

PLAN AND ZONING COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, OCTOBER 5, 2021; 5:00 PM

COUNCIL CHAMBERS CITY HALL , 226 WEST 4TH STREET

**REGULAR MEETING AGENDA**

I. Roll Call

II. Report of the City Council Activity

III. Secretary's Report

A. Consideration of the September 14, 2021 meeting minutes.

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

B. New Business

- i. Case ORD21-02: Request of the City of Davenport to amend Various sections of Chapter 17 of the Municipal Code of Davenport, Iowa entitled "Zoning." [All Wards]
- ii. Case REZ21-04: Request of the City of Davenport to rezone 143 acres, more or less, of property located near 320 W. Kimberly Rd., generally being bounded by Northwest Blvd., Kimberly Rd., Brady St, E. 42nd St, Welcome Way and by the north lot line of Northpark Mall changing the zoning from C-3 General Commercial to C-C City Centre District. [Ward 7]

VI. Subdivision Activity

A. Old Business

B. New Business

VII. Future Business

VIII. Communications

IX. Other Business

X. Adjourn

City of Davenport  
Plan and Zoning Commission

Department: DNS  
Contact Info: Matt Werderitch 563.888.2221

**Date**  
**10/5/2021**

Subject:  
Consideration of the September 14, 2021 meeting minutes.

Recommendation:  
Approve the minutes.

Background:  
The September 14, 2021 meeting minutes are attached.

ATTACHMENTS:

Type	Description
▢ Backup Material	Meeting Minutes 9-14-21

Staff Workflow Reviewers

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Werderitch, Matt	Approved	9/29/2021 - 10:28 AM

**MINUTES**  
PLAN AND ZONING COMMISSION MEETING  
CITY OF DAVENPORT, IOWA  
TUESDAY, SEPTEMBER 14, 2021; 5:00 PM  
CITY HALL, 226 W 4TH ST, COUNCIL CHAMBERS

**COMBINED PUBLIC HEARING AND REGULAR MEETING AGENDAS**  
**PUBLIC HEARING AGENDA**

I. New Business

- A. Case ORD21-02: Request of the City of Davenport to amend various sections of Chapter 17 of the Municipal Code of Davenport, Iowa entitled "Zoning." [All Wards]

Berkley gave a presentation on the proposed ordinance text changes, which includes the creation of a new zoning district. Commissioner comments included inquiries on the proposed dimensional standards of the C-C City Centre District.

Public comments comprised potential roadway connections from the abutting neighborhood into Northpark Mall as well as impacts to property values. After members of the public spoke, the public hearing closed.

- B. Case REZ21-04: Request of the City of Davenport to rezone 143 acres, more or less, of property located near 320 W. Kimberly RD generally being bounded by Northwest BLVD, Kimberly RD, Brady St, E. 42nd St, Welcome Way and by the north lot line of Northpark Mall changing the zoning from C-3 General Commercial to C-C City Centre District to facilitate revitalization oriented toward regional mixed-use and tourism for the central part of the city [Ward 7].

Berkley provided an overview of the rezoning change and the properties associated with the new C-C City Centre District. Staff is working with impacted property owners and businesses. To date, one email was submitted from a concern citizen regarding crime in the area.

No members of the public spoke. With no comments, the public hearing closed.

**REGULAR MEETING AGENDA**

I. Roll Call

Present: Johnson, Tallman, Inghram, Hepner, Maness, Stelk, Schneider, Lammers

Excused: Brandsgard, Reinartz, Garrington

Staff: Berkley

II. Report of the City Council Activity

III. Secretary's Report

A. Consideration of the August 31, 2021 meeting minutes.

Motion by Hepner, second by Maness to approve the August 31, 2021 meeting minutes. Motion to approve was unanimous by voice vote (7-0).

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

B. New Business

VI. Subdivision Activity

A. Old Business

B. New Business

VII. Future Business

VIII. Communications

IX. Other Business

X. Adjourn

Motion by Tallman, second by Hepner to adjourn the meeting. Motion to adjourn was unanimous by voice vote (7-0).

The meeting adjourned at 5:35 pm.

City of Davenport  
Plan and Zoning Commission

Department: DNS  
Contact Info: Laura Berkley | 563-888-3553

**Date**  
**10/5/2021**

**Subject:**

Case ORD21-02: Request of the City of Davenport to amend Various sections of Chapter 17 of the Municipal Code of Davenport, Iowa entitled "Zoning." [All Wards]

**Recommendation:**

Staff recommends case ORD21-02 be forwarded to the City Council with a recommendation for approval of the proposed amendments.

