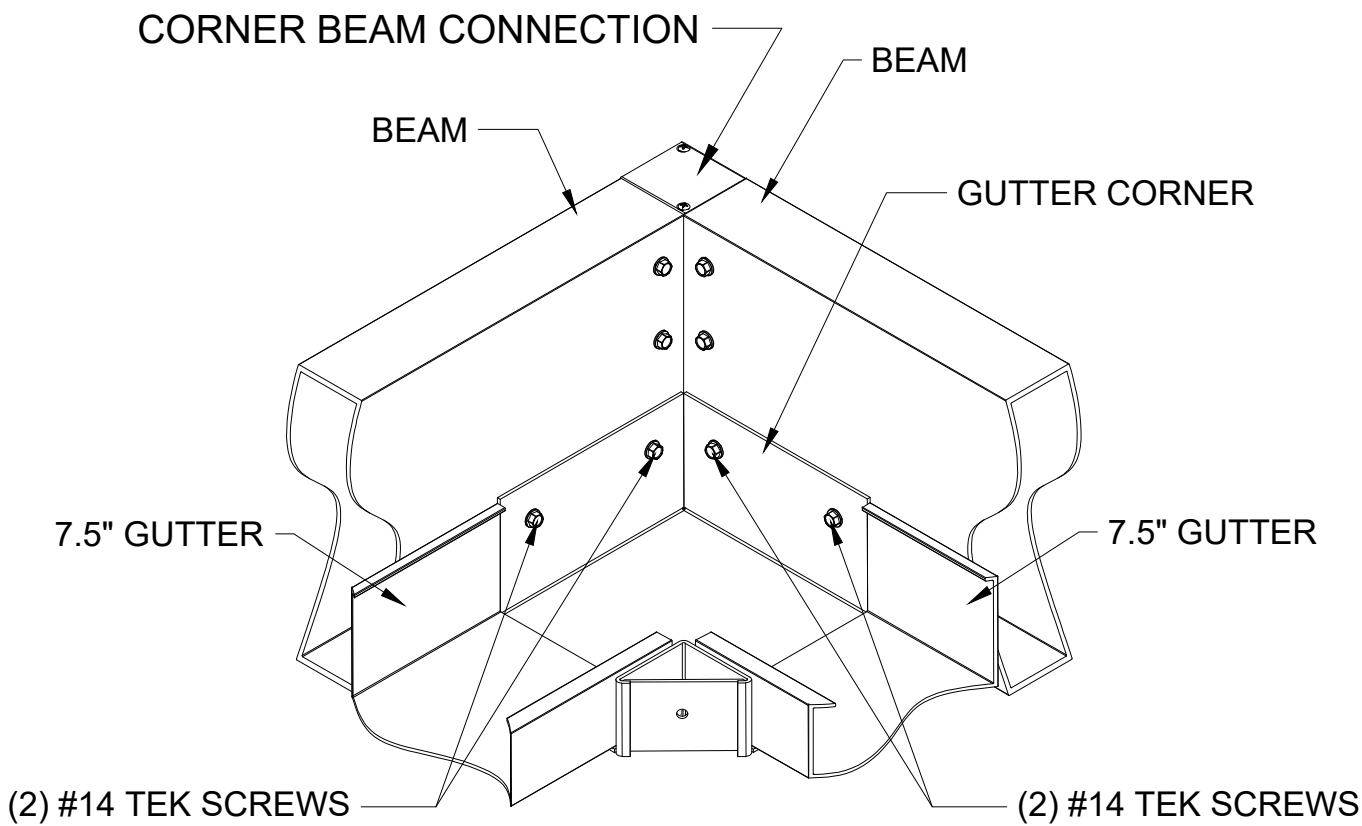
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N.T.S.

SHEET NO.

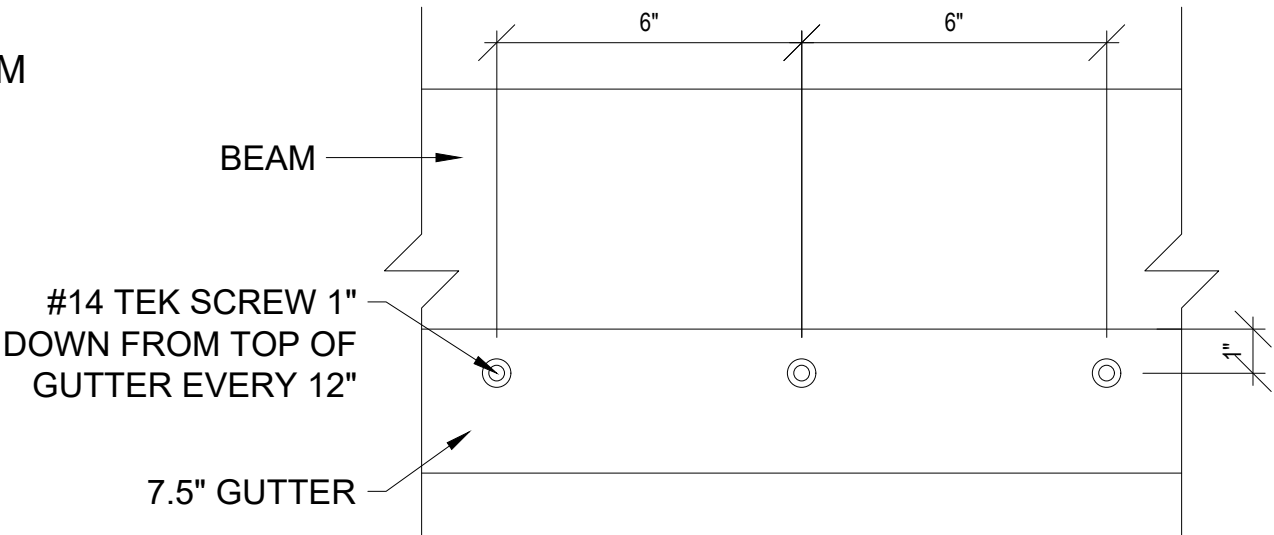
A 109



7.5" GUTTER ASSEMBLY



ISOMETRIC VIEW



Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

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OUTDOOR

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WISOR 11TH STREET
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REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

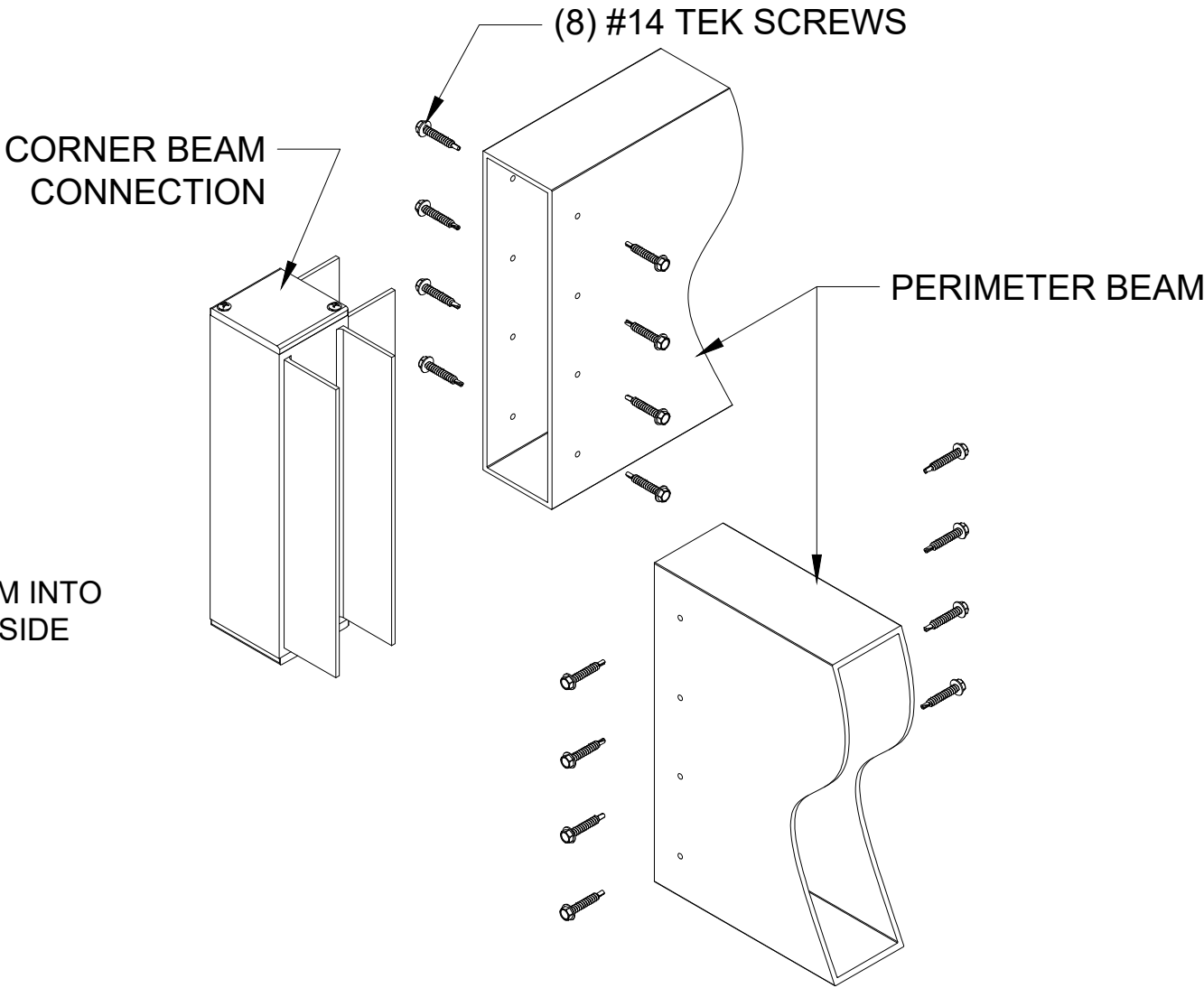
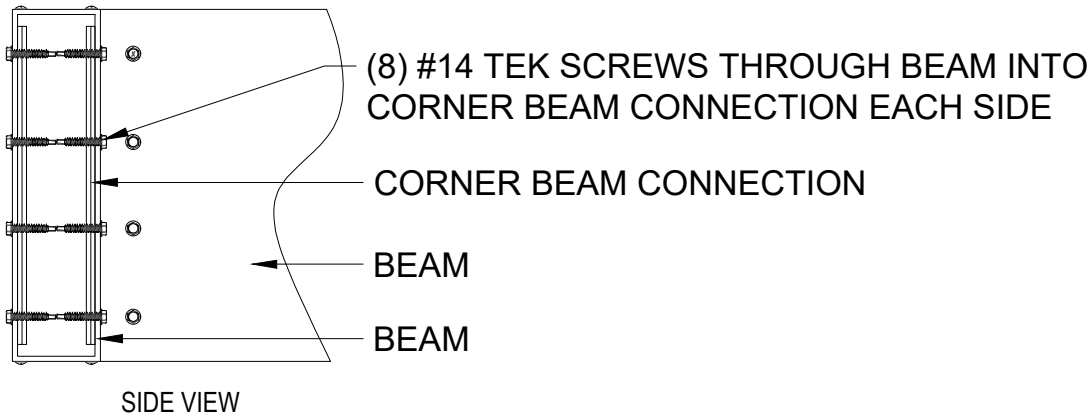
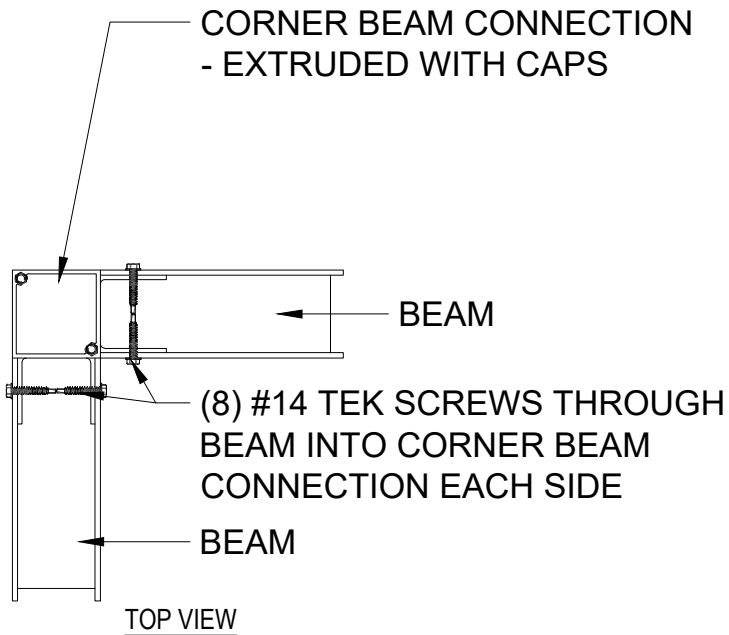
DATE
09/28/20

