

DESIGN REVIEW BOARD MEETING

CITY OF DAVENPORT, IOWA

MONDAY, AUGUST 23, 2021; 5:00 PM

COUNCIL CHAMBERS CITY HALL, 226 W. 4TH STREET

I. Call to Order

II. Secretary's Report

A. Consideration of the August 5, 2021 Meeting Minutes

III. Old Business

IV. New Business

A. Case DR21-13: Request for Design Review, C-D Downtown Zoning District; Exterior masonry wall repair and stabilization at 314 Gaines Street. Licandro Management, petitioner. [Ward 3]

V. General Discussion

A. Discussion of the Downtown Design Guidelines Update project.

VI. Public Comment

VII. Adjournment

VIII. Next Board Meeting: September 27, 2021

City of Davenport  
Design Review Board

Department: DNS  
Contact Info: Matt Werderitch 563.888.2221

**Date**  
**8/23/2021**

Subject:  
Consideration of the August 5, 2021 Meeting Minutes

Recommendation:  
Approve the minutes.

ATTACHMENTS:

Type	Description
▣ Backup Material	Meeting Minutes 8-5-21

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Werderitch, Matt	Approved	8/19/2021 - 12:14 PM

MINUTES  
DESIGN REVIEW BOARD MEETING  
CITY OF DAVENPORT, IOWA

THURSDAY, AUGUST 5, 2021; 5:00 PM

COUNCIL CHAMBERS CITY HALL 226 WEST 4TH STREET

\*A PARTIALLY ELECTRONIC MEETING IS BEING HELD.

I. Call to Order

Present: Gramenz, Lundgren, Rashid, Salzer, Slobojan, Stinocher, Howell

Absent: Wilkinson

Staff: Berkley, Werderitch

II. Secretary's Report

- A. Consideration of the June 28, 2021 Minutes. The minutes were approved following a motion by Stinocher and a second by Howell.

III. Old Business

- A. Case DR21-11: Request for Design Review, C-V Village of East Davenport Zoning District; Installation of Signage and Exterior Brick Painting at 2218 East 11th Street. Darren Low, Petitioner. [Ward 5]

Berkley provided an overview of the proposed signage and exterior brick painting. Darren Low, petitioner, was in attendance to answer questions.

Staff recommended approval of the proposed signs with the following conditions:

1. That all sign installation to the brick walls be installed into the mortar.
2. That the external lighting be angled toward the sign and not produce glare on roadways or surrounding properties.
3. The exterior paint used is made specifically for masonry and applied per manufacturer's instructions.

Motion by Rashid, seconded by Howell, to approve the project as presented with staff's recommended conditions. The motion passed 7-0.

IV. New Business

- A. Case DR21-12: Request for Design Review, C-D Downtown Zoning District; Installation of an exterior door at 130 West 5th Street. Joseph Sampson of Sampson Construction Inc., petitioner, on behalf of St. Anthony Church. [Ward 3]

Werderitch described the scope of the project. Due to the interior classroom remodel, a new form of egress is required per fire code.

Staff recommended approval of the door installation. Motion by Lundgren, second by Howell, to approve the project as presented. The motion passed 7-0.

V. General Discussion

VI. Public Comment

VII. Adjournment

Motion by Slobojan, seconded by Rashid, to adjourn. Motion passed 7-0. The meeting adjourned at 5:15 pm

VIII. Next Board Meeting: August 23, 2021



City of Davenport  
Design Review Board

Department: DNS  
Contact Info: Matt Werderitch 563.888.2221

Date  
8/23/2021

Subject:

Case DR21-13: Request for Design Review, C-D Downtown Zoning District; Exterior masonry wall repair and stabilization at 314 Gaines Street. Licandro Management, petitioner. [Ward 3]

Recommendation:

Staff recommends approval of the masonry wall repair and stabilization as presented.

Background:

The project proposal is to repair and stabilize the deteriorated south parapet wall and sections of masonry wall located near the south end of the east elevation. This is part of a larger multi-phase project to rehabilitate the long neglected structure, which was constructed in three sections between 1852 and 1867.

The Hiller Building is located within the West Third Street National Historic District. The applicant is applying for State and Federal Historic Tax Credits to repair the structure, which will be in accordance with the Secretary of the Interior's Standards Rehabilitation.

Renaissance Restoration, a Galena, IL and Des Moines, IA, firm with experience in restoring historic masonry buildings has been selected to perform the rehabilitation. The scope of the plan includes the following work:

1. Restoration of the exposed stone on the east elevation.
2. Repointing of the interior south side basement.
3. First and part of second floor walls to be tuckpointed with lime mortar.
4. Removal of the south parapet and parged brick wall to the second floor window sills.
5. The south wall will be rebuilt with concrete block units and finished with a cement parge coat.
6. The west extension wall on the second story will be removed to approximately two feet above the floor and rebuilt in concrete block units. The wall will be finished with a layer of veneer limestone rubble.
7. The brick parapet will be replaced with appropriate brick and mortar.

Since the State Historic Preservation Office is reviewing the project scope for conformance with the Secretary of the Interior's Standards for Rehabilitation, appropriate measures are being taken to properly restore the structure.

The Downtown Design Guidelines state projects shall reinforce a sense of historical continuity. By preserving an older building, the history and stories of this block will be protected for present and future residents. The downtown is more valuable when there is a unique sense of character in its buildings. The petitioner has achieved this guideline through the preservation of a historic structure.

ATTACHMENTS:

Type	Description
□ Backup Material	Application
□ Backup Material	Structural Engineering Plans
□ Backup Material	Photos

- ▢ Backup Material
- ▢ Backup Material
- ▢ Backup Material

Photo Key  
Historic Photos  
Downtown Design Guidelines-Sense of History

**REVIEWERS:**

Department	Reviewer	Action	Date
Community Planning & Economic Development	Werderitch, Matt	Approved	8/19/2021 - 12:15 PM



1200 E. 46th Street  
Davenport, Iowa 52807  
(563) 326-6198

[Planning@davenportiowa.com](mailto:Planning@davenportiowa.com)

Complete application can be emailed to [planning@davenportiowa.com](mailto:planning@davenportiowa.com)

Property Address\* 314 Gaines St. Davenport, IA 52802

\* If no property address, please submit a legal description of the property.

**Applicant (Primary Contact)**

Name: Jamey Licandro  
Company: Licandro Management  
Address: 4255 Newport Ct.  
City/State/Zip: Bethesda/IA/52722  
Phone: (563) 209-2279  
Email: JameyLicandro@gmail.com

**Application Form Type:**

**Plan and Zoning Commission**

- Zoning Map Amendment (Rezoning) ☐  
Planned Unit Development ☐  
Zoning Ordinance Text Amendment ☐  
Right-of-way or Easement Vacation ☐  
Voluntary Annexation ☐

**Owner (if different from Applicant)**

Name:   
Company:   
Address:   
City/State/Zip:   
Phone:   
Email:

**Zoning Board of Adjustment**

- Zoning Appeal ☐  
Special Use ☐  
Hardship Variance ☐

**Design Review Board**

- Design Approval ☒  
Demolition Request in the Downtown ☐  
Demolition Request in the Village of East Davenport ☐

**Engineer (if applicable) Todd Birkel**

Name: Hooting Coyote LLC  
Company: Hooting Coyote LLC  
Address: 1553 W Merley Road  
City/State/Zip: Elizabeth/IL/61028  
Phone: (815) 858-5514  
Email: tbirkel@hootingcoyote.com

**Historic Preservation Commission**

- Certificate of Appropriateness ☐  
Landmark Nomination ☐  
Demolition Request ☐

**Architect (if applicable)**

Name: Andrew Dasso  
Company: Streamline Architects  
Address: 575 12th Ave  
City/State/Zip: East Moline/IL/61244  
Phone: (563) 345-2724  
Email: andrew@streamlinearchitects.com

**Administrative**

- Administrative Exception ☐  
Health Services and Congregate Living Permit ☐

**Attorney (if applicable)**

Name:   
Company:   
Address:   
City/State/Zip:   
Phone:   
Email:

## Design District:

- ☒ CD - Downtown
- ☐ CV - Village of East Davenport
- ☐ CE - Elmore Corners

**Not sure which district you are in?** You can click [here](#) for a map of the districts or you can contact Planning staff at (563) 326-6198 or [planning@davenportiowa.com](mailto:planning@davenportiowa.com) and we can help you.

## When is an application for design approval required?

Prior to the commencement of any work.

## What type of activity requires design approval?

- New construction or an alteration to the exterior of a structure where changes are visible from the public right-of-way.
- Installation of any sign or action related to a sign.
- New parking lots, fencing/walls and landscaping or an alteration to existing parking lots, fencing/walls or landscaping.
- Streetscape elements within the right-of-way.
- Demolition within the C-D and C-V Districts requires the owner(s) of record or the City to apply for a demolition approval.

## Submittal requirements

- Please contact Planning staff at (563) 326-6198 or [planning@davenportiowa.com](mailto:planning@davenportiowa.com) so we can help you determine what exactly is required to be submitted.
- Incomplete applications will not be accepted.

### Submittal requirements for all types of requests:

- The completed application form.
- A work plan that accurately and completely describes the work to be done.
- Color digital photographs depicting the building elevations and proposed construction.

### Submittal requirements for specific types of requests:

#### Minor alterations to existing buildings and new and replacement signs (all of the above and):

- Specifications, including dimensions, material used and color of the material.
- A rendering of the proposed alteration as depicted on the existing building.
- Samples of the materials, including the color, along with scaled, accurately colored elevations for any proposed sign and/or sign package.

#### Minor additions, site improvements and outdoor storage areas (all of the above and):

- A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels.
- A preliminary grading plan showing before and after grades at two-foot contour intervals, where deemed necessary by the development official.
- Outdoor storage areas shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the materials and treatment proposed that would accurately reflect the screening of the storage areas.
- A landscape plan.

Major additions and new buildings (all of the above and):



## Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Board.

This application asks the design review board to approve only initial work scheduled to be performed this fall to repair and stabilize the seriously deteriorated south parapet and wall and issues at the south end of the east elevation.

We are applying for state and federal historic tax credits. The Part 2 work plan for those applications is still in process and must, of course, follow Secretary of Interior standards for rehabilitation. A complete Part 2 HTC application requires inclusion of details for all parts of the proposed rehabilitation. When those plans are completed, we will return to the Design Review board for their approval of any exterior rehab within their purview.

### Background:

The building's walls are constructed mainly of rubble limestone. All stone walls except the front, east elevation were likely parged when the building was constructed. Evidence of historic parging can be found on the west elevation. Two rear walls are of brick and two are frame construction. These walls are not part of this repair. The building was constructed in three sections between 1852 and 1867.

It was continuously inhabited until the city of Davenport ordered it vacated in 2015.

In the summer of 2020, with the south parapet and wall and a section of the southern end of the east elevation showing cracks, it was purchased by its current owner. A small emergency HRDP grant applied for in Summer 2020 and was received in November 2020, but the cold weather made repair work impossible. All HRDP grants are reviewed by the Iowa State Historic Preservation Office (SHPO) reviewers to ensure that work follows the required standards; our emergency grant was reviewed by SHPO.

As we began meeting with our mason last winter to lay out work to take place in the spring, he began proposing changes which were not in line with the original plan. We looked for more options and selected Renaissance Restoration, a Galena, IL and Des Moines, IA based firm with decades of experience in restoring historic masonry buildings.

The delay in work gave us the opportunity to apply for the regular round of HRDP grants due in early April 2021. Our new grant proposal was submitted, reviewed by SHPO, and we received notice of our new, larger grant in early July.

The Renaissance Restoration plan calls for restoration of the exposed stone east elevation; repointing of interior southside basement, first and part of second floor walls with lime mortar; and removing of the south parapet and parged brick wall to the second floor window sills. The south wall will be rebuilt with concrete block units and finished with a cement parge coat.

On the west extension wall, the second story wall will be removed to about two feet above the floor and rebuilt in concrete block units. It will receive a layer of veneer limestone rubble.

The brick parapet will be replaced with appropriate brick and mortar.

During this entire process, we have worked with Davenport Public Works as plans have evolved. This is obviously a costly process; repair to the south wall alone will cost \$330,000. But we are committed to repairs of this compromised area that will stand the test of time.

Attached is the engineering drawing as well as photos and photo keys submitted this spring for the HRDP grant.