**Background:**

In preparation for future programming opportunities, including through the Iowa Economic Development Authority, the City has incorporated corridor planning into the FY 2021 and FY 2022 administrative Work Plan. Work has begun with Macerich and adjacent property owners on revisioning the area's potential and to position the area for both short- and long-term redevelopment that benefits the citizens of Davenport.

One of the major potential program opportunities is the Reinvestment District which is designed to assist communities in developing transformative projects that improve the quality of life, create and enhance unique opportunities, and substantially benefit the community, region, and state. The City has identified the Kimberly and Brady commercial node as an area with the potential for success as a reinvestment district. Land use is a component of the Reinvestment District and similar programs. Large investments that generate high volumes of sales taxes and draw consumers to utilize the entire development are required to qualify for the program. In order to ensure the greatest potential for the area, the City is initiating a Zoning Text Change to include the creation of a new zoning district called City Centre. In addition, staff continues to fine-tune the ordinance at regular intervals after adoption. The following amendments are proposed at this time:

**Chapter 17.05 Commercial Districts**

**1. Section 17.05.010 Purpose Statements**

- Create a Purpose Statement for a new zoning district titled "City Centre"

**2. Section 17.05.030 Dimensional Standards**

- Establish Dimensional Standards for the proposed new zoning district "City Centre"
- Alter the C-1 minimum front setback requirements to also allow for new construction to be setback in line with existing buildings.

**3. Section 17.05.040 Design Standards**

- Establish Design Standards for the proposed new zoning district "City Centre"

**Chapter 17.08: Uses**

**1. Table 17.08-1 Use Matrix**

- Create permitted and special uses in the new "City Centre" zoning district;
- Change Bed & breakfast to a Special Use in R-1 and R-2;
- Add Day Care Center as a Special Use in I-1;
- Add Food Bank as a permitted use in I-2;
- Add Parking Lot (Principal Structure) as a Special Use in I-2;

- Change Residential Care Facility to a permitted use in C-1;
- Change Self-Storage Facility: Enclosed to a Special Use in C-3 and remove from C-OP;
- Remove Self-Storage Facility: Outdoor as a Special Use in C-3.

## **2. Section 17.08.030 Principal Use Standards**

- Change the fence height in the Principal Use Standard for Animal Care Facility to allow fences up to 8 feet in height.
- Add to the Principal Use Standard for Car Wash to include distancing exterior vacuum stations from residential districts and not routing exiting traffic into adjacent neighborhoods.
- Add design standards for ancillary structures in the Principal Use Standard for Dwelling-Multi-Family.

## **3. Section 17.08.040 Temporary Use Standards**

- Change language in Temporary Use Standards to reinforce that all municipal code regulations and processes apply.

## **4. Section 17.08.050 Use Definitions**

- Add professional firework displays to the definition of Temporary Outdoor Entertainment.

## **Chapter 17.09: Site Development Standards**

### **1. Section 17.09.020 Exterior Lighting**

- Increase the height of cut-off luminaires to 40 feet in industrial districts and 35 feet in some commercial districts.

### **2. Section 17.15.050 Nonconforming Site Elements**

- In subsection C2 Nonconforming Parking Lot Landscape: Remove the word resurfacing for types of parking lot reconstruction.

#### **ATTACHMENTS:**

Type	Description
▢ Backup Material	Chapter 17.05 Commercial Districts - Proposed Changes
▢ Backup Material	Chapter 17.08 Uses - Proposed Changes
▢ Backup Material	Table 17.08-1 Use Matrix - Proposed Changes
▢ Backup Material	Chapter 17.09.020 Exterior Lighting - Proposed Changes
▢ Backup Material	Chapter 17.15.050 Nonconforming Site Elements - Proposed Changes

#### **Staff Workflow Reviewers**

#### **REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Berkley, Laura	Approved	10/1/2021 - 3:39 PM

## **CHAPTER 17.05. COMMERCIAL DISTRICTS**

Section 17.05.010	Purpose Statements
Section 17.05.020	Uses
Section 17.05.030	Dimensional Standards
Section 17.05.040	Design Standards
Section 17.05.050	C-D District Standards
Section 17.05.060	C-V District Standards
Section 17.05.070	C-E District Standards
Section 17.05.080	General Standards of Applicability

### **Section 17.05.010 Purpose Statements**

#### **A. C-T Commercial Transitional Zoning District**

The C-T Commercial Transitional Zoning District is intended to accommodate low intensity limited office, service, and retail uses that may serve as a transition between residential areas and more intensely developed commercial or light industrial areas of the City. Low intensity mixed-use is allowed.