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SCALE
N.T.S.

SHEET NO.

A 110



TYPICAL CORNER ASSEMBLY

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE[™]
OUTDOOR

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WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

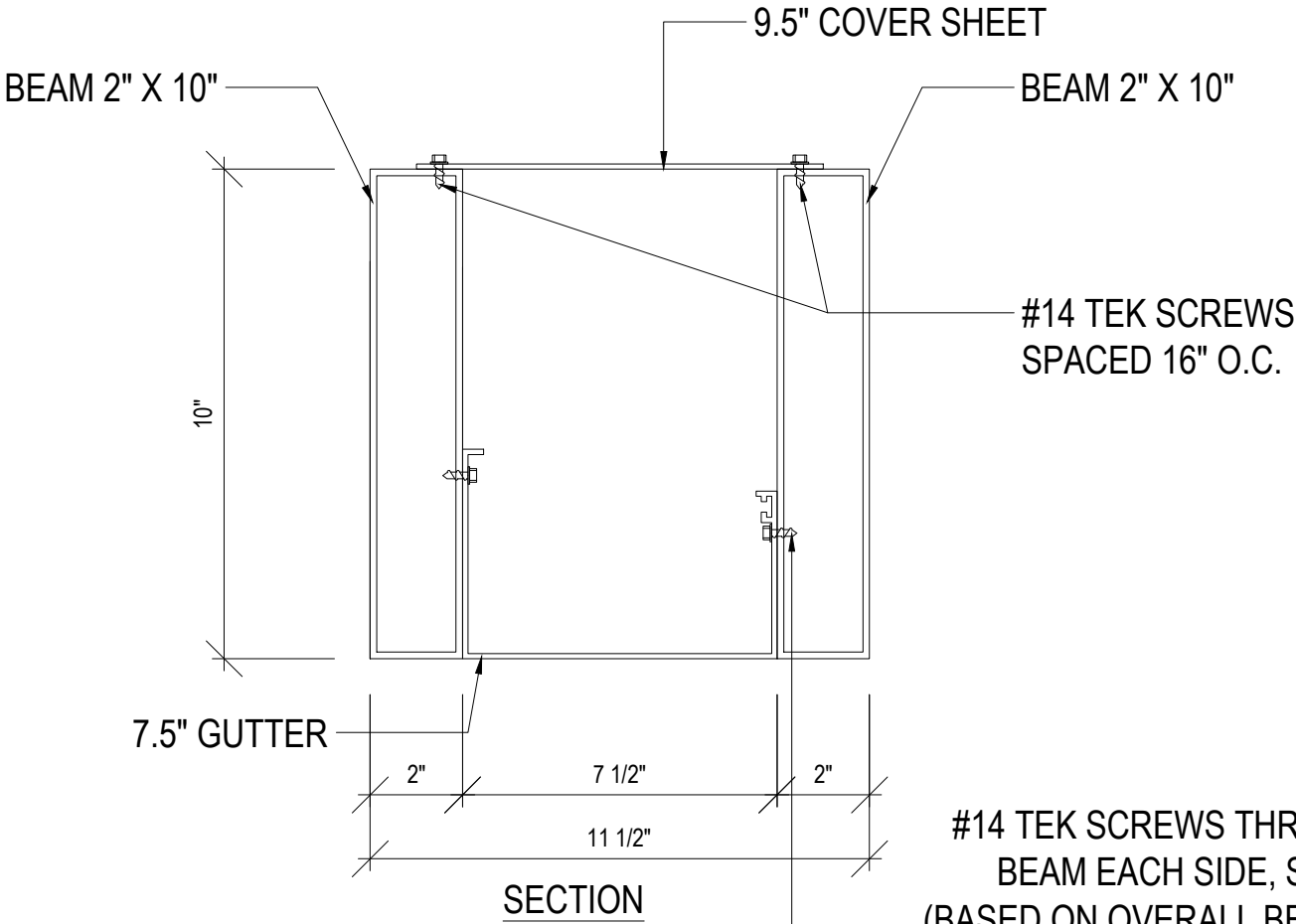
DATE
09/28/20

DRAWN BY
I&S

SCALE
N.T.S.

SHEET NO.

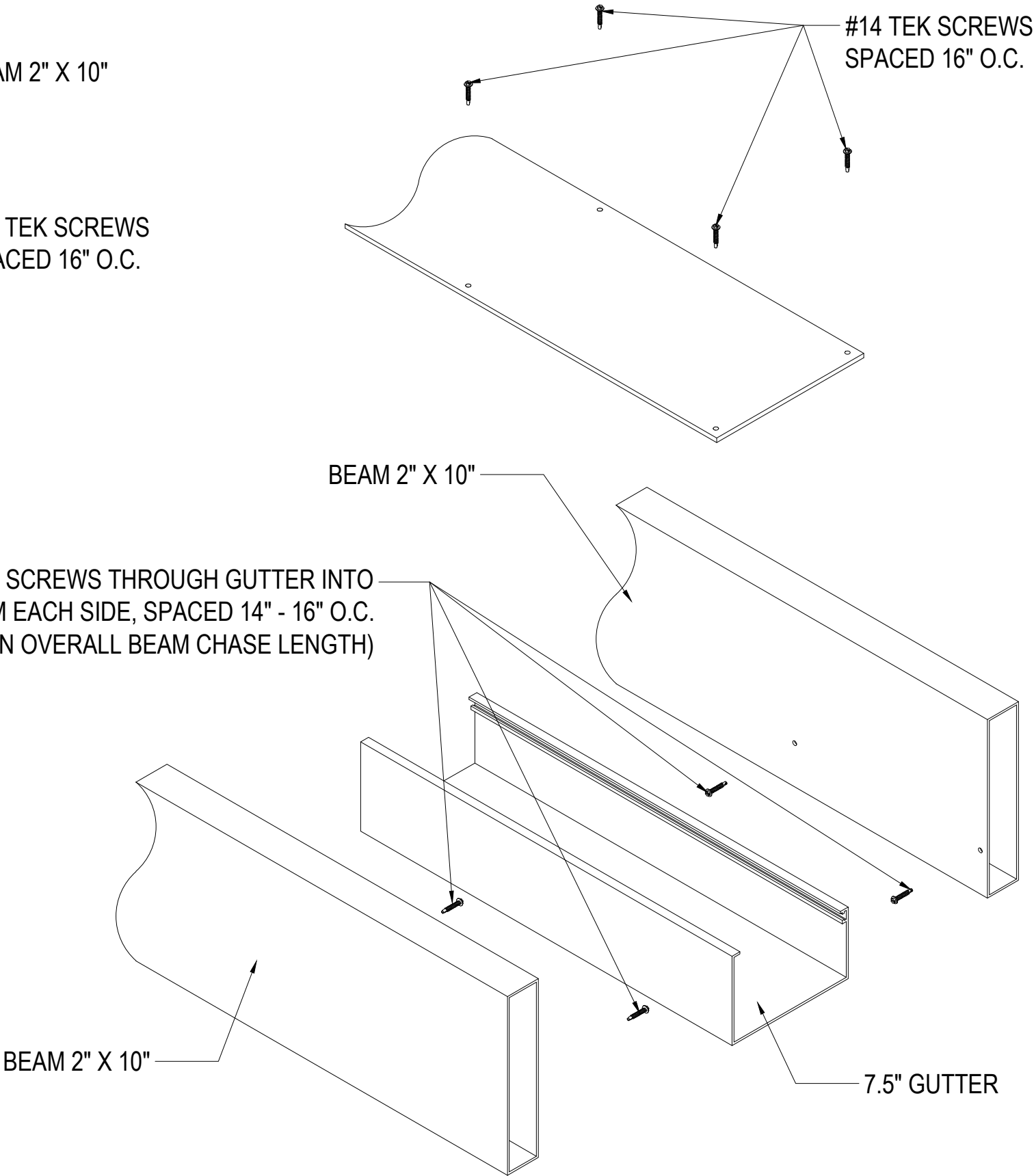
A 111



#14 TEK SCREWS THROUGH
GUTTER INTO BEAM EACH SIDE,
SPACED 14" - 16" O.C.
(BASED ON OVERALL BEAM
CHASE LENGTH)