MASONRY

- |   |                            |
|---|----------------------------|
| 1. DESIGN BASED UPON 2015 INTERNATIONAL BUILDING CODE (IBC2015).                              |                            |
| 2. DEAD LOADS:  |                            |
| WEIGHT OF STRUCTURAL COMPONENTS ESTABLISHED IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE. |                            |
| 3. LIVE LOADS   |                            |
| 3.1. RESIDENTIAL  | 40 PSF (SERVICE LOAD)      |
| 3.2. ROOF   | 20 PSF (SERVICE LOAD)      |
| 4. SNOW LOADS:  |                            |
| 4.1. GROUND SNOW LOAD, $P_g$  | 25 PSF (SERVICE LOAD)      |
| 4.2. FLAT-ROOF SNOW LOAD, $P_f$   | 19.25 PSF (SERVICE LOAD)   |
| 4.3. SLOPED-ROOF SNOW LOAD, $P_s$   | 19.25 PSF (SERVICE LOAD)   |
| 4.4. SNOW EXPOSURE FACTOR, $C_e$  | 1.00                       |
| 4.5. IMPORTANCE FACTOR, $I_s$   | 1.00                       |
| 4.6. THERMAL FACTOR, $C_t$  | 1.10                       |
| 5. WIND LOADS:  |                            |
| 5.1. ULTIMATE WIND SPEED, $V_{ult}$   | 115 MPH                    |
| 5.2. EXPOSURE   | B                          |
| 5.3. INTERNAL PRESSURE COEFF.   | +/-0.18                    |
| 5.4. COMPONENTS AND CLADDING  |                            |
| 5.4.1. MAN-DOORS, WINDOWS   | +/- 50 PSF (FACTORED LOAD) |

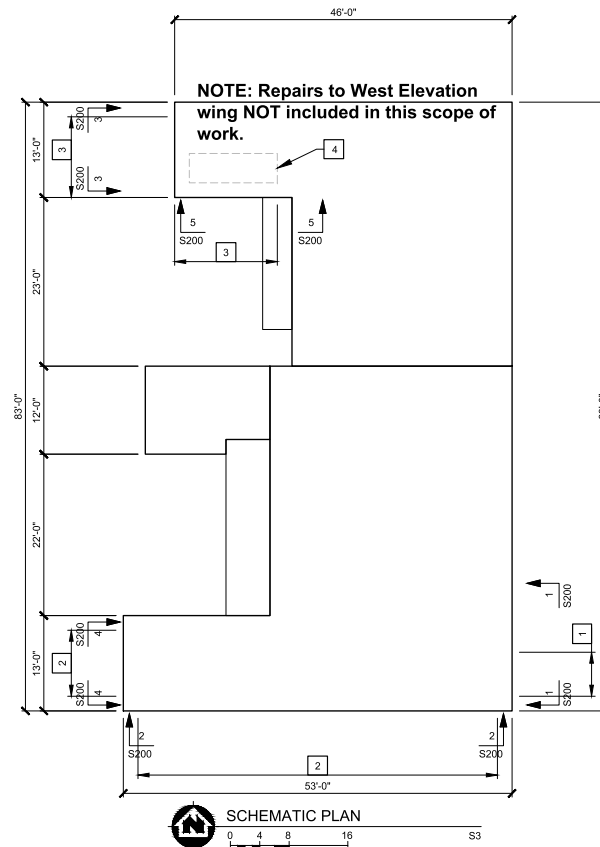
WOOD

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL BUILDING CODES AND OTHER CODES OF APPLICABLE REGULATORY AGENCIES.
2. CONTRACTOR SHALL COMPLY WITH LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY BEARING UPON THE PERFORMANCE OF THE WORK.
3. PERFORM WORK IN ACCORDANCE WITH SPECIFICATIONS AND CONTRACT DRAWINGS. REPORT DISCREPANCIES BETWEEN SPECIFICATIONS AND CONTRACT DRAWINGS TO ARCHITECT FOR CLARIFICATION PRIOR TO IMPLEMENTING WORK.
4. THE STRUCTURE SHALL BE DESIGNED TO RESIST THE SAME SIZE DETAILS FOR SIMILAR CONDITIONS WHEN DETAILS FOR CONSTRUCTION ARE NOT INDICATED FOR A SPECIFIC CONDITION.
5. OPENINGS AND PENETRATIONS THROUGH STRUCTURAL ELEMENTS AND ITEMS EMBEDDED IN STRUCTURAL ELEMENTS THAT ARE NOT INDICATED ON STRUCTURAL DRAWINGS SHALL BE REVIEWED BY STRUCTURAL ENGINEER PRIOR TO IMPLEMENTING WORK.
6. DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONAL INFORMATION.
7. DO NOT PLACE MATERIALS OR EQUIPMENT ON UNFINISHED FLOORS OR ROOFS IN EXCESS OF 20 PSF NOR ON FINISHED FLOORS/ROOFS IN EXCESS OF THE INDICATED DESIGN LIVE LOADS. AVOID IMPACT LOADING.
8. THE STRUCTURE WAS DESIGNED FOR THE IN-SERVICE CONDITIONS ONLY. THE METHODS, PROCEDURES AND SEQUENCES OF CONSTRUCTION ARE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF CONSTRUCTION.
9. EXISTING CONDITIONS AND RELATED DIMENSIONS INDICATED IN CONTRACT DOCUMENTS ARE PROVIDED FOR INFORMATION ONLY AND SHALL BE FIELD VERIFIED PRIOR TO IMPLEMENTING WORK. CONDITIONS THAT DIFFER FROM THAT INDICATED IN CONTRACT DOCUMENTS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW PRIOR TO IMPLEMENTING WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO EXISTING CONSTRUCTION WHILE PERFORMING WORK. CONTRACTOR SHALL PROPERLY REINSTATE EXISTING FINISHES, APPROPRIATIONS OR ITEMS THAT ARE REMOVED OR DAMAGED WHILE PERFORMING WORK.
11. GENERALLY, DRAWINGS DO NOT INDICATE TEMPORARY REQUIREMENTS. NEED FOR TEMPORARY SHORING, TEMPORARY DEWATERING, TEMPORARY EARTH RETENTION, TEMPORARY WATER CUTOFF OR OTHER TEMPORARY MEASURES MAY BE INDICATED ON CONTRACT DOCUMENTS AT THE DISCRETION OF ARCHITECT FOR CONTRACTORS CONVENIENCE. DRAWINGS DO NOT IDENTIFY ALL AREAS OR CONDITIONS REQUIRING TEMPORARY MEASURES. IT IS CONTRACTOR'S RESPONSIBILITY TO CONFIRM TEMPORARY MEASURES INDICATED ON DRAWINGS, IDENTIFY OTHER AREAS OF CONSTRUCTION REQUIRING TEMPORARY MEASURES, AND IDENTIFY THE MOST EFFICIENT TEMPORARY SYSTEMS AND DESIGN OF CONSTRUCTION TEMPORARY SYSTEMS.
12. DO NOT SUSPEND ANY ITEM FROM WOOD SHEATHING OR WOOD SUB-PURLINS.

1. MASONRY CONSTRUCTION PROCEDURES SHALL COMPLY WITH THE REQUIREMENTS OF IBC - SECTION 2104 AND TMS 602 / ACI 530.1 / ASCE 6.
2. HOLLOW LAUD BEARING UNITS SHALL CONFORM TO ASTM C90 HAVING A MINIMUM COMPRESSIVE STRENGTH OF 2,800 PSI, AND CORRESPONDING PRISM STRENGTH OF 7m
3. MORTAR SHALL BE TYPE S.
4. GROUT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI.
5. REINFORCEMENT SHALL CONFORM TO ASTM A616, GRADE 60.
6. LAYERS IN RUNNING BOND. CORNERS SHALL HAVE STANDARD BOND BY OVERLAPPING UNITS.
7. FOR 6", 8", 10" AND 12" CONCRETE MASONRY UNIT (CMU) WALLS, PROVIDE (1) #5 FULL HEIGHT IN CENTER OF EACH AT 4'-0" C/C. MAXIMUM, CORNERS, INTERSECTIONS, WALL ENDS, OPENING JAMBS, AS WELL AS EACH SIDE OF EXPANSION AND CONTROL JOINTS IN ORDER TO REINFORCEMENT DEPICTED ON PLANS, SECTIONS AND DETAILS.
8. PROVIDE 8" (MIN.) DEEP CONTINUOUS BOLT BEAM GROUTED SOLID WITH (2) #5 AT STRUCTURAL FLOORS, ROOF LINES AND TOP OF PARAPETS. SEE PLANS, SECTIONS AND DETAILS FOR ADDITIONAL LOCATIONS.
9. GROUT ALL REINFORCED CELLS SOLID FULL HEIGHT. GROUT CELLS SOLID BELOW GRADE.
10. LAP SPICES IN MASONRY REINFORCING SHALL BE 48 BAR DIAMETERS.

- WOOD**
1. COMPLY WITH AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) STANDARDS AND STRESS GRADED LUMBER CONSTRUCTION, LATEST EDITION.
  2. DO NOT NAIL, OR DRILL JOISTS, BEAMS OR LOAD BEARING STUDS WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
  3. PROTECT WOOD SPECIES WITH THE SPECIFIED GRADE FOR THE FOLLOWING ELEMENTS:
    - 3.1. 2x4 AND 2x6 SUB-PURLINS SPRUCE PINE FIR (SPF) - NO. 1 / NO. 2
    - 3.2. 2x4 AND 2x6 STUDS SPRUCE PINE FIR (SPF) - NO. 1 / NO. 2
    - 3.3. 2x4 AND 2x10 JOIST/PURLIN HEMLOCK / FIR (HF) - NO. 1
    - 3.4. 2x12 JOIST/PURLIN DOUGLAS FIR / LARCH (DF-L) - NO. 1
    - 3.5. LEDGERS AND BLOCKING SPRUCE PINE FIR (SPF) - NO. 1 / NO. 2
  4. PROTECT STRUTS, (EXPOSURE TO RAIN AND BALCONIES ONLY) RATED PLYWOOD OR ORIENTED STRAND BOARD (OSB) SHEATHING BEARING THE AIPA TRADEMARK, SEE PLANS, AND DETAILS FOR REQUIRED THICKNESS OF SHEATHING. PROVIDE SHEATHING WITH SPAN RATINGS APPROPRIATE FOR THE LOADINGS INDICATED UNDER "DECK CRITERIA". PLACE SHEETS WITH STRONG AXIS PERPENDICULAR TO SUPPORTS. PROVIDE 1/8" GAP BETWEEN SHEATHING PANELS.
  5. STEEL HANGERS AND STEEL CONNECTORS FOR WOOD FRAMING SHALL BE MANUFACTURED BY SINKER STEEL COMPANY, INC. OR APPROVED EQUIVALENT MANUFACTURER ACCEPTABLE TO STRUCTURAL ENGINEER. STEEL HANGERS AND STEEL CONNECTORS SHALL PROVIDE MINIMUM CAPACITIES INDICATED ON DRAWINGS.
  6. LAMINATED VENEER LUMBER (MICROLAM LVL), AS PRODUCED BY TRUS-JOIST, (LEVEL) SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

Fv	2,600 PSI	Fv	283 PSI
E	1,900,000 PSI	E	116,750 PSI
Ft	1,555 PSI	Ft perpendicular	750 PSI
Fc parallel	2,510 PSI		



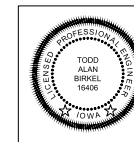
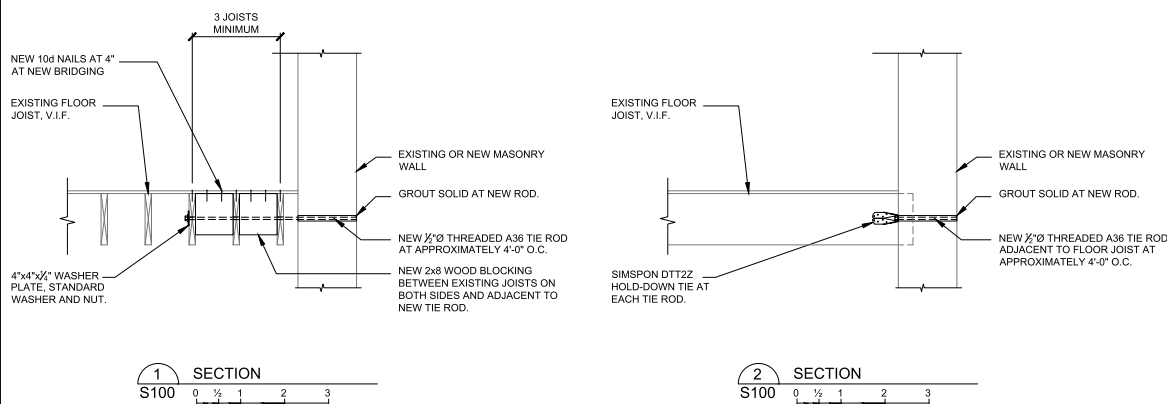
1. SEE SHEET S100 FOR MATERIAL SPECIFICATIONS.  
2. SHEET S200 FOR ELEVATIONS.

1. PARTIALLY RE-POINT INTERIOR AND EXTERIOR SIDE OF EXISTING STONE MASONRY WALL, AS WELL AS REPAIR DETERIORATED LINTEL TO MATCH EXISTING CONSTRUCTION, SEE 1/5200.
2. TEMPORARILY SHORE EXISTING FRAMING SYSTEM. PARTIALLY DEMOLISH AND RE-BUILD EXISTING DETERIORATE STONE MASONRY WALL TO MATCH EXISTING CONSTRUCTION, SEE 4/5200, & 5/5200. WHERE MASONRY IS NOT EXPOSED TO VIEW (INTERIOR AND EXTERIOR) PROVIDE ALTERNATE PRICING FOR USE OF NEW CONCRETE MASONRY UNITS (CMU) INSTEAD OF RE-USE OF EXISTING STONE MASONRY.
3. TEMPORARILY SHORE EXISTING FRAMING SYSTEM. PARTIALLY DEMOLISH AND RE-BUILD EXISTING DETERIORATE BRICK MASONRY WALL WITH STONEMWORK CORNERS TO MATCH EXISTING CONSTRUCTION, SEE 4/5200, & 5/5200.
4. TEMPORARILY SHORING SCAFFOLD SYSTEM FROM BASEMENT SLAB TO UNDERSIDE OF ROOF FRAMING.