#### **B. C-1 Neighborhood Commercial Zoning District**

The C-1 Neighborhood Commercial Zoning District is intended to provide for commercial uses that predominantly serve the needs of nearby residential neighborhoods, and that are compatible in scale and character with the surrounding residential area. Low intensity mixed-use is encouraged.

#### **C. C-2 Corridor Commercial Zoning District**

The C-2 Corridor Commercial Zoning District is intended to address the commercial corridors that are primarily oriented toward a mix of retail, personal service, and office uses along arterial streets and collector streets adjacent to arterials streets in the City. The C-2 District accommodates auto-oriented development – both individual businesses and retail centers – and mixed-use development, with the intent of improving the pedestrian environment along Davenport's commercial corridors.

#### **D. C-3 General Commercial Zoning District**

The C-3 General Commercial Zoning District is intended to accommodate higher-intensity commercial development within the City of Davenport that serves both local and regional markets. The C-3 District addresses medium- and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.

#### **E. C-C City Centre Zoning District**

The C-C City Centre Zoning District is intended to position the central part of the city for revitalization oriented toward a regional mix of commercial, high-density residential, and entertainment that encourages compatible development and redevelopment while promoting local reinvestment.

#### **E. F. C-OP Commercial Office Park Zoning District**

The C-OP Commercial Office Park Zoning District is intended to accommodate larger office developments, office parks, and research and development facilities, which may include limited indoor light industrial uses with no outside impacts. The district is oriented toward larger-scale complexes that may include ancillary services for employees such as personal services, restaurants, and retail establishments. District standards are intended to guide the development of campus-like environments, and include provisions for orientation of structures around plazas or public spaces, and the creation of a cohesive appearance.

#### **F. G. C-D Downtown Zoning District**

The C-D Downtown Zoning District is intended to accommodate the unique development environment of downtown Davenport. The District is intended to reinforce and enhance the existing character of downtown as a point of regional focus, a destination for culture, sports, and entertainment, and a vibrant, pedestrian-friendly mixed-use environment.

#### **G. H. C-V Village of East Davenport Zoning District**

The C-V Village of East Davenport Zoning District is intended to preserve and enhance the smaller-scale, historic character of the Village of East Davenport, and to ensure future development is compatible with the unique historic and architectural character of the area.

#### **H. I. C-E Elmore Corners Zoning District**

The C-E Elmore Corners Zoning District is intended to implement the vision contained in the Elmore Corners Area Plan through the application of site and building design standards that ensure quality, compatible, and coordinated development within the area.

#### **Section 17.05.020 Uses**

**A.** Chapter 17.08 lists permitted, special, and temporary uses for the commercial districts.

**B.** In the C-V District, only 35% of a blockface can be in the use “bar.” This is calculated as a percentage of the number of buildings along a blockface. Where a structure maintains an outdoor seating area, such seating area is counted as part of the building.

#### **Section 17.05.030 Dimensional Standards**

**A.** Table 17.05-1: Commercial Districts Dimensional Standards establishes the dimensional standards for the commercial districts, with the exception of the C-D, C-V, and C-E Districts. The dimensional standards for development in the C-D, C-V, and C-E Districts are found in Sections 17.05.050, 17.05.060, and 17.05.070 respectively, below. These regulations apply to all uses within each district unless a different standard is listed for a specific use.

**B.** In the C-T District, new non-residential development is limited to the maximum gross floor area indicated in Table 17.05-1. Any structures existing as of the effective date of this Ordinance are exempt from this limitation. Additional gross floor area may be permitted if, during site plan review, it is found that the development meets the following standards:

1. The development maintains the privacy of adjacent residential lots through techniques such as decreased height, additional landscape and screening measures, building massing and design to mitigate adverse impacts of noise and lighting, and increased setbacks above those required from adjacent residential lots.
2. Building design elements incorporate pedestrian-scale features, such as awnings and storefront windows.
3. The design of the site's circulation system provides adequate and safe access for both motor vehicles and alternate modes of transportation, including pedestrians and bicyclists. The design minimizes potentially dangerous traffic movements and points of conflict between vehicles and pedestrians or bicyclists.

**C.** In the C-1 District, where 70% of a blockface has been developed, new construction may exceed the Build-to-Zone limits by no more than the average setback of structures on said blockface.