#14 TEK SCREWS THROUGH GUTTER INTO
BEAM EACH SIDE, SPACED 14" - 16" O.C.
(BASED ON OVERALL BEAM CHASE LENGTH)

TYPICAL BEAM CHASE
2" x 10" BEAMS, 7.5" GUTTER



Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

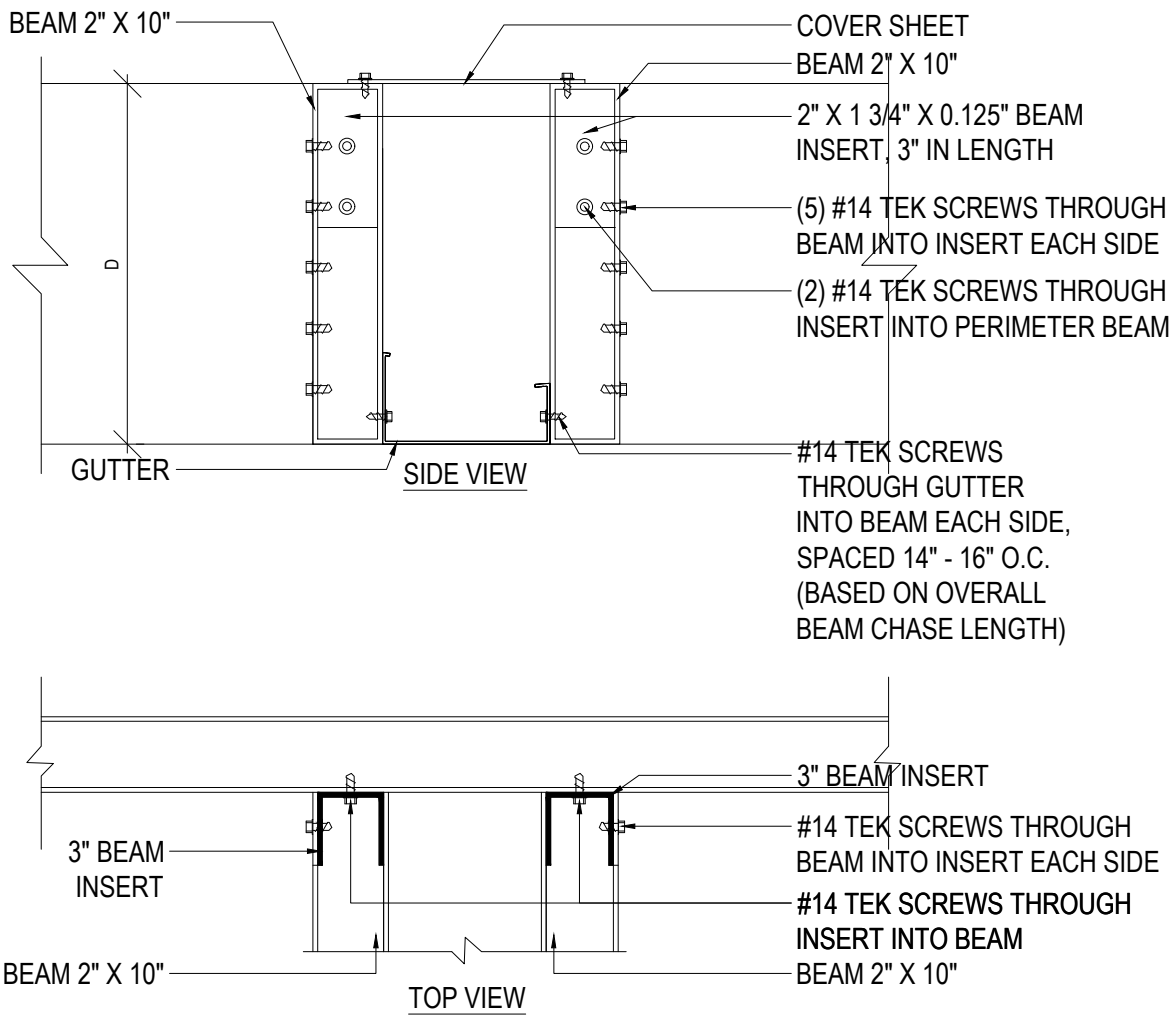
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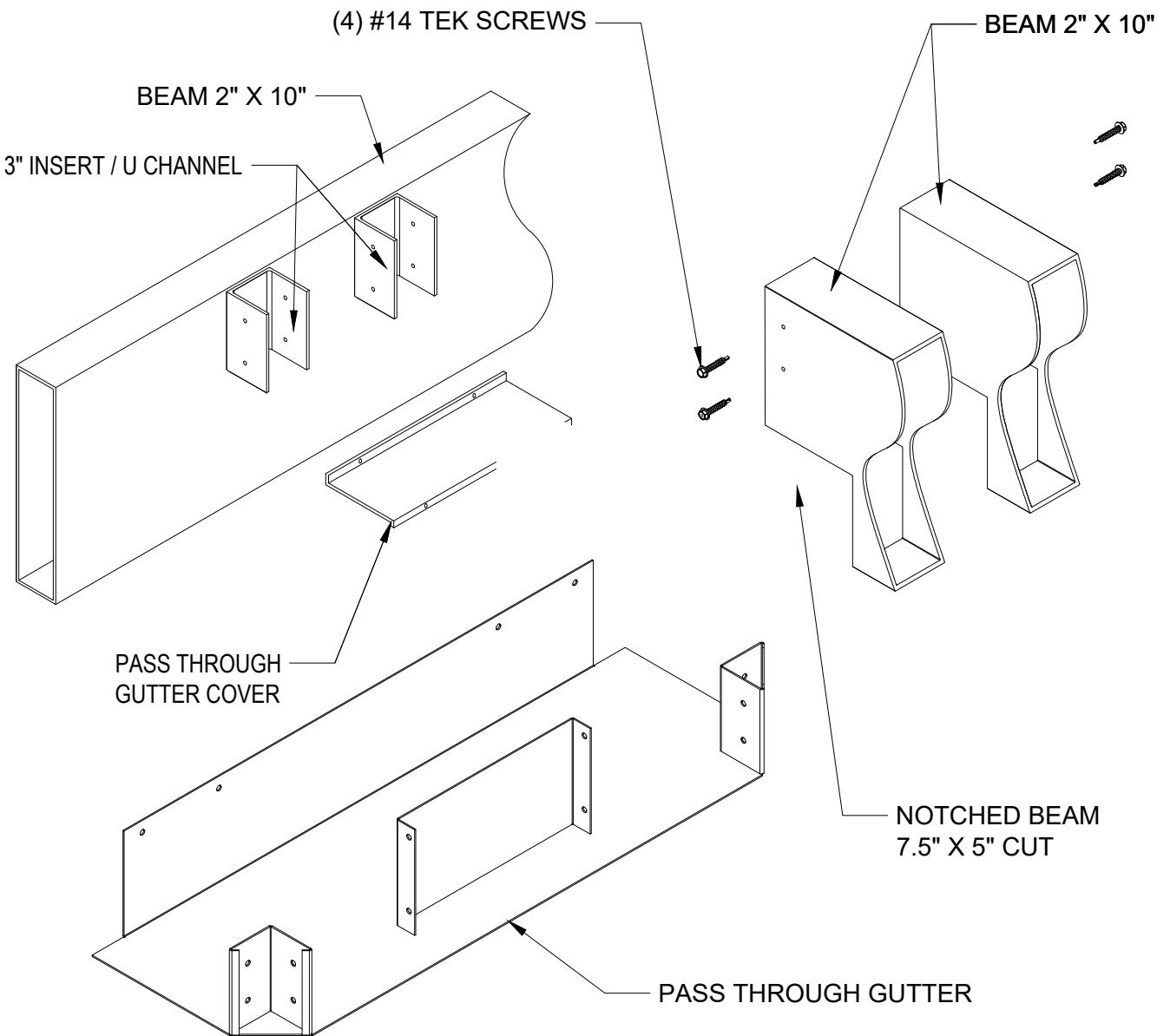
SCALE
N.T.S.

SHEET NO.

A 112



TYPICAL BEAM CHASE TO BEAM CONNECTION
PASS THROUGH GUTTER 7.5"



Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

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OUTDOOR

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REVISIONS

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10/05/20
10/09/20

DETAILS

DATE
09/28/20

DRAWN BY
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SCALE
N.T.S.

SHEET NO.