**HOOTING  
COYOTE LLC**  
TODD BIRKEL,  
STRUCTURAL ENGINEER  
1553 W. MORLEY ROAD,  
ELIZABETH, IL 61029  
telephone: (815) 858-5514  
e-mail:  
tbirkel@hootingcoyote.com  
web address:  
http://hootingcoyote.com  
Copyright 2021

ISSUANCE	
NO.	DATE
1	2021.xx.xx



I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

ENGINEER'S NAME \_\_\_\_\_

Iowa Registration Number: 15406

My license renewal date is December 31, 2021

Pages or sheets covered by this seal: \_\_\_\_\_

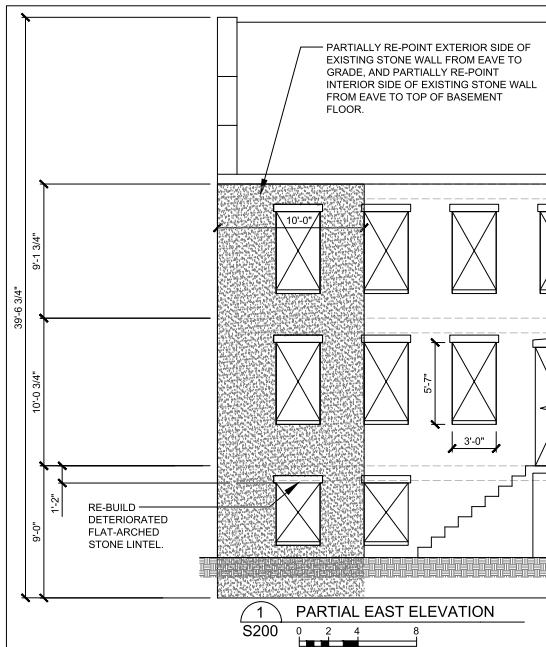
\$100 & \$200 \_\_\_\_\_

**HILLER  
BUILDING**

314 GAINES ST.  
DAVENPORT, IOWA

NOTES  
AND  
PLAN

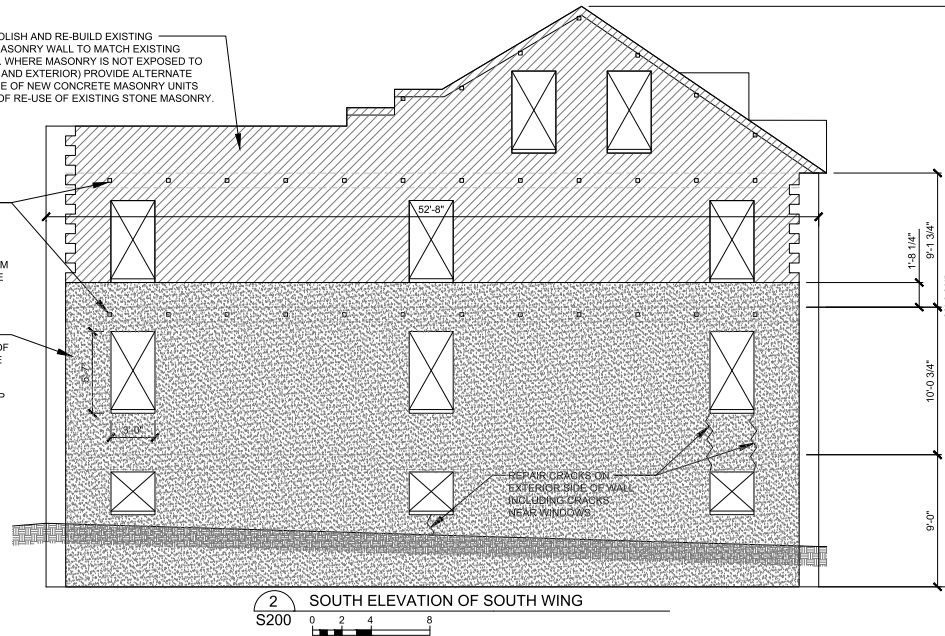
**S100**



PARTIALLY DEMOLISH AND RE-BUILD EXISTING DETERIORATE MASONRY WALL TO MATCH EXISTING CONSTRUCTION. WHERE MASONRY IS NOT EXPOSED TO VIEW (INTERIOR AND EXTERIOR) PROVIDE ALTERNATE PRICING FOR USE OF NEW CONCRETE MASONRY UNITS (CMU) INSTEAD OF RE-USE OF EXISTING STONE MASONRY.

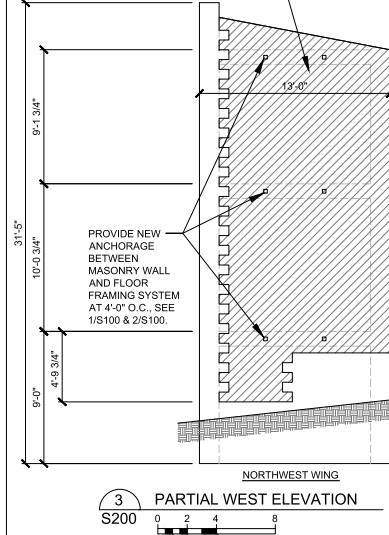
PROVIDE NEW ANCHORAGE BETWEEN MASONRY WALL AND FLOOR FRAMING SYSTEM AT 4'-0" O.C., SEE 1/S100 & 2/S100.

RE-POINT INTERIOR SIDE OF EXISTING STONE WALL FROM BOTTOM OF RE-BUILD TO TOP OF BASEMENT FLOOR.

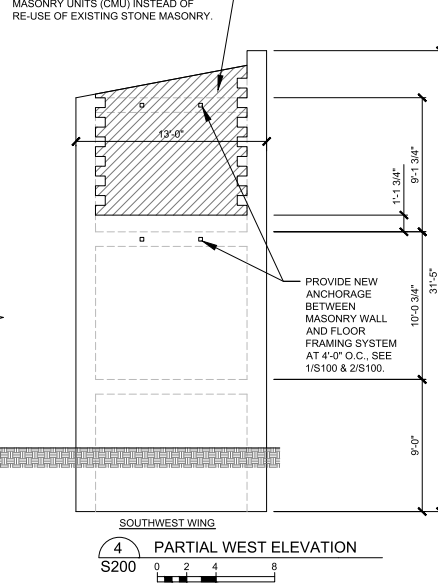


PARTIALLY DEMOLISH AND RE-BUILD EXISTING DETERIORATE BRICK MASONRY WALL WITH STONEWORK NEAR CORNERS TO MATCH EXISTING CONSTRUCTION.

**NOTE: Repairs to West Elevation wing NOT included in this scope of work**



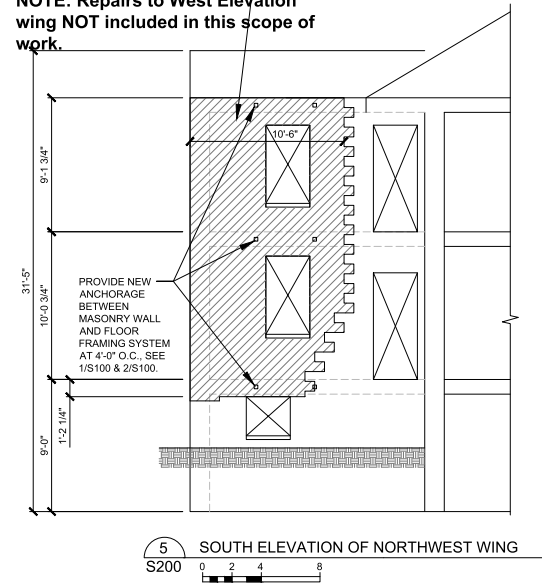
PARTIALLY DEMOLISH AND RE-BUILD EXISTING DETERIORATE STONE MASONRY WALL TO MATCH EXISTING CONSTRUCTION. WHERE MASONRY IS NOT EXPOSED TO VIEW (INTERIOR AND EXTERIOR) PROVIDE ALTERNATE PRICING FOR USE OF NEW CONCRETE MASONRY UNITS (CMU) INSTEAD OF RE-USE OF EXISTING STONE MASONRY.



PROVIDE NEW ANCHORAGE BETWEEN MASONRY WALL AND FLOOR FRAMING SYSTEM AT 4'-0" O.C., SEE 1/S100 & 2/S100.

PARTIALLY DEMOLISH AND RE-BUILD EXISTING DETERIORATE BRICK MASONRY WALL WITH STONEWORK NEAR CORNERS TO MATCH EXISTING CONSTRUCTION.

**NOTE: Repairs to West Elevation wing NOT included in this scope of work.**



PROVIDE NEW ANCHORAGE BETWEEN MASONRY WALL AND FLOOR FRAMING SYSTEM AT 4'-0" O.C., SEE 1/S100 & 2/S100.

REPAIR CRACKS ON EXTERIOR SIDE OF WALL INCLUDING CRACKS NEAR WINDOWS



**HOOTING COYOTE LLC**  
 1000 BARKER,  
 STRUCTURAL ENGINEER  
 1553 W. MOBLEY ROAD,  
 ELIZABETH, IL 61801  
 Telephone: (815) 858-5514  
 Email: bark@hootingcoyote.com  
 Web Address: http://hootingcoyote.com  
 Copyright 2021

ISSUANCE

NO. DATE

1 2021.xx.xx



HILLER-HRDP GRANT-2  
PHOTO #: 1  
DATE: April 30, 2021  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SW, E eleva-  
tion



HILLER-HRDP GRANT-2  
PHOTO #: 2  
DATE: April 30, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SW, N elevation.

HILLER-HRDP GRANT-2  
PHOTO #: 3  
DATE: April 30, 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SE, W eleva-  
tion



HILLER-HRDP GRANT-2  
PHOTO #: 4  
DATE: April 30, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking E, detail be-  
tween wings, W elevation.



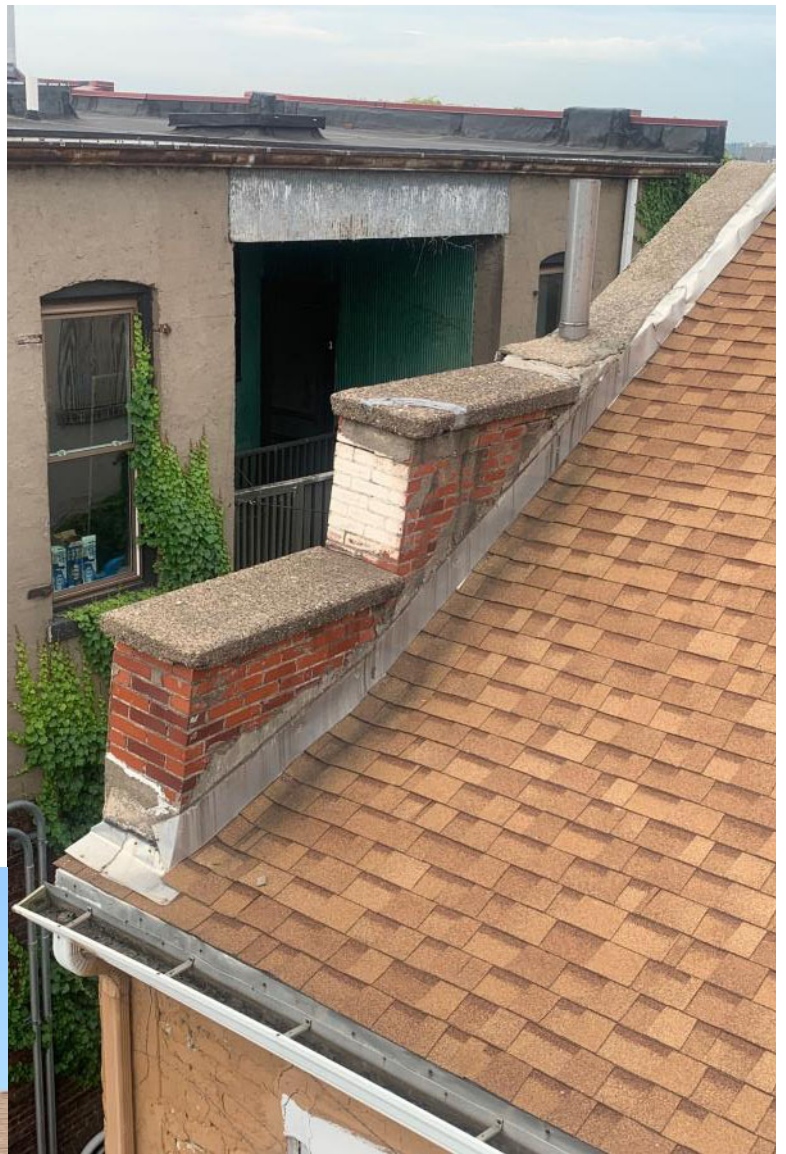
HILLER-HRDP GRANT-2  
PHOTO #: 5  
DATE: April 30, 2021  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking NW, deterior-  
ated parapet and south  
wall.



HILLER-HRDP GRANT-2  
PHOTO #: 6  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking NW, corner of E  
and back of S elevations.  
Another view of deterioration.



HILLER-HRDP GRANT-2  
PHOTO #: 7  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking W, parapet  
at corner of E and S eleva-  
tions.



HILLER-HRDP GRANT-2  
PHOTO #: 8  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking W, E elevation.  
Area to be repaired.



HILLER-HRDP GRANT-2  
PHOTO #: 9  
DATE: April 30, 2021  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking NE, E eleva-  
tion area to be repaired.



HILLER-HRDP GRANT-2  
PHOTO #: 10  
DATE: April 30, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking W, E elevation.  
Failed lintel at basement level.  
To be rebuilt.

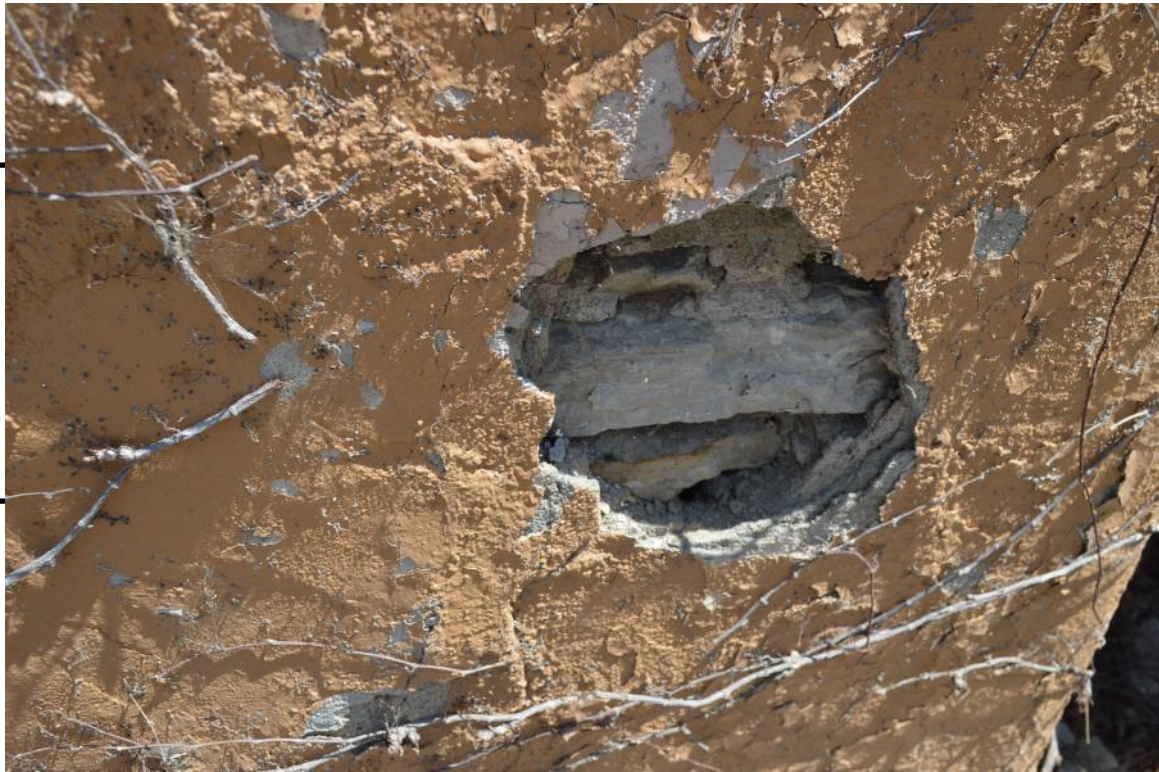
HILLER-HRDP GRANT-2  
PHOTO #: 11  
DATE: April 13, 2021  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking E, SW wing  
adjacent to S wall. Areas at  
top floor to be rebuilt.