**D.** See Section 17.02.040 for measurement methodologies.

Table 17.05-1: Commercial Districts Dimensional Standards						
	C-T	C-1	C-2	C-3	C-C	C-OP
<b>Bulk</b>						
<b>Minimum Lot Area</b>	10,000sf	None	None	20,000sf	None	20,000sf
<b>Minimum Lot Width</b>	60'	None	None	80'	None	70'
<b>Maximum Gross Floor Area of Nonresidential</b>	5,000sf unless meeting the standards of Section 17.05.030.B	None	None	None	None	None
<b>Maximum Building Height</b>	35'	45'	45'	Nonresidential: 55' Mixed-Use: 75'	None unless within 75' of a residential district, then 35'	45'
<b>Setbacks</b>						
<b>Minimum Front Setback</b>	Build-to zone of 0' to 20'	Build-to zone of 0' to 15' unless meeting the standards of Section 17.05.030C	None	25'	None	20'



Table 17.05-1: Commercial Districts Dimensional Standards						
	C-T	C-1	C-2	C-3	C-C	C-OP
<b>Front Setback Build-To Percentage</b>	70%	70%	None	None	None	None
<b>Minimum Interior Side Setback</b>	None, unless abutting a residential district then 20'	None, unless abutting a residential district then 10'	None, unless abutting a residential district then 10'	10', unless abutting a residential district then 20'	None, unless abutting a residential district, then 20'	15'
<b>Minimum Corner Side Setback</b>	Build-to zone of 0' to 15'	Build-to zone of 0' to 10' unless meeting the standards of Section 17.05.030C	10'	20'	None	Build-to zone of 0' to 20'
<b>Corner Side Setback Build-To Percentage</b>	60%	60%	None	None	None	60%
<b>Minimum Rear Setback</b>	15', unless abutting a residential district then 25' or 20% of lot depth, whichever is less	None, unless abutting a residential district then 15' or 20% of lot depth, whichever is less	None, unless abutting a residential district then 15'	10', unless abutting a residential district then 25'	None, unless abutting a residential district, then 25'	25'

#### Section 17.05.040 Design Standards

The following design standards apply to new construction, substantial repair or rehabilitation of the exterior façade of an existing structure meant to remedy damage or deterioration, and additions to an existing structure in the commercial districts, with the exception of the C-D, C-V, and C-E Districts. Design standards for development in the C-D, C-V, and C-E Districts are found in Sections 17.05.050, 17.05.060, and 17.05.070 respectively, below. Only those standards that relate to the specific repair, rehabilitation action, or addition apply. These standards do not apply to interior remodeling.

New construction of any new dwelling shall meet either the Design Standards in Table 17.05-2 or the Use Standards for the applicable dwelling type in Section 17.080.030.

#### A. Commercial Districts Design Standards

Table 17.05-2: Commercial Districts Design Standards establishes the design standards for the commercial districts. In the table, a “•” indicates that the standard is applicable in the district indicated. The absence of a “•” indicates that the standard does not apply to the district.

Table 17.05-2: Commercial Districts Design Standards						
	C-T	C-1	C-2	C-3	C-C	C-OP
<b>Façade Design</b>						
Building façades that face a public right-of-way, excluding alleys, must not contain blank wall areas that exceed 40 linear feet, measured parallel to the street.	•	•	•	•	•	
Building façades in excess of 100 linear feet that face a public right-of-way, excluding alleys, must include a repeating pattern with no less than two of the following elements: color change, texture change, building material change, or a wall articulation change of no less than 2 feet in depth or projection, such as a reveal, pilaster, or projecting rib. All elements must repeat at intervals of no more than 40 linear feet.	•	•	•	•	•	
Buildings with façades over 150 feet in length must incorporate wall projections or recesses, or changes in wall plane a minimum of two feet in depth a maximum of every 75 linear feet.						•
All buildings must have a public entrance from the sidewalk along the primary building frontage. Public entrances must be visually distinctive from the remaining portions of the façade.	•	•	•	•	•	
Building materials and visual elements used on the façade of the primary building frontage must continue on all building façades that face a public right-of-way (excluding alleys) and/or the lot line of a residential district.	•	•	•	•	•	
Large expanses of highly reflective wall surface material and mirror glass on exterior walls are prohibited.	•	•	•	•	•	•
<b>Fenestration Design</b>						
The ground floor of a façade facing a public right-of-way (excluding alleys) must maintain a minimum transparency of 50%, measured between two and ten feet in height from grade.		•	•			
The ground floor of a façade facing a public right-of-way (excluding alleys) must maintain a minimum transparency of 35%, measured between two and ten feet in height.				•	•	