A 113

PERIMETER BEAM 2"x10"

PERIMETER BEAM 2"x10"

[6] #14 x 1" TEK SCREWS THRU
CHANNEL INTO BEAM
7 3/4" x 2" x 0.125 x 7 3/4" CHANNEL

LOWER BEAM AND CHANNEL INTO POST

[3] #14 x 1" TEK SCREWS
THRU POST INTO CHANNEL
EA. SIDE

8" x 8" x 0.1875" POST

#14 TEK SCREWS

CHANNEL

#14 TEK SCREWS
BOTH SIDE

POST

SINGLE BEAM TO 8X8 POST CONNECTION

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

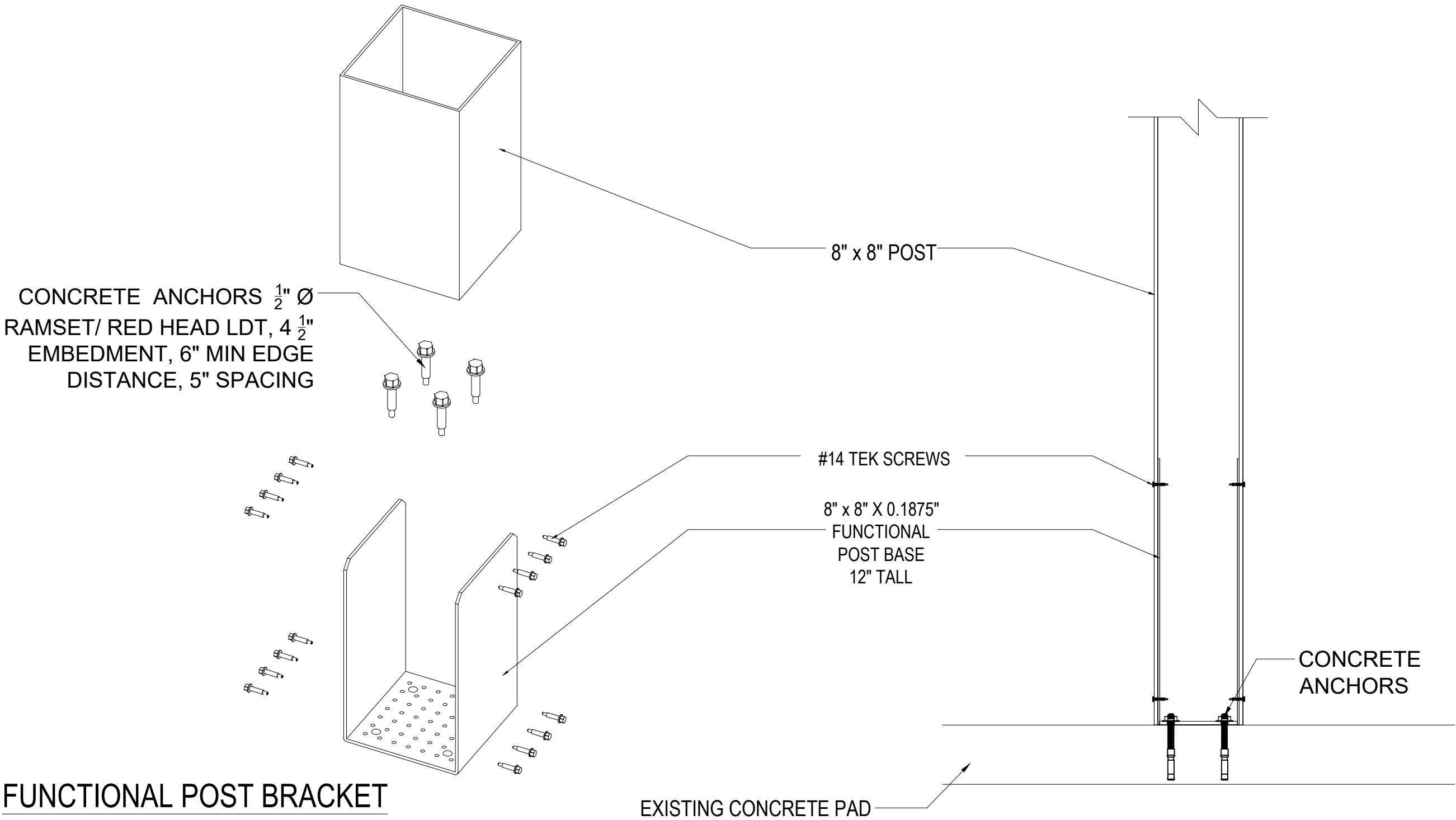
DATE
09/28/20

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SCALE
N.T.S.

SHEET NO.

A 114



Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

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OUTDOOR

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WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

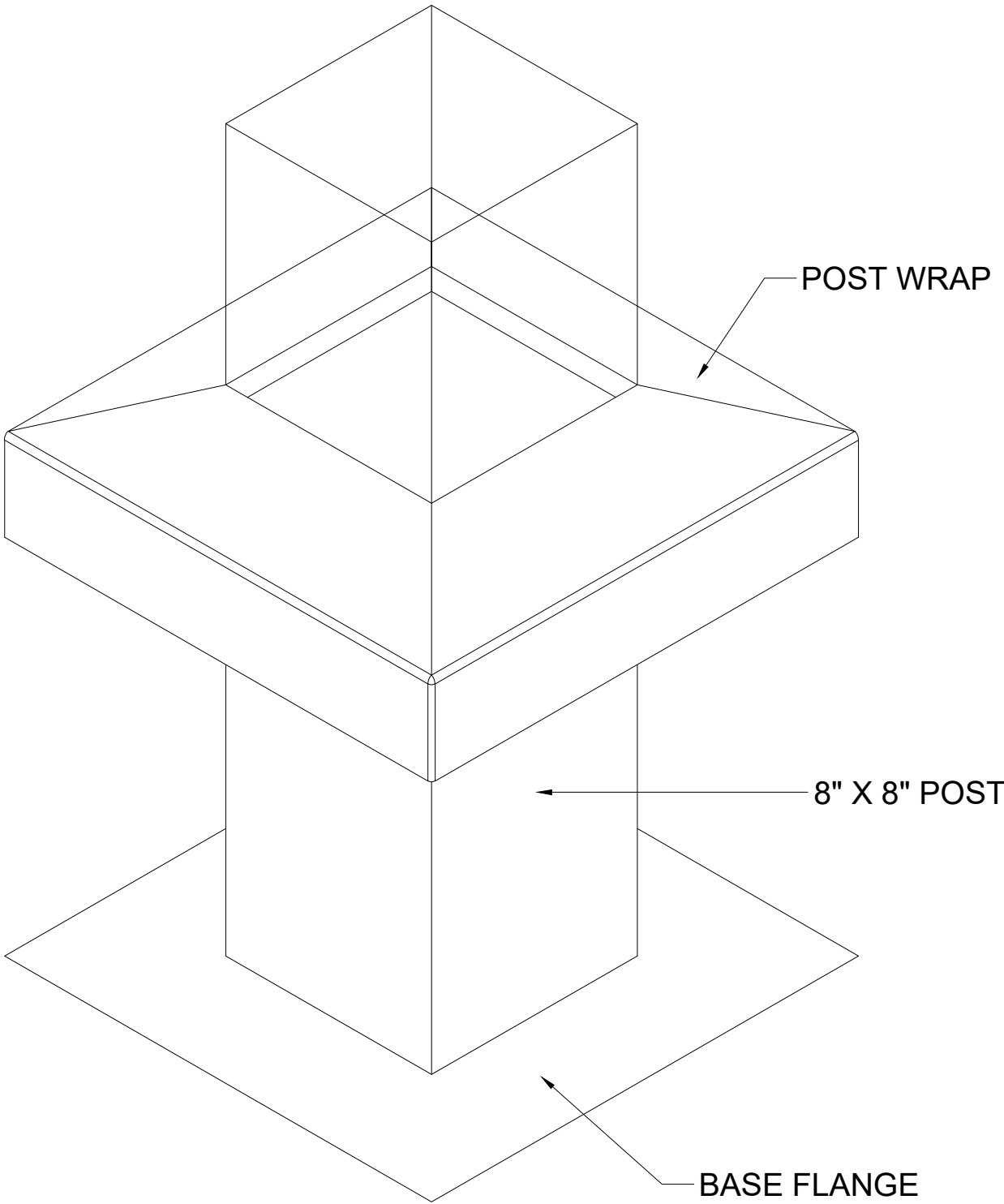
DATE
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SCALE
N.T.S.

SHEET NO.