HILLER-HRDP GRANT-2  
PHOTO #: 12  
DATE: April 30, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking E, SW wing .  
Area to be rebuilt. Rapidly  
greening vegetation will be  
removed



HILLER-HRDP GRANT-2  
PHOTO #: 13  
DATE: April 30, 2021  
PROPERTY NAME: HILLER BUILD-  
INGVIEW: Looking E, SW wing.  
Area of layers of deteriorated  
parging.



HILLER-HRDP GRANT-2  
PHOTO #: 14  
DATE: April 30, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking E. SW wing.  
Closer view of parging layers.  
Inner layer was of a softer  
material and likely failed.



HILLER-HRDP GRANT-2  
PHOTO #: 15  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SW, 2nd  
floor, S wall.



HILLER-HRDP GRANT-2  
PHOTO #: 16  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking S, Apt 2 2nd  
floor. South section. Note win-  
dow (modern, vinyl, and its  
frame are separating from the  
wall showing wall movement.



HILLER-HRDP GRANT-2  
PHOTO #: 17  
DATE: April 26, 2021  
PROPERTY NAME: HILLER BUILDING  
VIEW: Looking S. 2nd floor wall with plaster removed showing wall condition. Very deteriorated chimney also helped cause issues.



HILLER-HRDP GRANT-2  
PHOTO #: 18  
DATE: April 26, 2021  
PROPERTY NAME: HILLER BUILDING  
VIEW: Looking S, Apt 2 2nd floor. South section. Note window. South wall, plaster removed.

HILLER-HRDP GRANT-2  
PHOTO #: 19  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILDING  
VIEW: Looking SW, Apt 2, 2nd floor. Interior view of S wall. Modern stud wall installed as support by previous owner. Very deteriorated kitchen wall.



HILLER-HRDP GRANT-2  
PHOTO #: 20  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILDING  
VIEW: Looking E along S wall at rear section of Apt. 2. on 2nd floor. Severely deteriorated interior wall.



HILLER-HRDP GRANT-2  
PHOTO #: 21  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking E, 2nd floor  
at SE corner of building.  
Bracing installed by former  
owner.



HILLER-HRDP GRANT-2  
PHOTO #: 22  
DATE: April 26, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SE, same room  
as last photo with plaster re-  
moved.



HILLER-HRDP GRANT-2  
PHOTO #: 23  
DATE: April 26, 2021  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SE, S wall, 1st  
floor apartment with plaster  
removed. Wall is sound, but  
will need repointing.



HILLER-HRDP GRANT-2  
PHOTO #: 24  
DATE: April 26, 2021  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SW, South wall  
1st floor immediately under  
very deteriorated kitchen wall  
on 2nd floor. Plaster removed.  
Wall sound, will be repointed.





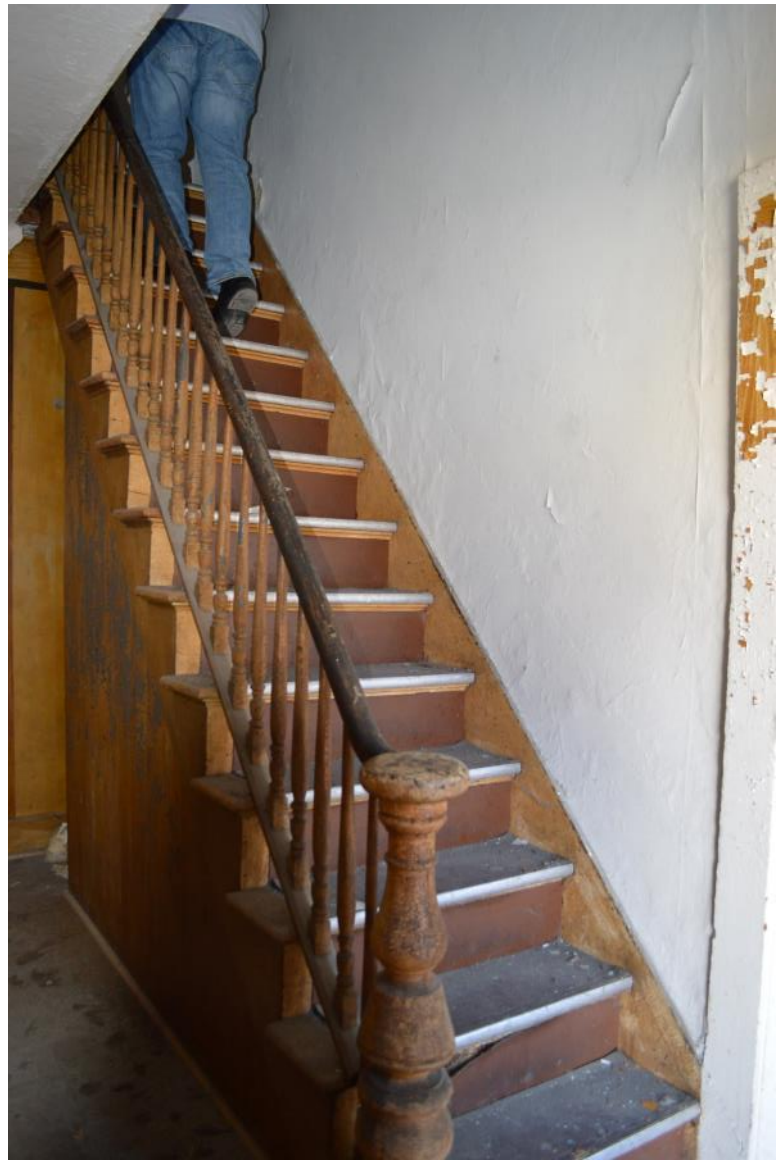
HILLER-HRDP GRANT-2  
PHOTO #: 25  
DATE: April 26, 2021  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SE, base-  
ment S wall with plaster  
removed. Sound except  
needs repointing.



HILLER-HRDP GRANT-2  
PHOTO #: 26  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking S, S wall of  
basement with plaster re-  
moved. Wall is sound, will  
need repointing.

NOTE: The following photos are unrelated to the grant application, but give various views of the building's interior, layout, and extant original features.

HILLER-HRDP GRANT-2  
PHOTO #: 27  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking NW, 1st floor  
staircase in common front  
hall.



HILLER-HRDP GRANT-2  
PHOTO #: 28  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking N, Apt 1, 1st  
floor. Typical condition.



HILLER-HRDP GRANT-2  
PHOTO #: 29  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Apt 1 looking NW.



HILLER-HRDP GRANT-2  
PHOTO #: 30  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SW, Apt 3.

HILLER-HRDP GRANT-2  
PHOTO #: 31  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SE, Apt 3.



HILLER-HRDP GRANT-2  
PHOTO #: 32  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking NE, Apt 2.







HILLER-HRDP GRANT-2  
PHOTO #: 33  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SW, Apt 4.



HILLER-HRDP GRANT-2  
PHOTO #: 34  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking SE, Apt 4.



HILLER-HRDP GRANT-2  
 PHOTO #: 35  
 DATE: JAN-JULY 2020  
 PROPERTY NAME: HILLER  
 BUILDING  
 VIEW: At 2nd floor hall, S  
 section. Looking W, Stair-  
 case to attic.



HILLER-HRDP GRANT-2  
 PHOTO #: 36  
 DATE: JAN-JULY 2020  
 PROPERTY NAME: HILLER BUILD-  
 ING  
 VIEW: Looking S. S section attic  
 room, typical. One of the walls  
 to be removed.



HILLER-HRDP GRANT-2  
PHOTO #: 37  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking W, N section.  
Staircase in common hall.



HILLER-HRDP GRANT-2  
PHOTO #: 38  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SE, Apt 6



HILLER-HRDP GRANT-2  
PHOTO #: 39  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking W, Apt 6  
kitchen.



HILLER-HRDP GRANT-2  
PHOTO #: 40  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SW Apt 9

HILLER-HRDP GRANT-2  
PHOTO #: 41  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER  
BUILDING  
VIEW: Looking W, Apt 8.  
General deteriorated con-  
dition. Note water heater in  
kitchen area no longer  
meets code.



HILLER-HRDP GRANT-2  
PHOTO #: 42  
DATE: JAN-JULY 2020  
PROPERTY NAME: HILLER BUILD-  
ING  
VIEW: Looking SW, 2nd floor  
hall. Staircase to attic.

HRDP-2  
Photo Key  
Hiller Building  
314 Gaines St., Davenport IA  
Floor 1

11, 12  
Based on Assessor's floor plan.  
Rooms not to scale

= Stairs

13, 14

Kitchen

24

31  
Kitchen

Kitchen

39

Bath

Bath

Kitchen

Bath

Bath

29

23

28

27

30

40

37

38

Apartment # #1

#3

#9

#6

5, 6

8, 9, 10

N

1

4

2

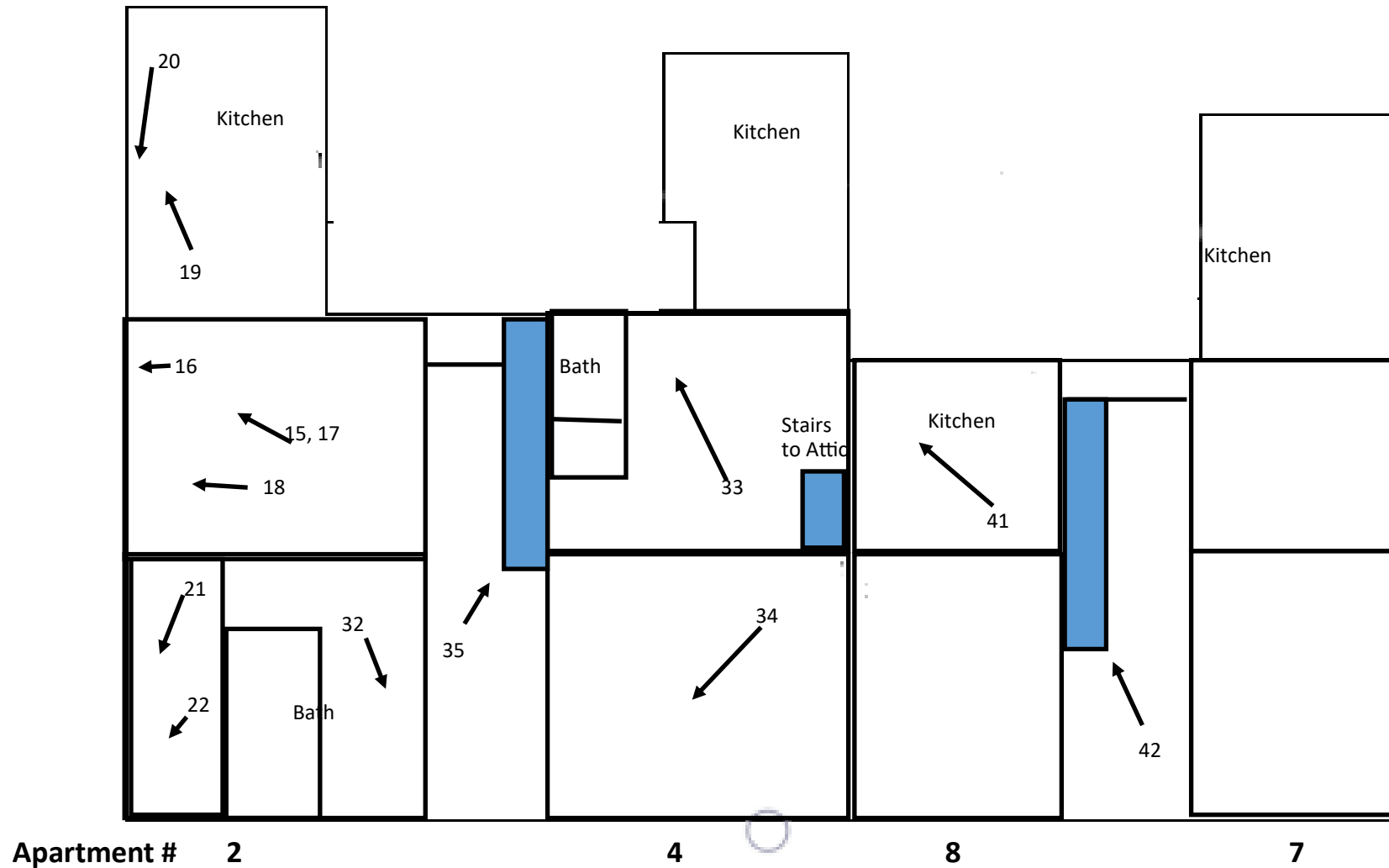
3



= Stairs

Based on Assessor's floor plan.  
Rooms not to scale

HRDP-2 Grant  
Photo Key  
Hiller Building  
314 Gaines St., Davenport IA  
Floor 2