Table 17.05-2: Commercial Districts Design Standards						
	C-T	C-1	C-2	C-3	C-C	C-OP
Upper floors of a façade facing a public right-of-way (excluding alleys) must maintain a minimum transparency of 15% of the wall area of the story.	•	•	•			
<b>Roof Design</b>						
Rooflines over 100 linear feet in building length must contain variation, and incorporate a major focal point feature, such as a dormer, gable, or projected wall feature. An element of variegation on the roofline must occur at intervals of no more than 75 linear feet.	•	•	•	•	•	
Parapet walls must feature three-dimensional cornice treatments or other shadow-creating details along their tops to provide visual interest.	•	•	•	•	•	
Any roof that is visible from a public right-of-way must be shingle or colored standing seam metal roofing.	•	•	•	•	•	
Green roof, blue roof, and white roof designs are encouraged.	•	•	•	•	•	•
Reflective roof surfaces that produce glare are prohibited, except for solar panels or white roofs intended to radiate absorbed or non-reflected solar energy and reduce heat transfer to the building.	•	•	•	•	•	•
<b>Entrance Design</b>						
Public entrances and primary building elevations must be oriented toward a public street. Main entrances to the buildings must be well defined.						•
Entries to office or guest facilities must address the street, with direct access to office or guest facilities from street frontages and parking areas.						•
<b>Multi-Tenant Commercial Center and Office Park Site Design</b>						
Sites must be designed to ensure safe pedestrian access to the commercial center from the public right-of-way, and safe pedestrian circulation within the development.		•	•	•	•	
A cohesive character must be established through the use of coordinated hardscape (paving materials, lighting, street furniture, etc.) and landscape treatments within the development.		•	•	•	•	
Commercial centers may provide definition along the street frontage by locating part of the center or outlot buildings within 0' to 25' of the front lot line. The center or any outlot buildings may be placed within a required setback to comply with this standard.				•	•	
In multi-building complexes, a distinct visual link must be established between various buildings through the use of architectural features or site design elements such as courtyards, plazas, landscape, and walkways to unify the project.					•	•
Developments should provide a pedestrian link to adjacent commercial uses to provide safe pedestrian access between the site and commercial uses outside the development.						•

## B. Building Material Restrictions

In commercial districts (excluding the C-D, C-V, and C-E Districts), the following building materials are prohibited on any façade facing a public right-of-way (excluding alleys) or any façade that abuts the lot line of a residential district. However, such materials may be used as decorative or detail elements for up to 25% of the façade, or as part of the exterior construction that is not used as a surface finish material.

1. Plain concrete block
2. Corrugated metal
3. Aluminum, steel or other metal sidings (does not apply to C-1 and C-2 Districts)
4. Exposed aggregate (rough finish) concrete wall panels
5. T-111 composite plywood siding
6. Plastic
7. Vinyl

## C-1 DISTRICT DESIGN STANDARDS



- A. Blank wall area 40 linear feet or less, measured parallel to the street
- B. Repeating pattern of two elements at an interval of no more than 40 linear feet
- C. A visually distinct public entrance from the sidewalk along the primary building frontage
- D. First floor transparency of 50% measured between two and ten feet in height from grade
- E. Upper floor transparency of 15% of the wall area of the story
- F. 100-foot roofline with variations occurring at intervals of no more than 75 linear feet
- G. Parapet walls with three-dimensional cornice treatments or other shadow-creating details

# Proposed Changes - Section 17.08: Uses

## In Section 17.08.030 Principal Use Standards

### **B. Animal Care Facility – Small Animal, and Animal Breeder**

These standards do not apply to any animal shelters operated by a City agency.

1. Animal care facilities must locate exterior exercise areas in the rear yard only. Exterior exercise areas must provide covered areas over a minimum of 30% of the exterior area to provide shelter against sun/heat and weather. A fence a minimum of six feet and a maximum of ~~seven~~ eight feet in height is required for all exterior exercise areas.
2. Animal care facilities must locate all overnight boarding facilities indoors. Outdoor boarding facilities for animal breeders are permitted but must be designed to provide shelter against sun/heat and weather.
3. All animal quarters and exterior exercise areas must be kept in a clean, dry, and sanitary condition.