A 115



FORMED 8"X8" POST WRAP

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

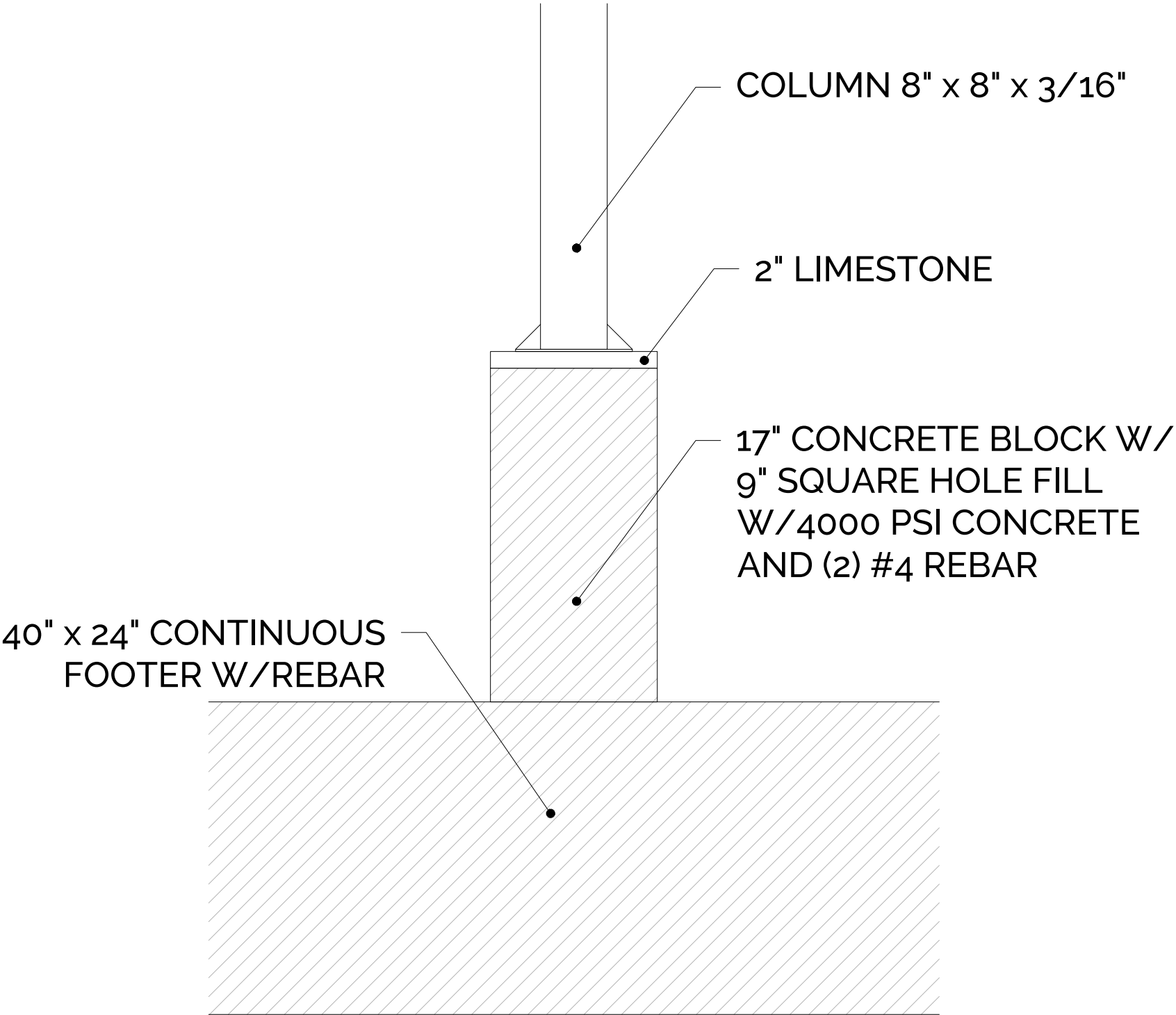
DATE
09/28/20

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I&S

SCALE
N.T.S.

SHEET NO.

A 116



FOOTER DETAIL

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

DATE
09/28/20

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I&S

SCALE
N.T.S.

SHEET NO.

A 117

HOST STRUCTURE

PERIMETER BEAM

GUTTER

EXISTING BRICK FASCIA
CERTIFIED SEPARATELY FOR
BEARING OF PICKET SLEEVE

1" O.D. SCHED40 S.S.
SLEEVES, LENGTH TO
BE EQUAL TO FACADE
THICKNESS

1/4" HOLE DRILLED
FLARED TO 9/16"
FOR SCREW
INSTALLATION

8" THREADED BOLTS INTO 16-GA METAL
WALL STUDS AS SHOWN - USE [2] 1/4"
DIAM. S.S. THREADED/SELF DRILLING
SCREWS W/ FULL THREAD ENGAGEMENT
INTO METAL STUD HOST AND 3/4"
MINIMUM EDGE DISTANCE, SPACED 16"
O.C. IN PAIRS

TYPICAL 16" O.C. STUDS

32" O.C.

32" O.C.

16"

16"

16"

16"

32" O.C.

32" O.C.

1/4" HOLE DRILLED + FLARED TO 9/16"
FOR SCREW INSTALLATION

BEAM TO HOST STRUCTURE CONNECTION
(BRICK AND STEEL STUDS)

Aluminium Type:
Louvers 6063-T5
All Other Components 6063-T6

STRUXURE™
OUTDOOR

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WISOR 11TH STREET
BEER GARDEN
2108 EAST 11TH STREET
DAVENPORT, IA 41803

REVISIONS

10/01/20
10/05/20
10/09/20

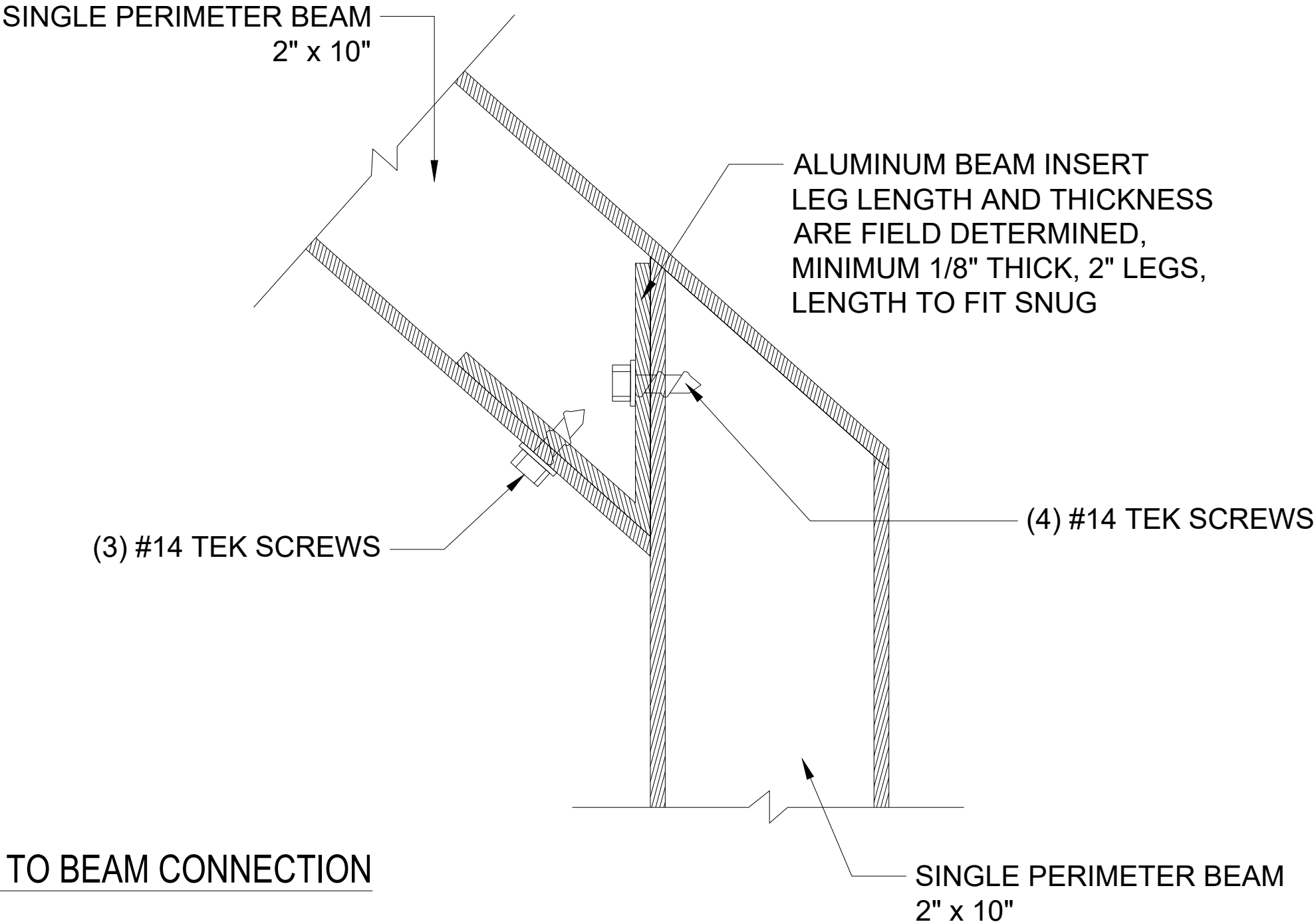
DETAILS

DATE
09/28/20

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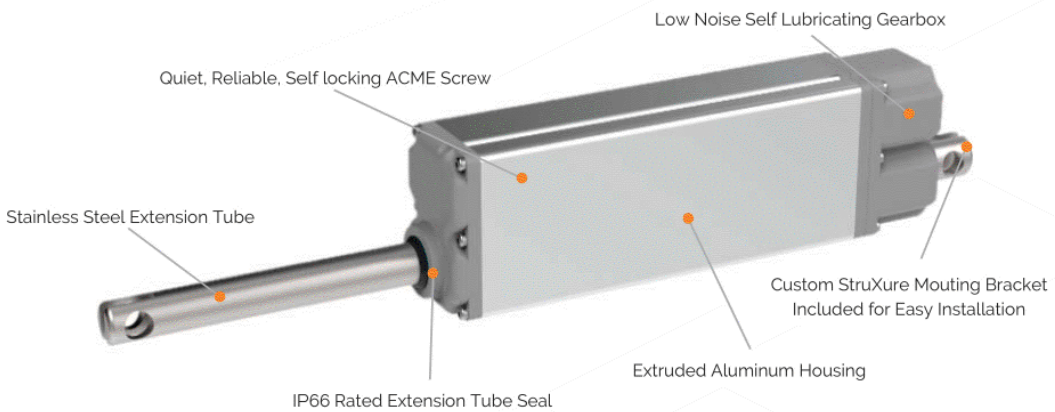
SCALE
N.T.S.