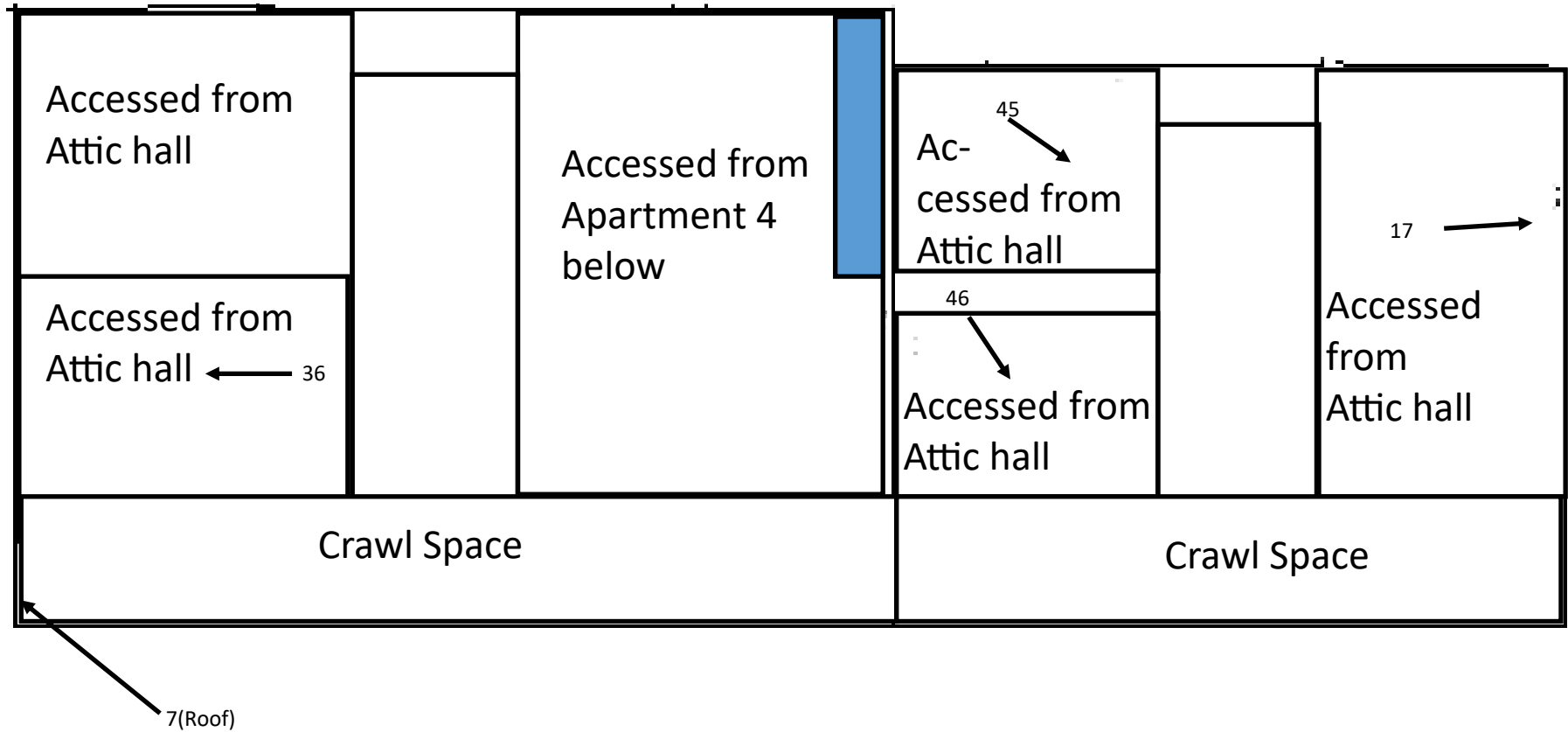




= Stairs

Based on Assessor's floor plan.  
Rooms not to scale

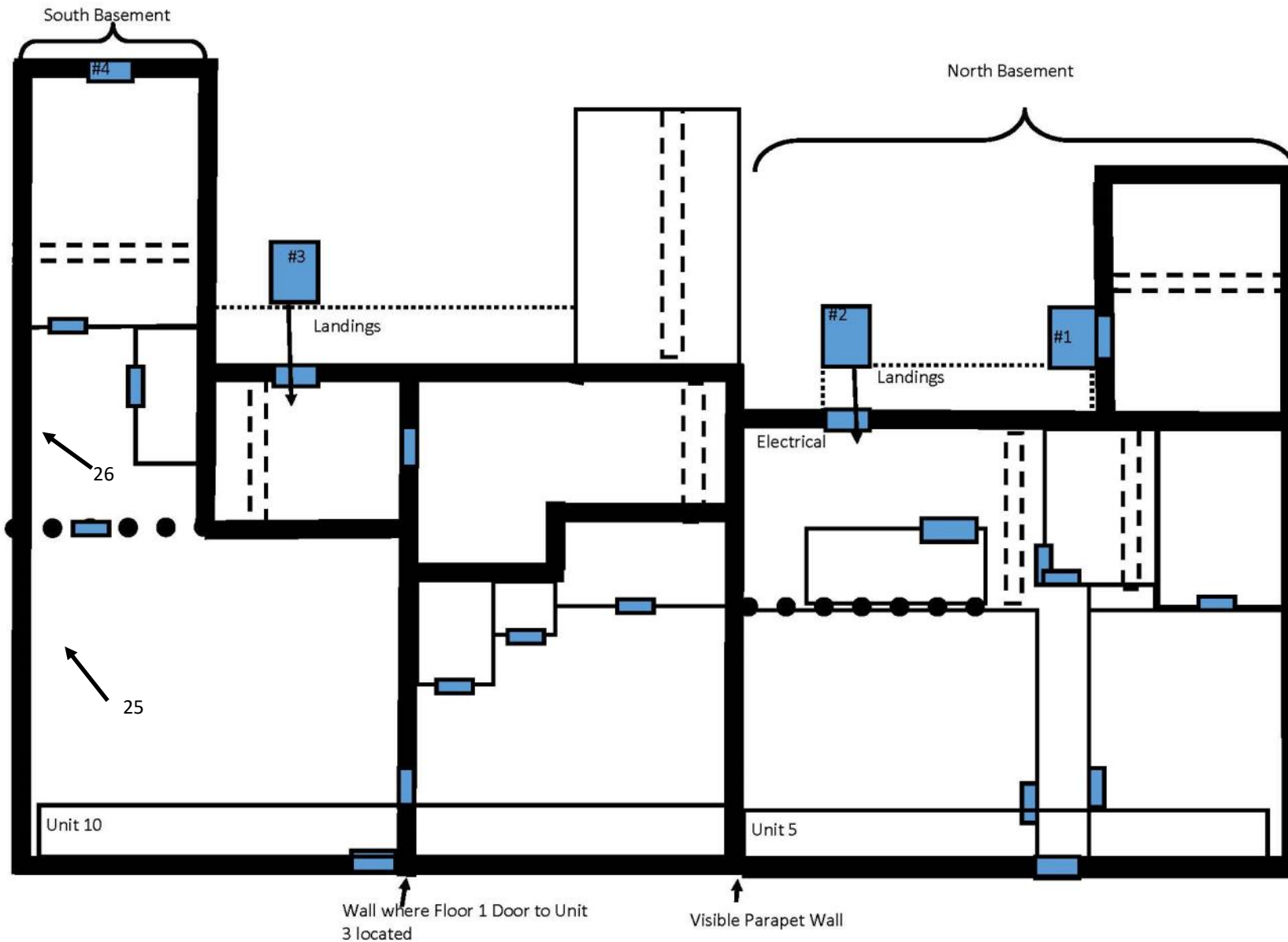
HRDP-2 Grant  
Photo Key  
Hiller Building  
314 Gaines St., Davenport IA  
Attic







HRDP-2  
 Photo Key  
 Hiller Building  
 314 Gaines St., Davenport IA  
 Basement



# Hiller Building

## 314 Gaines Street

DAVENPORT  
IOWA | USA

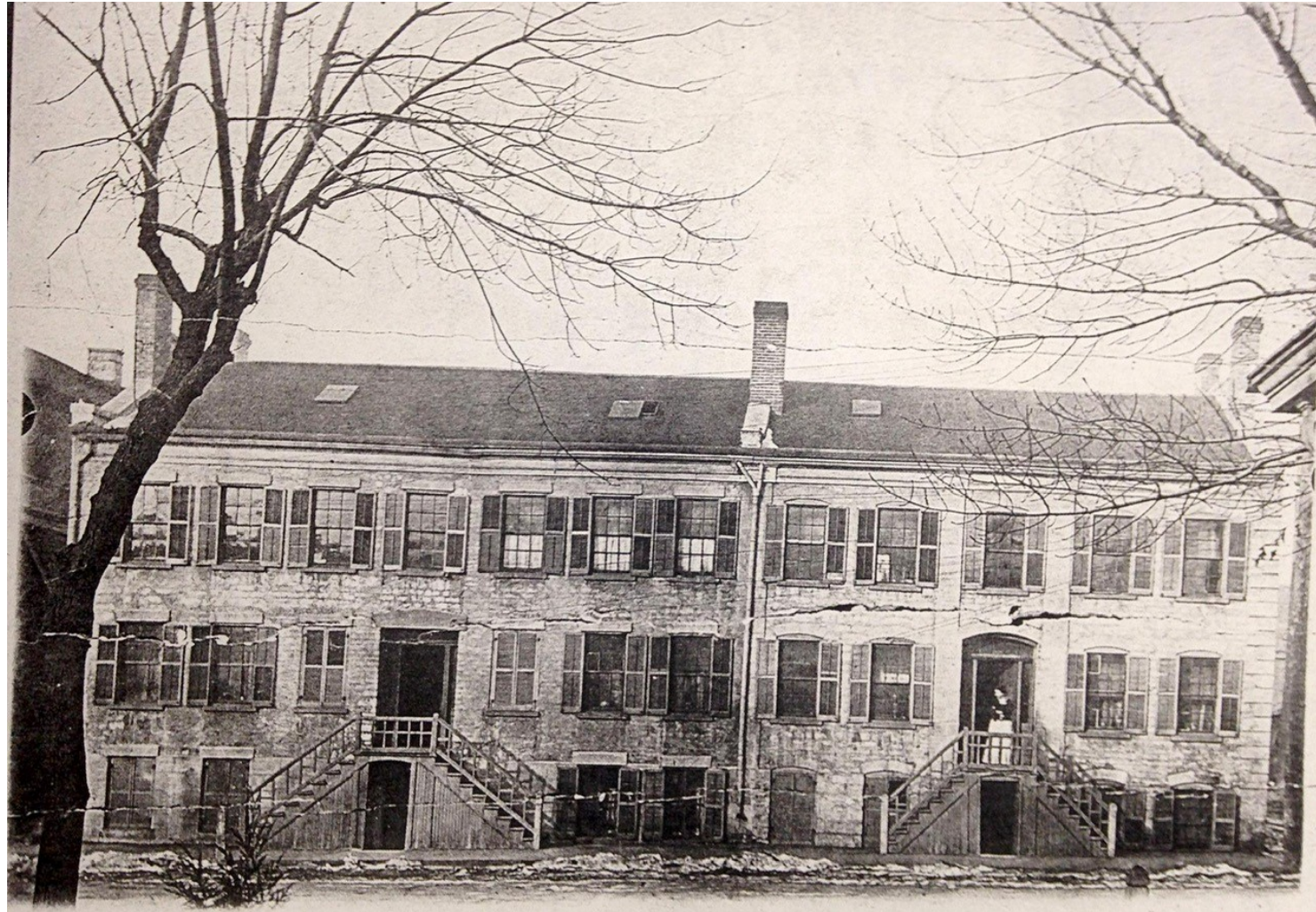




# Hiller Building

## 314 Gaines Street

DAVENPORT  
IOWA | USA





# Hiller Building

## 314 Gaines Street

DAVENPORT  
IOWA | USA



### **3. Shared Values for Downtown**

As stated previously, the city and, in particular downtown, is a community of people and not only of buildings. Staff believes that, for the City of Davenport, important shared values include: *A Sense of History, Unique Character, Authenticity, Density, Human Scale, Safety, Diversity, Economic Vitality, and Civic Art*. Although not necessarily exhaustive in scope, these shared values constitute the foundation for the guidelines that follow.

#### **Sense of History**

A sense of history is important to the protection of valuable resources and the continuity of our community. The human scale, high-quality materials, and rich architectural detailing of buildings constructed in the 19<sup>th</sup> and early 20<sup>th</sup> centuries are especially powerful identity building resources. Whether as significant landmark buildings or as supporting structures contributing to a recognizable sub-district character, older buildings add a sense of historic continuity and a link to the city's past achievements. Times of accelerated growth can cause the destruction of resources, the value of which are often realized too late, after the resources are gone. Much of the development which will occur downtown has the opportunity to protect and reveal the history and stories of the place, while responding to the needs of the present and the future. Downtown is more valuable to us when we sense this continuity throughout the past, the present and plans for the future.

#### **Unique Character**

Through the singularity of its landscape and the diversity of its people, the City of Davenport has built a character which is unique. A unique character has become increasingly rare and precious in a time when cities worldwide are becoming homogenous collections of buildings, highways and signs advertising similar lifestyles. Unique civic character succumbs to attack when cultural franchising is accepted as the most successful way to sell goods and promote services, buildings, businesses, food, clothing and entertainment. Downtown Davenport is not "the mall", nor should it strive to be like one.

City of Davenport  
Design Review Board

Department: CED  
Contact Info: Matt Flynn, matt.flynn@davenportiowa.com, 563-888-2286

**Date**  
**8/23/2021**

**Subject:**  
Discussion of the Downtown Design Guidelines Update project.

**Recommendation:**  
Hold the discussion and provide feedback.

**Background:**  
The Downtown Design Guidelines (DDG) have remained largely unchanged since the Downtown Design Overlay District was created and the DDG were completed in 2007. Since then, the City and Downtown Partnership have completed numerous planning and design studies and a new Zoning Ordinance that are not reflected in the DDG.

In addition, the Design Review Board's practices have evolved and are not accurately reflected in the DDG. The DDG are also lengthy and over time, have become hard to navigate and are not user friendly. In fact, no editable version exists; there is only a copied and scanned version which is hard to distribute and, in Staff's opinion, does not provide a succinct tool from which the DRB can render decisions that are clearly based on the DDG themselves.

Staff has been working on a re-write for the past few months and is now ready to share a proposed re-organization of the document and an initial draft of the first five chapters.

The first five chapters do not get into the design details yet, but provide an overview of the DDG and the administrative procedures. These chapters are not yet complete and in their final version, will contain more illustrative examples.

At this point, Staff seeks input focusing on the organization, Shared Values, and Design Objectives. Chapters outlining the specific Guidelines will be shared over the next few months, with completion targeted near the end of the year.

Staff would welcome the creation of a 'working group' of DRB members, Downtown Partnership, Plan and Zoning Commission and other stakeholders to study, provide feedback and make recommendations prior to review of the document by the entire DRB if desired.