### **G. Car Wash**

When a car wash is adjacent to the lot line of a residential district, it must be screened along the interior side and/or rear lot lines adjacent to the residential lot as follows:

1. With a solid fence or wall, a minimum of six feet and a maximum of seven feet in height along the rear lot line.
2. With a solid fence or wall, a minimum of six feet and a maximum of seven feet in height along the interior side lot line up to the residential lot's front yard line. At the front yard line the fence must be four feet if a solid fence and six feet if an open fence.
3. Vacuum stations shall not be located between the carwash structure and a lot line of an abutting residential district.
4. Carwashes must be located and designed to ensure that they do not adversely affect traffic circulation on adjoining streets. Carwashes must not route exiting traffic into adjacent residential neighborhoods.

### **O. Dwelling - Multi-Family**

In the case of conflict with any design standards contained within Chapter 17.04, the standards of Chapter 17.04 control.

1. Façades must be designed with consistent materials and treatments that wrap around all façades. There must be a unifying architectural theme for the entire multi-family development, utilizing a common vocabulary of architectural forms, elements, materials, or colors in the entire structure.
2. Building facades must include windows, projected or recessed entrances, overhangs, and other architectural features. Three-dimensional elements, such as balconies and bay windows, are encouraged to provide dimensional elements on a façade.
3. A 25% minimum transparency requirement applies to any façade facing a street and is calculated on the basis of the entire area of the façade.
4. The following building materials are prohibited on any façade. However, such materials may be used as decorative or detail elements for up to 25% of the facade, or as part of the exterior construction that is not used as a surface finish material.
  - a. The following building materials are prohibited on any part of any façade:
    - i. Plain concrete block
    - ii. Plastic
    - iii. Exterior insulating finish systems (EIFS)

- b. The following building materials are prohibited as a primary surface finish material on any façade but may be used as decorative or detail elements for up to 15% of the façade:
  - i. Corrugated metal
  - ii. Exposed aggregate (rough finish) concrete wall panels
  - iii. T-111 composite plywood siding
- 5. Ancillary buildings and accessory structures to multiple-family dwellings shall meet the following design standards.
- 6. Structures shall maintain the character of the multi-family development.
- 7. Structures are encouraged to match the pitch of the roof of the principal dwelling.
- 8. Structures utilizing metal siding and/or roofing shall have a matte finish (or similar non-glare finish).
- 9. Setbacks for accessory structures like garages, carports and sheds shall meet required accessory structure setbacks; ancillary buildings such as offices or community rooms shall meet principal use setbacks.

### **In Section 17.08.040 Temporary Use Standards**

Temporary uses are required to comply with the standards of this section, in addition to all other regulations of this Ordinance and any licensing requirements of the Municipal Code. These regulations are for temporary uses located on private property. A temporary use may require a permit if the requirement is specifically cited in the standards. Temporary uses do not require additional parking unless specifically cited in the temporary use standards or stipulated as a condition of approval. Tents associated with temporary uses that are less than 200 square feet in area are exempt from permits.

### **In Section 17.08.050 Use Definitions:**

**Temporary Outdoor Entertainment.** A temporary live entertainment event, such as the performance of live music, revue, or play within an outdoor space. Temporary outdoor entertainment event includes fireworks shows ("Display Fireworks" per the American Pyrotechnic Association only), horse shows, carnivals/circuses, temporary worship services, and others.

TABLE 17.08-1: USE MATRIX																								
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Adult Use																S	S					Sec. 17.08.030.A		
Agriculture																			P					
Amusement Facility - Indoor									P	P	P		P	P	P	P		P						
Amusement Facility - Outdoor										S	S				S	P		S						
Animal Care Facility – Large Animal																			P					
Animal Care Facility – Small Animal							S	S	P	P	P		S	S	P	P		P	P			Sec. 17.08.030.B		
Animal Breeder																			P			Sec. 17.08.030.B		
Art Gallery							P	P	P	P	P		P	P	P			P						
Arts and Fitness Studio							P	P	P	P	P		P	P	P			P						
Bar									P	P	P		P	P	P			P						
Bar – Neighborhood								P														Sec. 17.08.030.C		
Bed and Breakfast	PS	PS	S	S	S														P			Sec. 17.08.030.D		
Billboard									P	P	P					P	P					Sec. 17.08.030.E		
Body Modification Establishment								P	P	P	P		P		P			P						
Broadcasting Facility TV/Radio								P	P	P	P	P	P	P	P	P	P	P			P			
Campground																			S	P		Sec. 17.08.030.F		
Car Wash									P	P	P				S			P				Sec. 17.08.030.G		
Casino															P									
Cemetery																				P				
Children's Home					P				P	P	P				P			S			P	Sec. 17.08.030.H		
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Community Center	P	P	P	P	P		P	P	P	P	P		P	P	P			P	P	P	P			
Community Garden	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	Sec. 17.08.030.I		
Conservation Area																			P	P				
Country Club																				P				
Cultural Facility							P	P	P	P	P		P	P	P			P		P	P			
Day Care Center					P		P	P	P	P	P	P	P	P	P	S		P			P	Sec. 17.08.030.J		
Day Care Home	P	P	P	P	P														P			Sec. 17.08.030.K		
Drive-Through Facility									P	P	S		S		P	P	P					Sec. 17.08.030.K		
Drug/Alcohol Treatment Facility, Residential									S	S					S			S			S	Sec. 17.08.030.L		
Drug Treatment Clinic									S	S					S			S			S	Sec. 17.08.030.L		
Domestic Violence Shelter					P			P	P	P					P			P			P	Sec. 17.08.030.H		
Dwelling – Accessory Dwelling Unit	P	P	P	P																		Sec. 17.08.030.M		