SHEET NO.
A 118



ANGLED BEAM TO BEAM CONNECTION

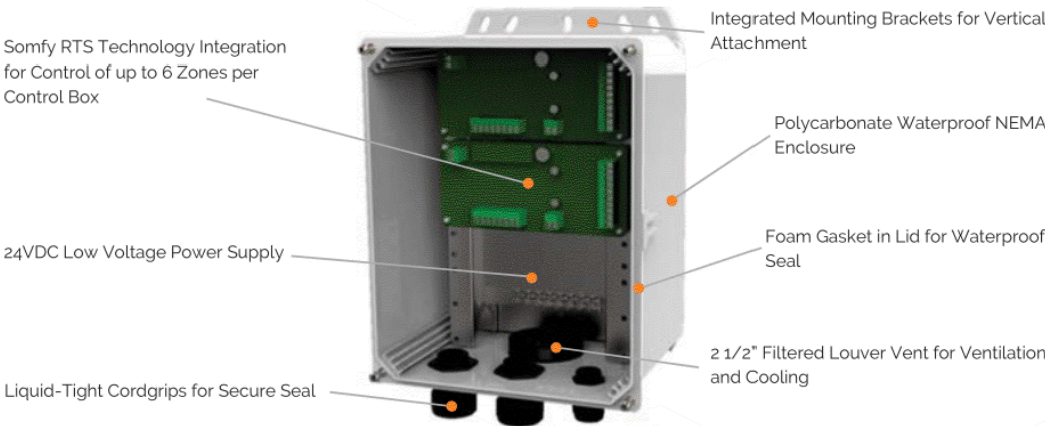
LOUVERED ROOF MOTOR



SOMFY TECHNICAL SPECIFICATIONS

VOLTAGE		
Input Voltage	[VDC]	24
LOAD		
Static Load (Fx), max.	[N/lbs]	2500 / 562
Dynamic Load (Fx), max.	[N/lbs]	2500 / 562
STROKE		
Stroke length, standard	[mm]	140
CURRENT		
Current consumption, rated load	[A]	1.875
GENERAL DATA		
Speed, no load	[mm/s]	3.4
Speed, rated load	[mm/s]	2.8
Operating temperature limits	[°C]	-10/+60
Service life	[Cycles]	± 10,000
Sound level	[dB(A)]	≤ 70
Lead screw type		ACME
Protection Class		IP66
Certificates		CE (EN60601-1)
Insulation		CLASS III

LOUVERED PERGOLA CONTROL



*Product dimensions: 10.59 x 8.59 x 6.96 in. / 268.99 x 218.19 x 176.78 mm

** Enclosure must be mounted in this vertical orientation.

COMPONENT RATINGS AND CERTIFICATIONS

POWER SUPPLY		
Input Voltage	[VAC]	115/230
Input Voltage Frequency Range	[Hz]	47 - 63
Output Voltage	[VDC]	24
Voltage Adjustable Range	[VDC]	21.6 - 28.8V
Current Range	[A]	0 - 14.6
Rated Power	[W]	350.4
Safety Standard	[UL Certification]	UL60950-1
POWER SUPPLY CABLE (NOT SHOWN)		
Safety Standard	[ETL Certification]	#3170291
Voltage Rating	[V]	300
Temperature Rating	[°F]	-40 to 158
ENCLOSURE		
Safety Standard	[UL Certification]	UL508A
	[File Number]	E352997
Temperature Range	[°F]	-40 to 257
Impact Resistance	[in/Lb]	500
Dielectric Strength	[volts/mil]	380
UV Rating	[UL Certification]	UL 746C
Flammability Rating	[UL Certification]	UL 94

HOTEL VIN
215 E DALLAS ROAD
GRAPEVINE, TX 76051

REVISIONS

10/01/20
10/05/20
10/09/20

DETAILS

DATE

08/12/20

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SCALE

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SHEET NO.

A 119

HOTEL VIN
215 E DALLAS ROAD
GRAPEVINE, TX 76051

REVISIONS

10/01/20
10/05/20
10/09/20

REVISIONS

DATE
08/12/20

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SCALE
N.T.S.

SHEET NO.
A 120

	DATE:	REVISION:
1	10/01/20	ADDED FANS & HEATERS: ADDED FOOTER NOTE & REVISED HEIGHT (A106-107)
2	10/05/20	REVISED CONCRETE COLUMN HEIGHT (A106 & A107)
3	10/09/20	REVISED COLUMN DETAIL: FOOTER DETAIL, AND WALL ATTACHMENT
4		
5		
6		
7		
8		
9		
10		
11		
12		

NOTES:























City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR21-06: Request for Design Approval, C-D Downtown Zoning District; Projecting Sign Installation at 421 West River Drive. Greg Beaman, petitioner. [Ward 3].

Recommendation:

Staff recommends that DR21-06 be approved in accordance with the submitted work write up and renderings and subject to the following condition:

1. For consistency in placement along the south building façade, the Chill Ice Cream Shop projecting sign shall align with the height of Front Street Brewery's projecting sign.

Background:

The proposed projecting sign is for a new ice cream shop at the Freight House, located at 421 West River Drive.

The projecting sign will be mounted to the south building elevation. The sign is 32" by 27", which is approximately 6 square feet. There will be a vertical clearance of 8.5 feet from the bottom of the sign to the walkway below. The sign will be internally illuminated with LED lights wired into the adjacent existing electrical box. The color scheme is a gloss white background with matte black and racing raspberry writing.

The proposed projecting sign complies with the standards outlined in Chapter 17.12 of the Zoning Ordinance.

The Downtown Design Guidelines encourage projecting signs since they are very effective in reaching pedestrians. Historically, projecting signs were commonly used on older buildings, such as the Freight House. The use of a business logo creates a user friendly downtown experience for visitors.

ATTACHMENTS:

Type	Description
▢ Backup Material	Application
▢ Backup Material	Sign Specifications
▢ Backup Material	Photos

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Werderitch, Matt	Approved	4/23/2021 - 12:38 PM



Complete application can be emailed to planning@ci.davenport.ia.us

Property Address*

*If no property address, please submit a legal description of the property.

Applicant (Primary Contact)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Application Form Type:

Plan and Zoning Commission

Zoning Map Amendment (Rezoning)
Planned Unit Development
Zoning Ordinance Text Amendment
Right-of-way or Easement Vacation
Voluntary Annexation

Owner (if different from Applicant)

Name:
Company:
Address:
City/State/Zip
Phone:
Email:

Zoning Board of Adjustment

Zoning Appeal
Special Use
Hardship Variance

Engineer (if applicable)

Name:
Company:
Address:
City/State/Zip
Phone:
Email:

Design Review Board

Design Approval
Demolition Request in the Downtown
Demolition Request in the Village of
East Davenport

Architect (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Historic Preservation Commission

Certificate of Appropriateness
Landmark Nomination
Demolition Request

Administrative

Administrative Exception
Health Services and Congregate
Living Permit

Attorney (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Design District:

CD - Downtown

CV – Village of East Davenport

CE – Elmore Corners

Not sure which district you are in? You can click [here](#) for a map of the districts or you can contact Planning staff at (563) 326-7765 or planning@ci.davenport.ia.us and we can help you.

When is an application for design approval required?

Prior to the commencement of any work.

What type of activity requires design approval?

- New construction or an alteration to the exterior of a structure where changes are visible from the public right-of-way.
- Installation of any sign or action related to a sign.
- New parking lots, fencing/walls and landscaping or an alteration to existing parking lots, fencing/walls or landscaping.
- Streetscape elements within the right-of-way.
- Demolition within the C-D and C-V Districts requires the owner(s) of record or the City to apply for a demolition approval.

Submittal requirements

- Please contact Planning staff at (563) 326-7765 or planning@ci.davenport.ia.us so we can help you determine what exactly is required to be submitted.
- Incomplete applications will not be accepted.

Submittal requirements for all types of requests:

- The completed application form.
- A work plan that accurately and completely describes the work to be done.
- Color digital photographs depicting the building elevations and proposed construction.

Submittal requirements for specific types of requests:

Minor alterations to existing buildings and new and replacement signs (all of the above and):

- Specifications, including dimensions, material used and color of the material.
- A rendering of the proposed alteration as depicted on the existing building.
- Samples of the materials, including the color, along with scaled, accurately colored elevations for any proposed sign and/or sign package.

Minor additions, site improvements and outdoor storage areas (all of the above and):

- A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels.
- A preliminary grading plan showing before and after grades at two-foot contour intervals, where deemed necessary by the development official.
- Outdoor storage areas shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the materials and treatment proposed that would accurately reflect the screening of the storage areas.
- A landscape plan.

Major additions and new buildings (all of the above and):

- Reproductions of building or site information found in the historical surveys if applicable
- A verifiable legal description, or a land survey.
- A map showing the existing topography of other properties at two-foot contour intervals, extending one hundred feet from the subject parcel.
- Elevation drawings, in color and drawn to scale, of the front, sides, rear, and roof lines of all proposed buildings or structures, illustrating the appearance and treatment of required screening elements for roof-mounted equipment, where deemed necessary by the development official.
- A materials board containing samples of each type of exterior building materials.

Formal Procedure

(1) Application:

- Prior to submission of the application, the applicant shall correspond with Planning staff to discuss the request, potential alternatives and the process.
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- The applicant may appeal the Design Review Board's determination to the City Council. A written appeal must be submitted to the Zoning Administrator within thirty calendar days of the Design Review Board's decision.

Applicant:

Date:

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by:

Date:

Planning staff

Date of the Public Meeting:

Meetings are held in City Hall Council Chambers located at 226 West 4th Street, Davenport, Iowa.

Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.