**ATTACHMENTS:**

Type	Description
□ Backup Material	DDG - Document Organization
□ Backup Material	Chapters 1-5 Draft 8-18-21

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	8/19/2021 - 10:18 AM

# Downtown Design Guidelines

## Document Organization

Existing Downtown Design Guidelines Table of Contents	Proposed Downtown Design Guidelines Table of Contents
1. Introduction	1. Introduction
2. Design Guidelines for Downtown Davenport	2. Background and Definitions
3. Shared Values for Downtown	3. Shared Values and Design Objectives
4. A Vision for Downtown Davenport: Design Objectives	4. The Design Review Process Application Process Approval Process Exemptions
5. Design Review Process	5. Regulations, Standards, and Guidelines
6. How to use Design Guidelines	6. Gateways and Edges
7. Gateways and Edges	7. Parking Lots and Structures
8. Parking Facilities	In Chapter 7
9. Hardscape and Landscape	8. Landscape Design Landscaping Hardscape
10. Encroachments	In Chapter 14
11. Public Spaces	9. Parks, Plazas, and other Public Facilities
12. Historic Architectural Façade Design	10. Historic Preservation and Restoration
13. Historic Architectural Decoration	In Chapter 10
14. Historic Architectural Materials	In Chapter 10
15. Building New	11. New Construction Commercial Mixed Use Residential Public/Special Purpose
16. Design Guidelines for Skywalk Bridges	No longer needed
17. Residential Development	In Chapter 11
18. Designing for Public Safety	12. Crime Prevention Through Environmental Design (CPTED)
19. Signage	13. Signage
20. Design Details – Awnings and Canopies	14. Design Details Awnings and Canopies Fences Dumpster Enclosures Permanent Encroachments Temporary Encroachments Color/Paint Lighting



21. Civic Art, Murals and Trompe L'oeils	15. Public Art
22. The Use of Color	In Chapter 14
23. Maintenance and Materials	No longer needed
	16. Downtown Streetscape Design Guidelines
Appendices The Architecture of Main Street - Glossary	Provide links Instead
Addendum Crescent Warehouse and Third Street Historic Districts	Still needed?

### Shared Values for Downtown

Existing Downtown Design Guidelines Shared Values	Proposed Downtown Design Guidelines Shared Values
Sense of History	Historic and Preserved
Unique Character	Authentic and Unique
Authenticity	Combined Above
Safety	Safe and Resilient
Diversity	Diverse and Inclusive
Human Scale	Accessible and Inviting
Density	Dense and Active
Economic Vitality	Vibrant and Variety
Civic Art	Artsy and Cultural

### A Vision for Downtown Davenport: Design Objectives

Existing Downtown Design Guidelines	Proposed Downtown Design Guidelines
Promote an intuitive understanding of the layout of downtown Davenport	Support ease of movement through logical development patterns and wayfinding strategies
Reinforce a sense of historical continuity	Choose historic preservation as the first option
Encourage compactness	Support high density development, particularly at Downtown's core
Provide accessibility	Provide accessibility for all
Build a positive identity	Build a sense of civic pride
Develop the public nature of downtown and reinforce the sense that downtown belongs to everyone	Create and enhance public spaces, on City property, rights-of-ways and paired with private development
Encourage a diversity of uses and activities	Favor mixed-use development over single-activity options
Encourage public and private investment in the future of downtown Davenport	Seek "one-of-a-kind" development solutions Downtown
Reinforce the unique character of the City of Davenport	Incorporate Civic art and cultural activities into public and private development

Create a comfortable downtown	Work to make the pedestrian experience exciting and fun through impromptu public gathering spaces, performance venues, and interesting window displays.
Actively promote civic art and cultural activities downtown	Enhance connections to the River whenever possible
Encourage intense street level activity	Seek high-quality development through quality design and materials.
Maintain a sense of connection to the natural environment	Promote new residential development and the commercial and recreational services that support it.
Encourage architectural excellence	De-emphasize the dominance of the private automobile in favor of other modes of travel Downtown.
Require the use of quality building materials	Create a bright, vibrant downtown through interesting signage and building lighting
Promote downtown residential uses	Support alternative forms of energy including electric charging stations for vehicles, solar, and, where appropriate, wind technology
Encourage variety and interest	Work to complete the streetscape project and maintain what is already finished.
Create an economically vibrant downtown	



# Downtown Design Guidelines



# Downtown Design Guidelines

## Table of Contents

<u>Title</u>	<u>Page</u>
1. Introduction	
2. Background	
3. Shared Values and Design Objectives	
4. The Design Review Process	
A.) Application Process	
B.) Approval Process	
C.) Exemptions	
5. Regulations, Standards, and Guidelines	
6. Gateways and Edges	
7. Parking Lots and Structures	
8. Landscape Design	
A.) Landscaping	
B.) Hardscape	
9. Parks, Plazas, and other Public Facilities	
10. Historic Preservation and Restoration	
11. New Construction	
A.) Commercial	



B.) Mixed Use

C.) Residential

D.) Public/Special Purpose

12. Crime Prevention Through Environmental Design (CPTED)

13. Signage

14. Design Details

A.) Awnings and Canopies

B.) Fences

C.) Dumpster Enclosures

D.) Permanent Encroachments

E.) Temporary Encroachments

F.) Color/Paint

G.) Lighting

15. Public Art

16. Downtown Streetscape Design Guidelines



# Chapter 1: Introduction



Updated 2021

## Chapter 1: Introduction

From the 18th century to the middle of the 20th, Downtown Davenport (referred to Downtown hereafter), was the focus of a region's economic and social life, a place where people came together to produce and trade goods and services, to meet, and to exchange information and ideas. Downtown was a civic and cultural center and a symbol of community identity and pride.

What happened to Downtown throughout the second half of the 20th century does not need to be extensively reviewed within this document. The pattern of economic shift away from Downtown to suburban locations is shared with countless other communities in the Country.

The new century marked the beginning of a gradual, yet dramatic shift towards new investment and vitality Downtown. This trend, arguably, began with the approval of "River Renaissance" in 2001. By 2006, numerous projects had been undertaken, including two new parking structures, the Figge, the River Music Experience, New Ventures Technology Center, and the Skybridge.

The proposal to draft design guidelines for the downtown arose as one of eleven "top priority actions" included in the Downtown Davenport Strategic Plan developed by Moore Iacofano Goltsman, Inc. for the Davenport Central City Partnership in January 1999. The strategic plan was reviewed with the Mayor and City Council in work sessions as it was being developed and was approved by the Council early that year. The recommendations in the plan have been pursued actively and, to a great extent, established the framework for the River Renaissance project.

There has been no shortages of Downtown Plans over the years, almost too many to mention. Recently, the following have largely played into the establishment of the DDG guidelines:

- RiverVision Plan (2004)
- Jeff Speck Livability Study (2008)
- RiverVision Update (2014)



- RDG Main Street Landing Study (2018)
- Davenport 2030 A Resilient City (2020)

It should be noted, however, that these DDG do not focus on the public improvement initiatives proposed by previous planning efforts. Rather, they concentrate on new potential private sector investments that contribute to the vitality of the core of the City which contribute to the overall well-being and desirability of Downtown.



## Chapter 2: Background



## Chapter 2: Background

The DDOD Downtown Design Overlay District was established in 2007. The Downtown Design Guidelines (DDG) were adopted in conjunction with the creation of the DDOD.

The intent of the District was to:

1. Reinforce Downtown as the point of regional focus;
2. Assure the long-term economic viability of Downtown;
3. Strengthen Downtown as an important center of office, finance, retail, and governmental activities;
4. Add to Downtown's appeal as a visitor, cultural, sports and entertainment center;
5. Encourage additional Downtown residential development in a variety of housing types;
6. Better link uses and provide for a better pedestrian environment Downtown;
7. Expand the role of the arts (and public events) Downtown;
8. Improve the design quality of proposed preservation, renovation, and new construction projects Downtown;
9. Maintain the aesthetic appeal of buildings and signs Downtown; and
10. Protect Downtown property owners and investment by preventing incompatible development.

The Downtown Design Review Board (DDRB) was established the same year. Upon its inception, it was charged with only reviewing development within the DDOD. Over the next few years, its role was expanded to include authority over design within the Residential Infill Design Overlay (RIDO), District, the



HSD, Historic Shopping District, as well as the area included within the Hilltop Campus Village Main Street area. To reflect the expanded role of the DDRB, its name was changed in 2011 to the Design Review Board (DRB), which remains to this day.

With the adoption of a new Zoning Ordinance in 2019, the role of the DRB was altered in the following ways:

1. DRB authority within the RIDO and Hilltop Campus Village areas was removed due to more design standards being incorporated within the Code by the new Zoning Districts that encompass these areas.
2. The C-E, Elmore Corners Zoning District was added to the areas falling under DRB control.
3. The Downtown and Village of East Davenport areas were clarified by tying DRB authority to specific mapped zoning districts (C-D, Downtown Zoning District and C-V, Village of East Davenport Zoning District).

- Great building and civic design should be timeless. One cannot say a 50 year old building is better than one just completed, or vice versa.

3. Need for simplification and better organization.

The DDG should concentrate on the guidelines themselves and superfluous commentary should be limited.

4. Make the DDG more user-friendly.

It should be understandable for staff, DRB members, and applicants alike.

5. DDG should be consistent with the newly-adopted Zoning Ordinance.

6. DDG for the public realm should complement existing code requirements and administrative standards.

7. The DDG document should be easily formatted, disseminated, and amended.

The current document exists only in a poor quality, manually scanned format that cannot be easily manipulated. No copies produced in MS Word can be found. It does not contain any links to internet sources that can provide additional information without adding to the overall document's size. Producing a version in Adobe Acrobat is essential.





## Chapter 3: Shared Values and Design Objectives



Updated 2021

## Chapter 3: Shared Values and Design Objectives

### A.) Shared Values

“Shared Values” is a term borrowed from the business community that identifies values that are united and non-debatable throughout the organization.





With respect to the Downtown Design Guidelines, Shared Values are supported at the macro level by all policy-makers and stakeholders. They present a foundation for individual decisions made to incrementally enhance the vitality and growth of Downtown Davenport.

#### 1. Historic and Preserved

For European Settlers, Downtown was the original hub of the community and the center of commerce and activity. Its development over nearly two centuries is in itself a museum of American Architecture. Time, obsolescence, poor construction techniques and frankly, inconvenience have resulted in the loss of scores of buildings. However, many great buildings have been saved and restored to their original elegance.

The inventory of older, unrestored buildings Downtown is much lower than it was even 20 years ago, but opportunities remain. Existing restored buildings will need renovations as uses change.

While new development Downtown is encouraged, emphasis on maintaining what is already here should be paramount.

 <p>Parts of the St. Anthony's Parish Campus date to the early 1840's, and is the oldest church in Iowa.</p>	 <p>The Redstone Building, constructed in 1892, was transformed into the River Music Experience and is one of the most successful historic mixed-use conversions in the City.</p>
 <p>The First Federal Savings and Loan Building, a 1966 Mid-Century Modern masterpiece, was restored and incorporated into the Eastern Iowa Community College campus in 2018.</p>	 <p>The Figge Art Museum, completed in 2005. The post-modern structure stands in sharp contrast to much of the historic Downtown but is already an architectural icon.</p>

## 2. Authentic and Unique

The downtowns of most mid-sized, mature cities have their own identity and, unlike the commercial areas of suburbia, can provide malls and can be distinguished from other communities through its street pattern, architectural variety, and open spaces.

Davenport is no different. Investment Downtown should remain true to its historical legacy while welcoming new modern development that utilizes styles and materials that avoids comparisons to other times and places.





The appeal of this place is indisputable, but it is imaginary.



To attract tourists, Pella, IA, has re-created a Dutch-inspired downtown at the expense of its historic building stock.



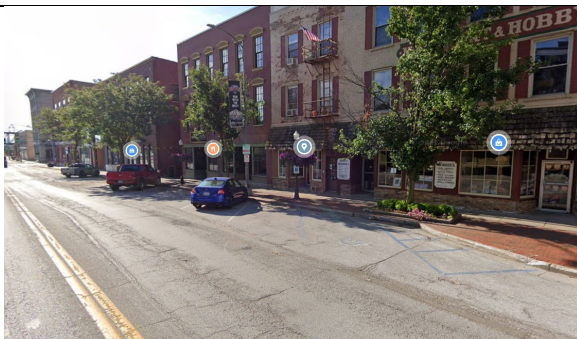
The Skybridge and Skybridge Plaza are unique facilities and have become iconic with the Davenport brand.



Many cities support successful farmer's markets but Davenport's location along the banks of the Mississippi is special.

### 3. Safe and Resilient

Without a sense of safety, Downtown cannot thrive. Physical design, using the principles of Crime Prevention through Environmental Design (CPTED), can contribute to the overall security and well-being of Downtown.



East 2<sup>nd</sup> Street contains well lit sidewalks, windows to the street, and a variety of businesses which contribute to a safe environment.



Litter, graffiti, overgrown vegetation and dilapidated fencing discourage activity, especially at night.

#### 4. Accessible and Inclusive

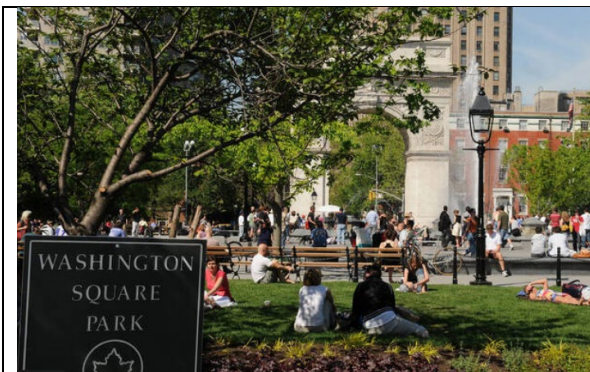
Using the requirements of the Americans with Disabilities Act as a baseline, Downtown should thrive to be open and welcoming to people of all abilities.



Accessible ramps and entrances, even on older buildings, do not need to look out-of-place.

#### 5. Dense and Active

Downtown naturally should achieve the highest densities in the City. With density comes action and excitement, as well as robust economic activity and higher property values.





## 6. Vibrant and Diverse

A variety of spaces, architecture, and uses appeal to a broad socio-economic spectrum and contributes to Downtown's overall appeal.



The Freight House Farmers Market draws a diverse cross-section of the Community year-round



Miss Phay's Café is one of the latest entries into Downtown's expanding ethnic dining scene.

## 7. Cultural and Artsy

Downtowns are natural destinations to stimulate the mind and foster creativity. Downtown as a cultural center draws visitors from all over. Downtown has strong cultural anchors already, including the Figge, Adler, RME, and civic art on which to build upon.





## B.) Design Objectives

Design objectives are specific, tangible outcomes of the design process. Design objectives can be easily identified and for the most part are measurable.

Design objectives, following assurance that applications meet the “Shared Values” test, are vitally important in the design review process. Details associated with the design objectives may be applied more subjectively on a case by case basis. See Chapter 4 for more explanation.

1. Support ease of movement through logical development patterns and wayfinding strategies.

Travel Downtown should be intuitive and complimented by wayfinding signage to the benefit of residents and visitors alike.



2. Choose historic preservation as the first option.

Prior to considering and approving applications for material replacement or new construction, preservation and rehabilitation of existing building elements or structures should be considered.