TABLE 17.08-1: USE MATRIX																								
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Dwelling – Manufactured Home						P													S			Sec. 17.08.030.N		
Dwelling - Multi-Family					P		P	P	P	P	S		P	P	P			P				Sec. 17.08.030.O		
Dwelling - Townhouse					P		P	P	P	P	S		P	P	P			P				Sec. 17.08.030.P		
Dwelling - Single-Family	P	P	P	P			P	P	P					P								Sec. 17.08.030.P		
Dwelling - Single-Family Semi-Detached		P	P	P	P		P	P	P		S			P								Sec. 17.08.030.P		
Dwelling - Two-Family (New Construction)			P	P	P		P	P	P		S			P								Sec. 17.08.030.P		
Dwelling - Two-Family (Conversion)					P		P	P	P					P								Sec. 17.08.030.P		
Educational Facility - Primary or Secondary	P	P	P	P	P																P			
Educational Facility - University or College										P	P	P	P		P						P			
Educational Facility - Vocational							S	S	S	P	P	P	P	S	P	P	P	P			P			
Equine, Keeping of/Equestrian Facility	P																		P			Sec. 17.08.030.Q		
Fairground																			S	S	P			
Financial Institution							P	P	P	P	P	P	P	P	P			P						
Financial Institution, Alternative									S	S					S			P				Sec. 17.08.030.R		
Food Bank																P	P	P						
Food Pantry									P	S					S			S						
Funeral Home							S	S	S	P					P			P						
Gas Station								S	P	P	S				P	P	P	P				Sec. 17.08.030.S		
Golf Course/Driving Range																				P				
Government Office/Facility							P	P	P	P	P	P	P	P	P	P	P	P		P	P			
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Greenhouse/Nursery - Retail										P					P			P	S					
Group Home	P	P	P	P	P																	Sec. 17.08.030.T		
Halfway House									S	S					S			S			S	Sec. 17.08.030.L		
Healthcare Institution																					P			
Heavy Rental and Service																P		P						
Heavy Retail										S					S	P		P						
Homeless Shelter									S	S					S			S			S	Sec. 17.08.030.L		
Hotel									P	P	P	P	P	S	P			P						
Industrial - General																	P							
Industrial - Light												P				P	P	P						
Industrial Design								P	P	P		P	P		P	P	P	P						