DRB Calendar 2020

Design Review Board

Meetings are generally held on the fourth Monday of the Month in the City Hall Council Chambers.
(subject to change due to holidays and unforeseen circumstances)

Day:	Friday (12pm)	Monday (5pm)
Activity:	Submittal Deadline	Meeting
Date:	1/18/2020	1/28/2020
	2/13/2020	2/25/2020
	3/13/2020	3/24/2020
	4/17/2020	4/27/2020
	5/8/2020	5/18/2020
	6/12/2020	6/22/2020
	7/17/2020	7/27/2020
	8/14/2020	8/24/2020
	9/18/2020	9/28/2020
	10/16/2020	10/26/2020
	11/13/2020	11/23/2020
	12/18/2020	12/28/2020

*** The Applicant or their representative MUST be at the Meeting ***

Location/Time subject to change

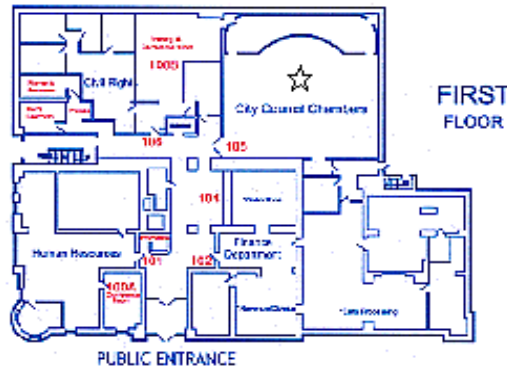
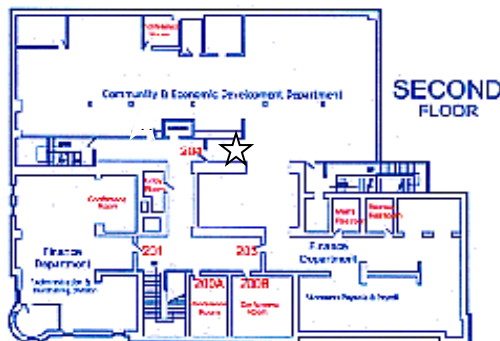
Contact planning@ci.davenport.ia.us to confirm meeting date/time/location

Application Due:

Time: **12:00 PM**
Location: **Community Planning**
Second Floor, City Hall
(see below)

Meeting Appearance:

Time: **5:00 PM**
Location: **City Council Chambers**
First Floor, City Hall
(see below)

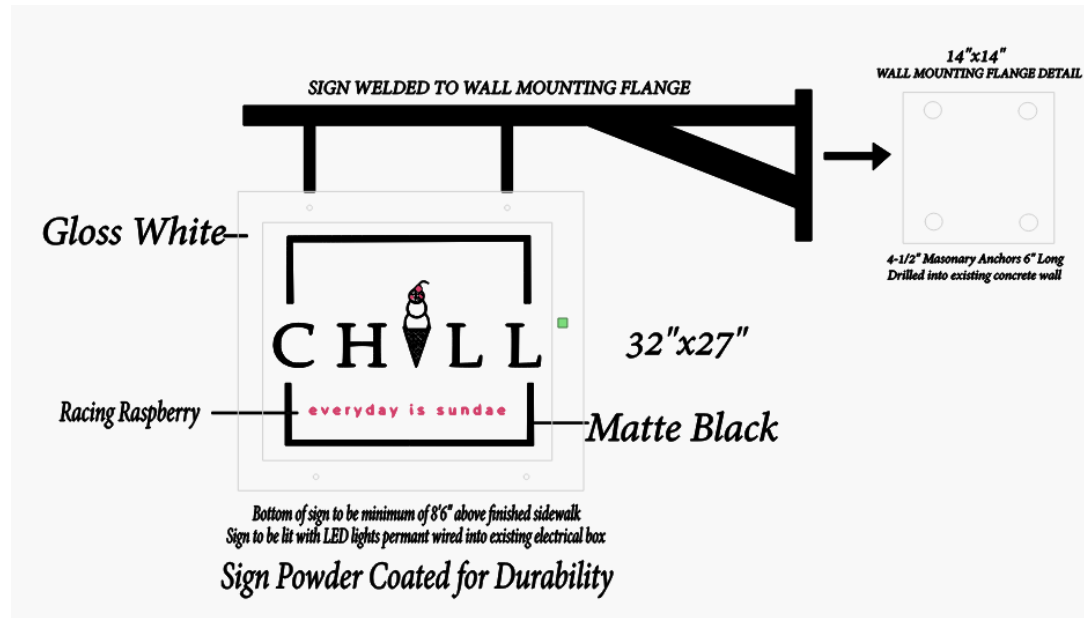


City Hall is located at 226 W 4th St, Davenport IA 52801

Community Planning and Economic Development

City of Davenport, Iowa

Staff Contacts: 563-326-7765 or planning@ci.davenport.ia.us



Chill Ice Cream Shop

421 West River Drive

DAVENPORT
IOWA | USA



City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR21-07: Request for Design Approval, C-D Downtown Zoning District; Projecting Sign Installation at 311 East 2nd Street. Mike Lange, Lange Sign Group, on behalf of John McDermott, petitioner. [Ward 3]

Recommendation:

Staff recommends that DR21-07 be approved in accordance with the submitted work write up and renderings.

Background:

The proposed projecting sign is for Raccoon Motel, located at 311 East 2nd Street.

The projecting sign will be mounted to the north building elevation along 2nd Street. The total sign structure is 48" by 40", which is approximately 13.3 square feet. A minimum vertical clearance of 8 feet from the bottom of the sign to the sidewalk below is required.

The aluminum cabinet will be internally illuminated with white LED lighting. White LED bulbs will be mounted to the arrow. The color scheme is white and red writing on a black background.

The proposed projecting sign complies with the standards outlined in Chapter 17.12 of the Zoning Ordinance.

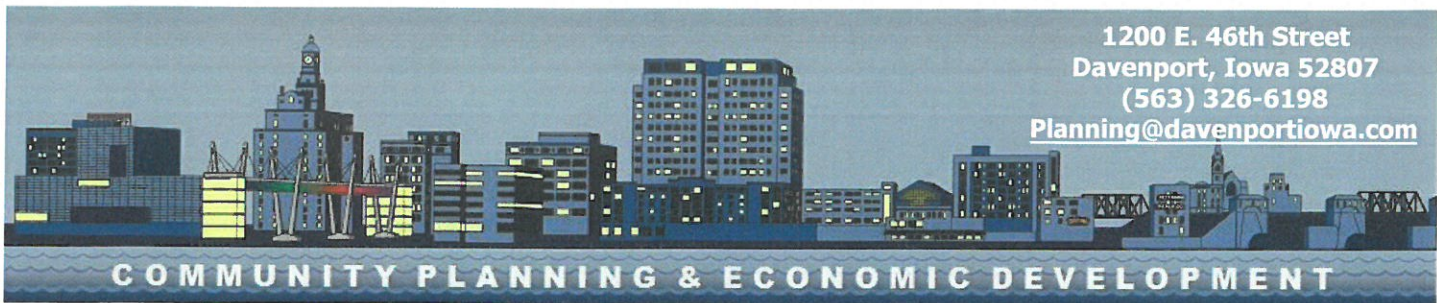
The Downtown Design Guidelines encourage projecting signs since they are very effective in reaching pedestrians. Historically, projecting signs were commonly used on older buildings. The use of a business logo creates a user friendly downtown experience for visitors.

ATTACHMENTS:

Type	Description
▣ Backup Material	Application
▣ Backup Material	Sign Specifications
▣ Backup Material	Photos

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Werderitch, Matt	Approved	4/23/2021 - 1:55 PM



1200 E. 46th Street
Davenport, Iowa 52807
(563) 326-6198
Planning@davenportiowa.com

Complete application can be emailed to planning@davenportiowa.com

Property Address* 311 EAST 2nd STREET

*If no property address, please submit a legal description of the property.

Applicant (Primary Contact)

Name: Mike Lange
Company: LANGE SIGN GROUP
Address: 1780 IL Route 35N
City/State/Zip: EAST Dubuque IL 61825
Phone: 563-590-8297
Email: mike@langedesign.com

Application Form Type:

Plan and Zoning Commission

- Zoning Map Amendment (Rezoning) ☐
Planned Unit Development ☐
Zoning Ordinance Text Amendment ☐
Right-of-way or Easement Vacation ☐
Voluntary Annexation ☐

Owner (if different from Applicant)

Name: John McDermott
Company: Raccoon Motel
Address: 311 EAST 2nd Street
City/State/Zip: Davenport IA
Phone: 563-424 0819
Email:

Zoning Board of Adjustment

- Zoning Appeal ☐
Special Use ☐
Hardship Variance ☐

Design Review Board

- Design Approval ☒
Demolition Request in the Downtown ☐
Demolition Request in the Village of East Davenport ☐

Engineer (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Historic Preservation Commission

- Certificate of Appropriateness ☐
Landmark Nomination ☐
Demolition Request ☐

Architect (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Administrative

- Administrative Exception ☐
Health Services and Congregate Living Permit ☐

Attorney (if applicable)

Name:
Company:
Address:
City/State/Zip:
Phone:
Email:

Design District:

- ☒ CD - Downtown
- ☐ CV – Village of East Davenport
- ☐ CE – Elmore Corners

Not sure which district you are in? You can click [here](#) for a map of the districts or you can contact Planning staff at (563) 326-6198 or planning@davenportiowa.com and we can help you.

When is an application for design approval required?

Prior to the commencement of any work.

What type of activity requires design approval?

- New construction or an alteration to the exterior of a structure where changes are visible from the public right-of-way.
- Installation of any sign or action related to a sign.
- New parking lots, fencing/walls and landscaping or an alteration to existing parking lots, fencing/walls or landscaping.
- Streetscape elements within the right-of-way.
- Demolition within the C-D and C-V Districts requires the owner(s) of record or the City to apply for a demolition approval.

Submittal requirements

- Please contact Planning staff at (563) 326-6198 or planning@davenportiowa.com so we can help you determine what exactly is required to be submitted.
- Incomplete applications will not be accepted.

Submittal requirements for all types of requests:

- The completed application form.
- A work plan that accurately and completely describes the work to be done.
- Color digital photographs depicting the building elevations and proposed construction.

Submittal requirements for specific types of requests:**Minor alterations to existing buildings and new and replacement signs (all of the above and):**

- Specifications, including dimensions, material used and color of the material.
- A rendering of the proposed alteration as depicted on the existing building.
- Samples of the materials, including the color, along with scaled, accurately colored elevations for any proposed sign and/or sign package.

Minor additions, site improvements and outdoor storage areas (all of the above and):

- A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels.
- A preliminary grading plan showing before and after grades at two-foot contour intervals, where deemed necessary by the development official.
- Outdoor storage areas shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the materials and treatment proposed that would accurately reflect the screening of the storage areas.
- A landscape plan.