3. Support high density development, particularly at Downtown's core.

Several properties in Downtown’s core are or will be available for new development in the upcoming years, including the northwest corner of 2<sup>nd</sup> and Main, northeast corner 3<sup>rd</sup> and Main, and eventually, the Ground transportation site. Other sites in strategic locations, such as the



While this project is inactive, the River Watch Place site at River Drive between 2<sup>nd</sup> and 3<sup>rd</sup> Streets commands intense development.



The northwest corner of 2<sup>nd</sup> and Main Streets was once at the “100% Corner” and is another site that should be capitalized to the fullest.

#### 4. Provide accessibility for all.

Meeting the minimum requirements of the Americans with Disabilities Act (ADA) should be a baseline. Providing accessibility with quality design should be the goal.

#### 5. Build a sense of civic pride.

Civic pride is more than just loving your city. Civic pride instills all the Shared Values listed above and applies them to the built environment Downtown, creating proudness, community identity and shared sense of belonging and responsibility.

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#### 6. Create and enhance public spaces on City property, rights of way and paired with private development.

Public spaces should be comfortable, safe, and protected from the elements.

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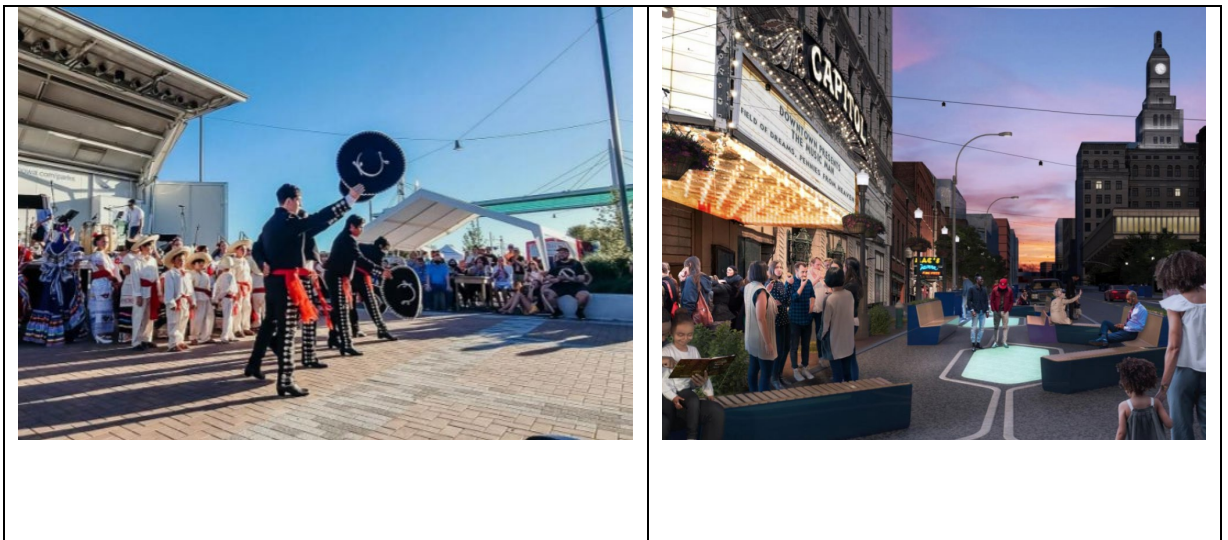
7. Favor mixed use development over single-activity options.

Mixed use development generates activity and different times of the day and are more economically viable than single use buildings.

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8. Incorporate civic art and cultural activities into public and private development.

Public art is not limited to iconic structures and venues that Downtown is known for. It can consist of curious window displays, unusual signage, and other objects that can bring surprise and amusement.





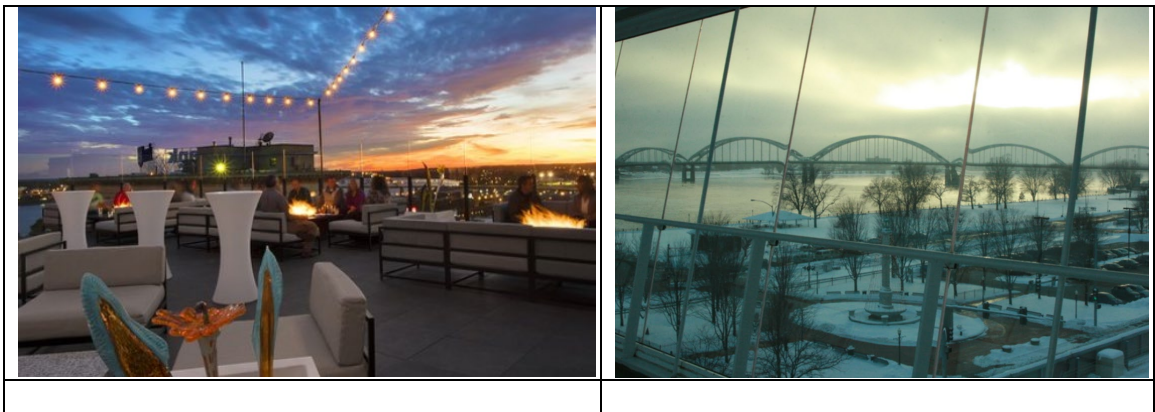
9. Work to make the pedestrian experience exciting and fun through creation of impromptu gathering spaces, performance venues, an interesting window displays.

Engaging pedestrians is likely to promote longer visits and potentially higher spending.

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10. Enhance connections to the River whenever possible.

Large windows, patios, rooftop decks with views of the Mississippi should be encouraged. Keep pedestrian and bike crossings of River Drive visible and safe.



11. Seek high-quality development through innovative design and superior building materials.

Strive for architecture that is not only functional but is aesthetically pleasing, long lasting, and respects the era it is constructed.

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12. Promote new residential development and the commercial services and recreational facilities that support it.

New residential development Downtown has been ongoing for more than 15 years and is expected to continue. In order to remain viable in the future, The City should seek complimentary commercial uses to locate close to residential.

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13. De-emphasize the dominance of the private automobile in favor of other modes of travel Downtown.

Make sure all modes of travel can be made safely and efficiently.

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14. Create a bright, vibrant Downtown through interesting signage and building lighting.

Encourage unique, one of a kind signage. Utilize up-lighting and parapet lighting to enhance the unique characteristics of the Downtown skyline.

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15. Support alternative forms of energy including electric charging stations for vehicles, solar, and, where appropriate, wind technology.

Typically downtowns have not been welcoming to alternative energy facilities but as times change, it must be more adapting and accommodating.

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16. Work to complete and then maintain the streetscape project Downtown.

This project has been incrementally constructed for several years. City, with assistance from the Design Review Board, should seek to accelerate completion of the work over the upcoming few years.





## Chapter 3: Shared Values and Design Objectives

### A.) Shared Values

“Shared Values” is a term borrowed from the business community that identifies values that are united and non-debatable throughout the organization.





With respect to the Downtown Design Guidelines, Shared Values are supported at the macro level by all policy-makers and stakeholders. They present a foundation for individual decisions made to incrementally enhance the vitality and growth of Downtown Davenport.

#### 1. Historic and Preserved

For European Settlers, Downtown was the original hub of the community and the center of commerce and activity. Its development over nearly two centuries is in itself a museum of American Architecture. Time, obsolescence, poor construction techniques and frankly, inconvenience have resulted in the loss of scores of buildings. However, many great buildings have been saved and restored to their original elegance.

The inventory of older, unrestored buildings Downtown is much lower than it was even 20 years ago, but opportunities remain. Existing restored buildings will need renovations as uses change.

While new development Downtown is encouraged, emphasis on maintaining what is already here should be paramount.

 <p>Parts of the St. Anthony's Parish Campus date to the early 1840's, and is the oldest church in Iowa.</p>	 <p>The Redstone Building, constructed in 1892, was transformed into the River Music Experience and is one of the most successful historic mixed-use conversions in the City.</p>
 <p>The First Federal Savings and Loan Building, a 1966 Mid-Century Modern masterpiece, was restored and incorporated into the Eastern Iowa Community College campus in 2018.</p>	 <p>The Figge Art Museum, completed in 2005. The post-modern structure stands in sharp contrast to much of the historic Downtown but is already an architectural icon.</p>

## 2. Authentic and Unique

The downtowns of most mid-sized, mature cities have their own identity and, unlike the commercial areas of suburbia, can provide malls and can be distinguished from other communities through its street pattern, architectural variety, and open spaces.

Davenport is no different. Investment Downtown should remain true to its historical legacy while welcoming new modern development that utilizes styles and materials that avoids comparisons to other times and places.



The appeal of this place is indisputable, but it is imaginary.



To attract tourists, Pella, IA, has re-created a Dutch-inspired downtown at the expense of its historic building stock.



The Skybridge and Skybridge Plaza are unique facilities and have become iconic with the Davenport brand.



Many cities support successful farmer's markets but Davenport's location along the banks of the Mississippi is special.

### 3. Safe and Resilient

Without a sense of safety, Downtown cannot thrive. Physical design, using the principles of Crime Prevention through Environmental Design (CPTED), can contribute to the overall security and well-being of Downtown.



East 2<sup>nd</sup> Street contains well lit sidewalks, windows to the street, and a variety of businesses which contribute to a safe environment.



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#### 4. Accessible and Inclusive

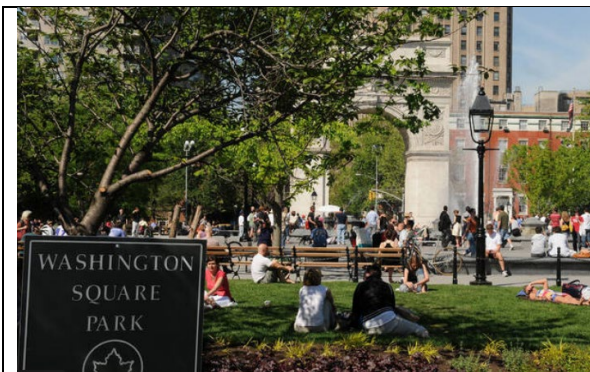
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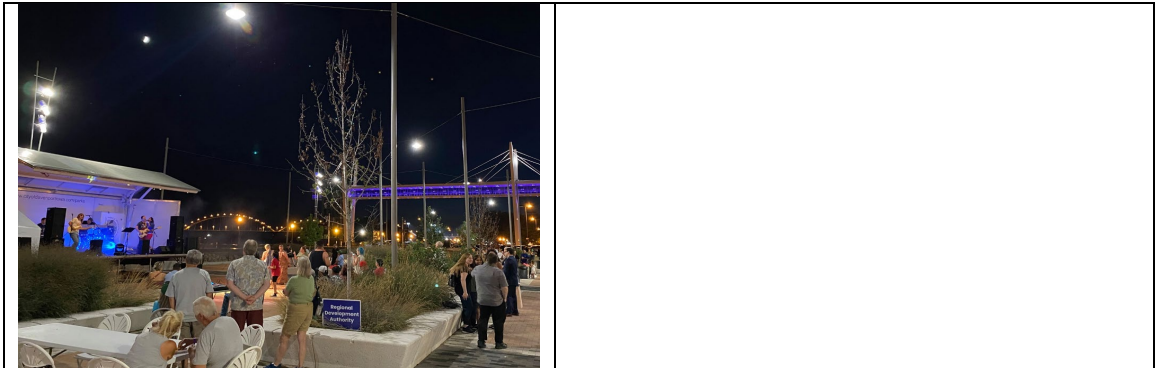
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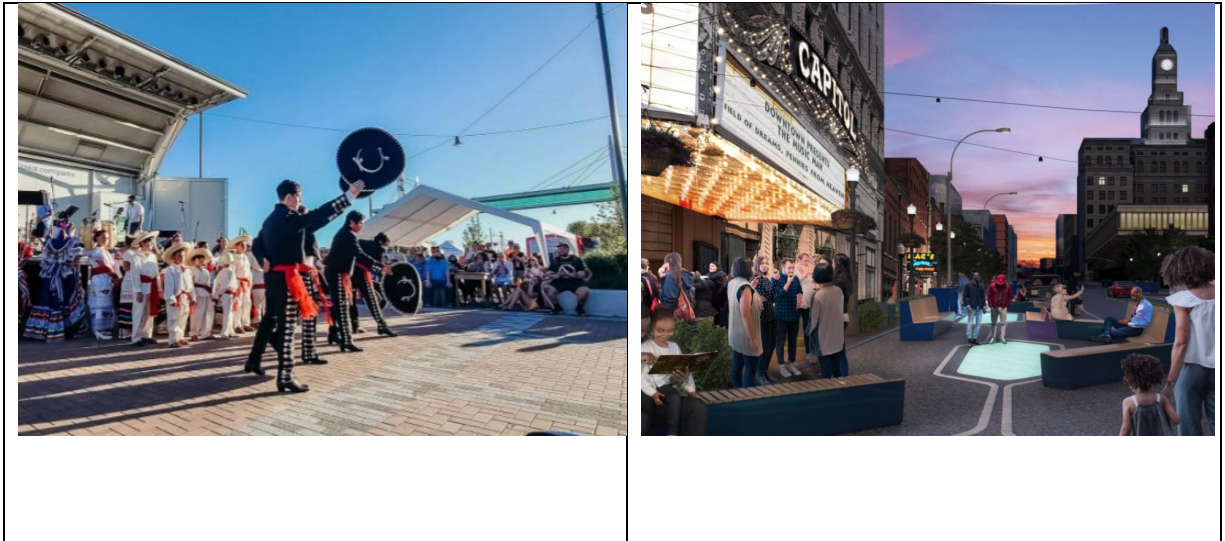
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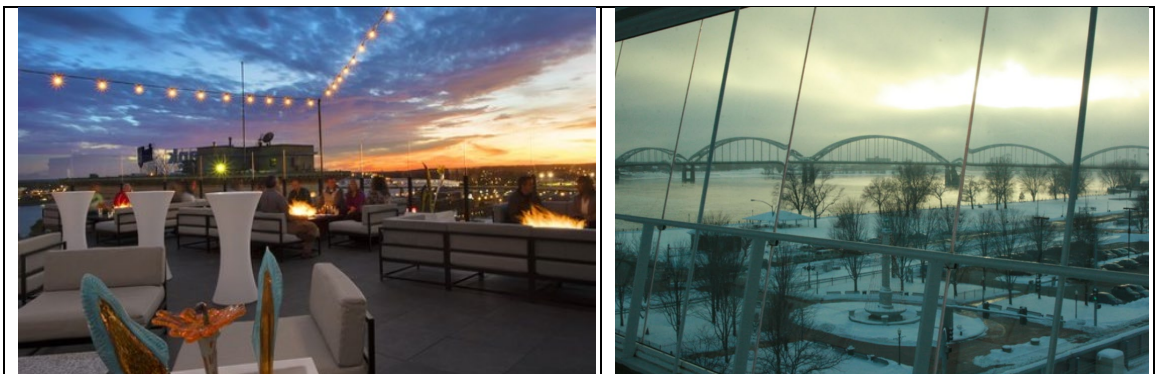
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15. Support alternative forms of energy including electric charging stations for vehicles, solar, and, where appropriate, wind technology.