Major additions and new buildings (all of the above and):

- Reproductions of building or site information found in the historical surveys if applicable
- A verifiable legal description, or a land survey.
- A map showing the existing topography of other properties at two-foot contour intervals, extending one hundred feet from the subject parcel.
- Elevation drawings, in color and drawn to scale, of the front, sides, rear, and roof lines of all proposed buildings or structures, illustrating the appearance and treatment of required screening elements for roof-mounted equipment, where deemed necessary by the development official.
- A materials board containing samples of each type of exterior building materials.

Formal Procedure

(1) Application:

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Applicant: Michael J Fange Date: 4-19-2021

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by: Date:

Planning staff

Date of the Public Meeting:

Meetings are held in City Hall Council Chambers located at 226 West 4th Street, Davenport, Iowa.

Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.

Add additional pages in needed.



PDF COPY
MAY NOT BE TO SCALE

TRI-STATE AREA

1780 IL Route 35 N
E. Dubuque, IL 61025
815.747.2448
(FAX)815.747.3049
(Toll free)888.582.6979

QUAD CITIES AREA

5569 Carey Ave.
Davenport, IA 52807
563.388.6650
(FAX)563.388.6654
(Toll free)800.804.8025

These plans are the exclusive property of the Lange Sign Group and are the result of the original work of it's employees, they are submitted to your company for the sole purpose of your consideration of whether to purchase from Lange Sign Group. A sign manufactured according to these plans, distribution, or exhibition of these plans to anyone other than the employees of your company or use of these plans to construct a sign similar to the one embodied herein is expressly forbidden.

© COPYRIGHT 2020 LSG



Scale: 3/16"=1'-0"



Night View



Existing



Scale: 1"=1'-0"

Furnish and install D/F illuminated aluminum cabinet with white acrylic faces over laid with translucent vinyl. Cabinet sprayed black and illuminated with white LED's. No Vacancy and arrow fabricated aluminum sprayed black and red with red neon tubing to read "NO VACANCY", "NO" to be wired separately so can be turned on and off, white LED Bulbs mounted to arrow

Raccoon Motel

311 East 2nd Street

DAVENPORT
IOWA | USA



City of Davenport
Design Review Board

Department: DNS
Contact Info: Laura Berkley, 563-888-3553

Date
4/26/2021

Subject:

Case DR21-08: Request for Design Review, C-D Downtown Zoning District; Painting west wall, window trim and casings at 324 N. Main Street. Andrew Wold, Petitioner. [Ward 3]

Recommendation:

Staff recommends approval as proposed.

Background:

The petitioner is proposing painting the west exterior brick wall of the building utilizing FLEX LOX acrylic-epoxy masonry paint/sealer. This wall has been previously painted.

The proposed wall paint color is Firewood, with satin black paint for the window trim and casings.

The Downtown Design Guidelines recommends colors related to natural materials such as brick, stone, tiles and terra cotta on larger surfaces. While this language is within the guidelines, it should be noted that the focus is more on the appropriate paint materials.

Staff notes that with the information provided, appropriate measures are being taken to properly paint the brick.

ATTACHMENTS:

Type	Description
Backup Material	Application

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Berkley, Laura	Approved	4/23/2021 - 5:44 PM



Complete application can be emailed to planning@ci.davenport.ia.us

Property Address* 324 N. Main St Davenport, IA

*If no property address, please submit a legal description of the property.

Applicant (Primary Contact)

Name: Andrew Wold
Company: Alliance Contracting
Address: P.O. Box 611
City/State/Zip: Bettendorf, IA 52722
Phone: 563-940-6640
Email: aw19813@msn.com

Owner (if different from Applicant)

Name: _____
Company: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Engineer (if applicable)

Name: _____
Company: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Architect (if applicable)

Name: _____
Company: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

Attorney (if applicable)

Name: _____
Company: _____
Address: _____
City/State/Zip: _____
Phone: _____
Email: _____

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Hardship Variance ☐

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Landmark Nomination ☐
Demolition Request ☐

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Health Services and Congregate Living Permit ☐

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Applicant: andrew Wold

Date: 04/22/2021

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by:

Planning staff

Date:

Date of the Public Meeting:

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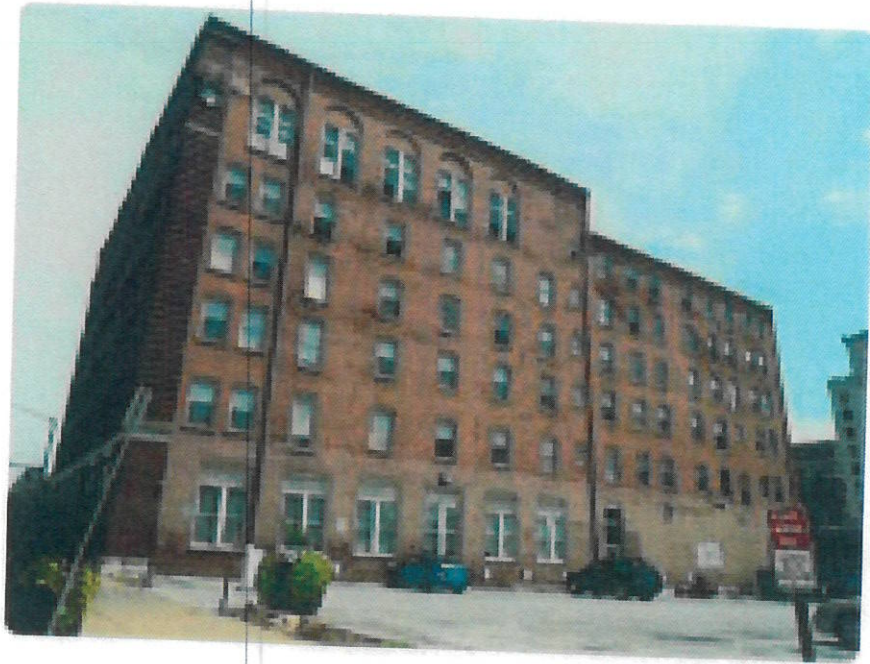
Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.

West Wall: Install FLEX LOX Acrylic-Epoxy Masonry Paint/Sealer paint per the instruction of City of Davenport and Townsend Engineering to west section of building located at 324 N. Main. FLEX LOX Acrylic-Epoxy Masonry Paint/Sealer will be installed per manufacturers recommendations. Please note this side of building was previously coated with a flex loc type product. This is a re-coat to help protect the buildign and also for cosmetic purposes as well.

West Wall: Paint window trim and casings satin black. An appropriate exterior paint will be used to paint windows trim and casings.

Add additional pages in needed.



324 N. Main West Wall

10/ USA

All Surface Enamel Interior-Exterior Latex Satin

A41-1300 Series

Top Coat
Lox On



CHARACTERISTICS

All Surface Enamel is designed for use on interior and exterior wood, metal, drywall, and other surfaces.

This high quality coating provides excellent resistance to weather and sunlight, maintaining its gloss and color. The exceptional durability allows it to be used on doors, trim, windows, and other hard wear areas.

Interior & Exterior for use on these surfaces:

- Aluminum • Drywall • Steel • Cement • Wood
- Masonry • Concrete • Plaster • Galvanized

Color: Many Colors
To optimize hide and color development, always use the recommended P-Shape primer

Coverage: 350-400 sq. ft. per gallon
@ 4 mils wet 1.7 mils dry

Drying Time, @ 77°F, 50% RH:

Touch: 1 Hour

Recoat: 4 Hours

Drying and recoat times are temperature, humidity, and film thickness dependent

Finish: 10-20 units @ 60°

Tinting with GCE:

Base:	oz. per gallon:	Strength:
Extra White	0-6	SherColor
Deep Base	6-12	SherColor
Ultra Deep Base	10-12	SherColor

Package black available

Extra White A41W01351
(may vary by color)

V.O.C. (less exempt solvents):

less than 50 grams per liter; 0.42 lbs. per gallon
As per 40 CFR 59.408

Volume Solids: 42 ± 2%
Weight Solids: 55 ± 2%
Weight per Gallon: 10.61 lbs
Flash Point: N.A.
Vehicle Type: Acrylic
Shelf Life: 36 months unopened

COMPLIANCE

As of 02/25/2020, Complies with:

OTC	Yes
OTC Phase II	Yes
SCAQMD	Yes
CARB	Yes
CARB SCM 2007	Yes
Canada	Yes
LEED® v4 & v4.1 Emissions	Yes
LEED® v4 & v4.1 V.O.C.	Yes
EPD-NSF® Certified	No
MIR-Product Lens Certified	No
MPP®	No

APPLICATION

Apply at temperatures above 50°F.
No reduction needed.

Brush:

Use a nylon-polyester

Roller:

Use a 1/4 to 3/4 inch synthetic cover.

For specific brushes and rollers, please refer to our Brush and Roller Guide.

Spray—Airless

Pressure 1500 p.s.i.
Tip .017-.021 inch

APPLICATION TIPS

Make sure product is completely agitated (mechanically or manually) before use.

SPECIFICATIONS

Aluminum
2 coats All Surface Latex Enamel
Drywall, interior
1 coat Premium Wall & Wood Primer
2 coats All Surface Latex Enamel
Galvanized Steel
2 coats All Surface Latex Enamel
Masonry, Concrete, Cement, Block
1 coat ConFlex Block Filler (optional)
Or Loxon Concrete and Masonry Primer
2 coats All Surface Latex Enamel
Plaster
1 coat Loxon Concrete and Masonry Primer
2 coats All Surface Latex Enamel
Steel
1 coat All Surface Enamel Latex Primer
2 coats All Surface Latex Enamel
Wood, interior
1 coat Premium Wall & Wood Primer
2 coats All Surface Latex Enamel
Wood, exterior
1 coat Exterior Latex Wood Primer
2 coats All Surface Latex Enamel

Color: fireweed
proposed



02/2020

continued on back