Typically downtowns have not been welcoming to alternative energy facilities but as times change, it must be more adapting and accommodating.



Demand for Electric Vehicle (EV) charging stations is expected to rise dramatically over the next few years.

16. Work to complete and then maintain the streetscape project Downtown.

This project has been incrementally constructed for several years. City, with assistance from the Design Review Board, should seek to accelerate completion of the work over the upcoming few years.



Streetscaping can immediately transform even an underperforming block and be a catalyst for new investment.



The process of constructing or replacing streetscape is often complicated, labor intensive, and disruptive.







# Chapter 4: The Design Review Process



Updated 2021

## Chapter 4: The Design Review Process

### A.) Application.

1. Those contemplating new development of any kind within the Downtown Design Guidelines Area are strongly encouraged prior to submitting an application to contact the Development and Neighborhood Services Division for a consultation at 563-326-7923 or [planning@davenportiowa.com](mailto:planning@davenportiowa.com).

#### Downtown Design Guidelines Area



2. If the proposed project requires DRB approval, an application must be filled out and submitted to the Zoning Administrator through the City electronic portal at [Davenport Electronic Plan Review](#).

3. Design Review Board Approval is required in the C-D, C-V, and C-E Districts for the following:

a. New construction or an alteration to the exterior of a structure where changes are visible from the public right-of-way.



b. Installation or alteration of any sign or structural elements related to a sign.

c. New parking lots, fencing/walls and landscaping or an alteration to existing parking lots, fencing/walls or landscaping.

d. Streetscape elements within the right-of-way, only when there is a substantial deviation from the standards contained in the Downtown Davenport Streetscape Improvement Plan (included in the document in Chapter 16).

e. Demolition within the C-D and C-V Districts requires the owner(s) of record or the City to apply for a demolition approval. Alternately, the City Fire Marshal and/or the Chief Building Official may order the partial or complete demolition of a structure because it possesses an immediate, definite and serious threat to the life, health and safety of the general public.

In such cases, the Design Review Board review is limited to reviewing the design, construction, and/or condition of any shared party wall made visible by the demolition.

## B. Approval Process

### a. Generally

The Zoning Administrator will determine when an application is deemed complete. Submitted applications should include as much information as practical, and may include construction plans, material samples, and a proposed color palate.

Once it is determined that the application is complete, the Zoning Administrator will schedule the application for consideration by the Design Review Board.

Generally, the DRB meets on the 4<sup>th</sup> Monday of the month. Complete applications must be submitted no later than the Monday before the meeting by the close of the business day.

Special meetings will only be considered under exceptional circumstances at the order of the Chair.

b. Appeals

The applicant may appeal the Design Review Board's determination to the City Council. A written appeal must be submitted to the Zoning Administrator within thirty calendar days of the Design Review Board's decision.

c. Expiration

An approved design review will expire one year from the date of approval unless a building permit is obtained within such period. The Zoning Administrator may grant an extension for a period of validity longer than one year. An applicant may apply in writing for an extension of time at any time prior to the date of expiration.

C.) Exemptions

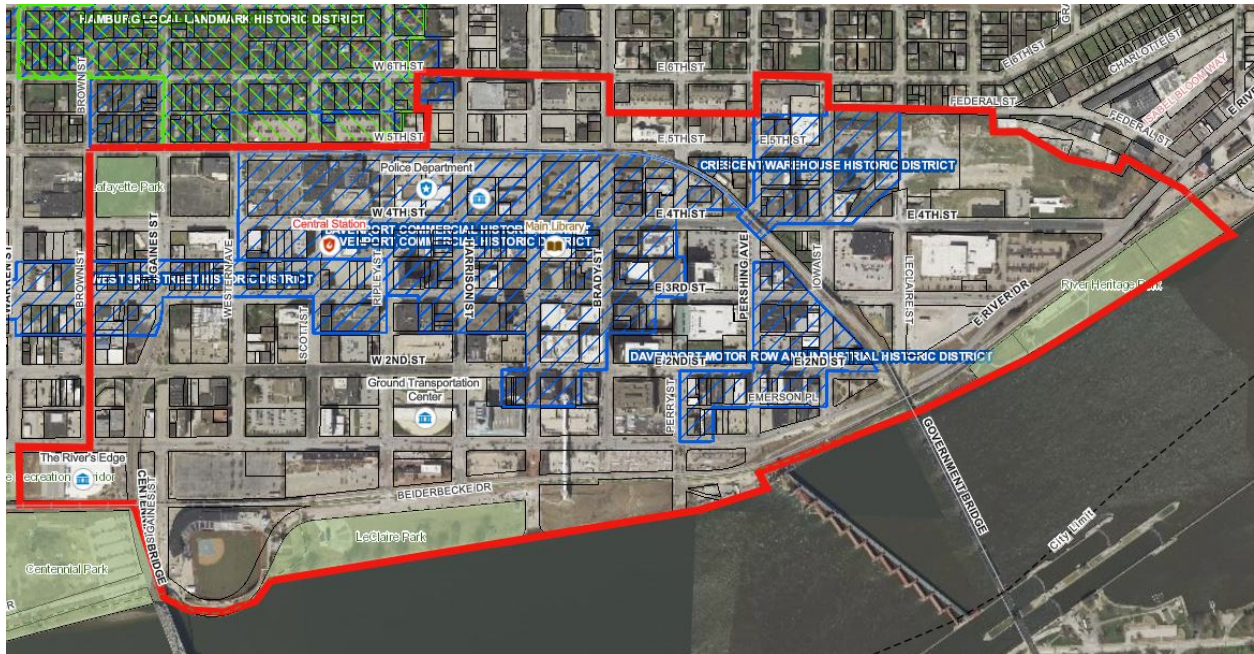
1. The following are exempt from Design Review Board approval:

a. Properties listed on the Davenport Register of Historic Places

b. Demolition of a building listed on the National Register of Historic Places, which are subject to the review authority of the Historic Preservation Commission.

2. The Zoning Administrator is authorized to approve design proposals as approved by the Design Review Board.

## National Register Districts within the DDG Area

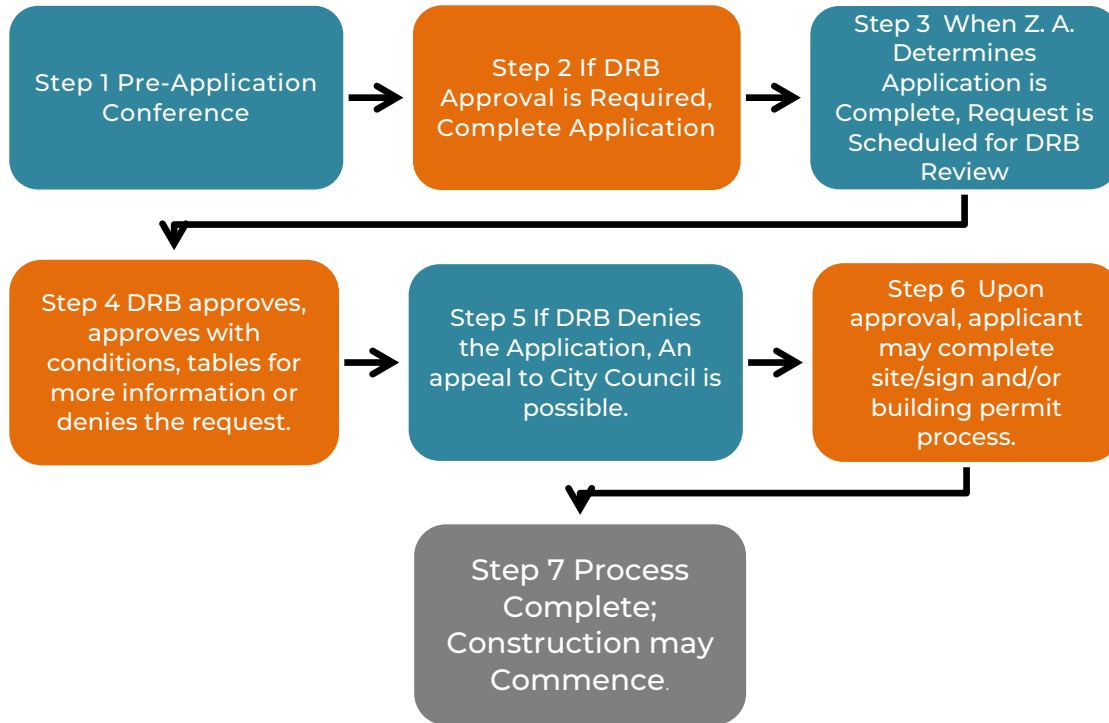


## Local Historic Landmarks within the DDG Area





## Design Review Process Flow Chart





## Chapter 5: Regulations, Standards, and Guidelines



## Chapter 5: Regulations, Standards, and Guidelines.

This Chapter describes the difference between the Regulations, Standards, and Guidelines applied to new development Downtown.

- A.) Zoning Regulations. A zoning regulations are rules which are enforceable by law. Generally, neither the Design Review Board nor the Zoning Board of Appeals (ZBA) can grant relieve from a zoning regulation. For example, the ZBA or DRB cannot grant a Hardship Variance for a change in use of a property.
- B.) Zoning Standards. Zoning standards provide the detailed physical and/or special requirements to make the zoning ordinance 'work'. The ZBA has the authority to grant relief from meeting zoning standards under many circumstances. In some instances, as provided specifically within these Design Guidelines, the DRB may grant alterations to Zoning Standards.
- C.) Design Guidelines. Interpreting and applying the Design Guidelines comprises the bulk of the Design Review Board's responsibilities. They are intended to provide broad guidance for development and design solutions on a case by case basis. They use the more specific Shared Values and Design Objectives and a foundation for decision-making. Design Guidelines share the following principles:

General. Design guidelines should provide a general toolbox of ideas with the purpose of making Downtown Davenport the best it can be. While formally adopted by the City Council and incorporated by reference into the Zoning Ordinance, design guidelines are subject to interpretation by the DRB on each application.

Inspirational. Design guidelines should encourage creativity while striving for uniqueness for each project.

Flexible. Broadly stated, there is no right or wrong way to apply design guidelines. An ultimate approved design should not, for the most part, conflict with the overall vision of the applicant provided the Shared Values and Design Objectives for Downtown are respected.



Collaborative. The Design Review Board and applicant should work together to find win-win solutions. DRB meetings are less formal than most board or commission meetings in the City, and certainly less formal than the City Council.

It is understood that economics is a factor in decisions. This is particularly true with new business or property owners, sometimes looking to make their first 'bricks and mortar' investment in the Downtown. Design Guidelines provide a palate and 'conversation-starter' in the design review process. If the DRB determines that partial improvements are desired in lieu of approving or denying inappropriate final design, a 'do no harm' approach should be undertaken.

DRB meetings, while open to the public, are not formal public hearings and generally do not allow public comment. The meetings are reserved predominantly for the DRB and applicant to work together to find mutually-desirable results.



While not a Davenport DRB meeting, this image captures their informal, problem-solving nature.



## City of Davenport, Iowa

### *Zoning Ordinance*

The City of Davenport adopted a new Zoning Ordinance in January, 2019. It has been amended several times since. An effective Zoning Ordinance must be regularly reviewed and updated as needs and priorities change.

Following is a summary of the Zoning Standards for the C-D, Downtown District. In addition to the Downtown Design Standards, these requirements are applicable to all development in this District. This is not a complete set of relevant regulations. Refer to Title 17 of the Municipal Code for a complete listing. [Chapter 17, Zoning](#)

#### Section 17.05.010 (F) Purpose Statement, C-D Downtown Zoning District

The C-D Downtown Zoning District is intended to accommodate the unique development environment of Downtown Davenport. The District is intended to reinforce and enhance the existing character of downtown as a point of regional focus, a destination for culture, sports, and

entertainment, and a vibrant, pedestrian-friendly mixed-use environment.

#### Section 17.05.050 C-D District Standards

##### A. Purpose Statement

The C-D District is intended to accommodate the unique development environment within Downtown Davenport. Development in Downtown should be oriented toward reinforcing the area as a point of regional focus and strengthening its position as a center of office, finance, retail, and governmental activities. Additionally, the C-D District standards are intended to:

1. Add to the Downtown's appeal as a visitor, cultural, sports and entertainment center.
2. Encourage Downtown residential development in a variety of housing types.
3. Accommodate a variety of active uses and enhance the walkability and pedestrian orientation of Downtown.
4. Ensure high-quality design that maintains and enhances the aesthetic appeal of Downtown.

##### B. C-D District Dimensional Standards

Table 17.05-3: C-D District Dimensional Standards establishes the dimensional standards for Downtown. These regulations apply to all uses within the district unless a different standard is listed for a specific use.



Table 17.05-3: C-D District Dimensional Standards	
Minimum Lot Area	None
Minimum Lot Width	None
Minimum Building Height	24'
Front Setback	0-10' Build to Zone
Required Build to Percentage	80%
Interior Side Setback	None
Corner Side Setback	0-10' Build to Zone
Rear Setback	None

### C. C-D District Design Standards

Development in the C-D District is subject to design review per Section 17.14.100, and must be designed in accordance with the City of Davenport's adopted Downtown Design Guidelines and Downtown Davenport Streetscape Improvement Plan.

## Section 17.05.080 General Standards of Applicability

### A. Use Standards

See Chapter 17.08 for C-D District Permitted, Special, and Prohibited Uses, and use standards.

### B. Site Development Standards

See Chapter 17.09 for additional on-site development standards and requirements, such as exterior lighting, accessory structures and uses, and permitted encroachments.

### C. Off-Street Parking and Loading

See Chapter 17.10 for off-street parking and loading standards and requirements.

### D. Landscape

See Chapter 17.11 for landscape, buffering, and screening standards and requirements.

#### E. Signs

See Chapter 17.12 for standards governing signs. Note: The DRB has extra flexibility regulating signs in the C-D District.