TABLE 17.08-1: USE MATRIX																							
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Live Performance Venue										P	P		P	P	P	P		P					
Lodge/Meeting Hall	S	S	S	S	S		P	P	P	P	P	P	P	P	P	P	P	P	P			Sec. 17.08.030.U	
Manufactured Home Park						P																	
Medical/Dental Office							P	P	P	P	P	P	P	P	P			P			P		
Micro-Brewery/Distillery/Winery									P	P	P		P	P	P	P		P					
Neighborhood Commercial Establishment		S	S	S	S																	Sec. 17.08.030.V	
Office							P	P	P	P	P	P	P	P	P	P	P	P			P		
Outdoor Dining							P	P	P	P	P	P	P	P	P	P	P	P			P	Sec. 17.08.030.W	
Parking Lot (Principal Use)								S	S	S	S	S	S	S	S	P	S				P	Chapter 17.10	
Parking Structure (Principal Use)								S	S	P	P	P	S	S	P			P			P	Chapter 17.10	
Personal Service Establishment							P	P	P	P	P	P	P	P	P	P		P			P		
Place of Worship	P	P	P	P	P		S	S	P	P	P		P	P	P	P			P		P		
Private Recreation Facility								P	P	P	P	P	P	P	P	P		P			P		
Public Park	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P		
Public Safety Facility					P		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		
Public Works Facility												P				P	P	P	P		P		
Reception Facility	S	S	S	S				S	S	P	P		S	S	P			P	S			Sec. 17.08.030.X	
Recreational Vehicle (RV) Park																			S	S		Sec. 17.08.030.F	
Research and Development												P				P	P	P			P		
Residential Care Facility					P		P	SP	P	P	P	P	P		P	P		P			P	Sec. 17.08.030.Y	
Restaurant								P	P	P	P	P	P	P	P	P	P	P		P	P		
Retail Goods Establishment							P	P	P	P	P	P	P	P	P	P	P	P			P		
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Retail Alcohol Sales									P	P	S		S		P	P							
Retail Sales of Fireworks																P	P					Sec. 17.08.030.Z	
Salvage Yard																	S						
Self-Storage Facility: Enclosed									S	PS		P			P	P	P	P				Sec. 17.08.030.AA	
Self-Storage Facility: Outdoor										S						P	P	S				Sec. 17.08.030.AA	
Social Service Center									P	P					P			P			P		
Solar Farm												P				P	P		S		P	Sec. 17.08.030.BB	
Specialty Food Service								P	P	P	P		P	P	P	P		P					
Storage Yard - Outdoor																P	P					Sec. 17.08.030.CC	
Truck Stop																P	P						



TABLE 17.08-1: USE MATRIX																							
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Vehicle Dealership – Enclosed										P		S	P		P	S		P					
Vehicle Dealership – With Outdoor Storage/Display										S					S	S		P					
Vehicle Operation Facility																P	P				P		
Vehicle Rental – Enclosed										P		S	P		P	S		P					
Vehicle Rental – With Outdoor Storage/Display										S					S	S		P					
Vehicle Repair/Service– Major										S						P	P	P				Sec. 17.08.030.EE	
Vehicle Repair/Service – Minor									P	P					P	P	P	P				Sec. 17.08.030.EE	
Warehouse																P	P						
Wholesale Establishment																P	P	S					
Wind Energy System												S				S	S		S		S	Sec. 17.08.030.EE	
Wine Bar								S	P	P	P		P	P	P			P					
Winery																			S				
Wireless Telecommunications	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	Sec. 17.08.030.FF	
Wireless Telecommunications – Stealth Design Antenna	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 17.08.030.FF	
Wireless Telecommunications – DAS Co-Location	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 17.08.030.FF	
Wireless Telecommunications – DAS New Pole	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	Sec. 17.08.030.FF	
TEMPORARY USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Farmers' Market					T		T	T	T	T	T	T	T	T	T			T	T	T	T	Sec. 17.08.040.A	
Real Estate Project Sales Office/Model Unit	T	T	T	T	T		T	T	T	T	T	T	T	T	T	T	T	T			T	Sec. 17.08.040.B	
Temporary Cell On Wheels (COW)	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Sec. 17.08.040.C	
Temporary Contractor Office and Contractor Yard	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Sec. 17.08.040.D	
Temporary Outdoor Entertainment	T	T	T	T	T		T	T	T	T	T	T	T	T	T	T		T	T	T	T	Sec. 17.08.040.E	
Temporary Outdoor Sales (No Fireworks Stand)	T	T	T	T	T		T	T	T	T	T	T	T	T	T	T		T	T		T	Sec. 17.08.040.F	
Temporary Outdoor Sales - Fireworks Stand Only																T	T					Sec. 17.08.040.G	
Temporary Outdoor Storage Container	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Sec. 17.08.040.H	

# Proposed Changes

## Section 17.09: Site Development Standards

### Section 17.09.020 Exterior Lighting

#### A. Lighting Plan Required

1. A lighting plan is required for all non-residential uses, multi-family, and townhouse dwellings as part of site plan review. Single-family and two-family dwellings are exempt from a required lighting plan but are subject to applicable lighting requirements.
2. A lighting plan must include the following:
  - a. A plan showing all light pole locations, building-mounted lights, bollard lights, and all other lighting.
  - b. Specifications for luminaires and lamp types, and poles, including photographs or drawings of proposed light fixtures.
  - c. Pole, luminaire, and foundation details including pole height, height of building-mounted lights, mounting height, and height of the luminaire.
  - d. Elevations of the site including all structures and luminaires sufficient to determine the total cut off angle of all luminaires and their relationship to abutting parcels may be required.
  - e. Photometric plans that show the footcandle measurement at all lot lines.
  - f. Other information and data reasonably necessary to evaluate the required lighting plan.

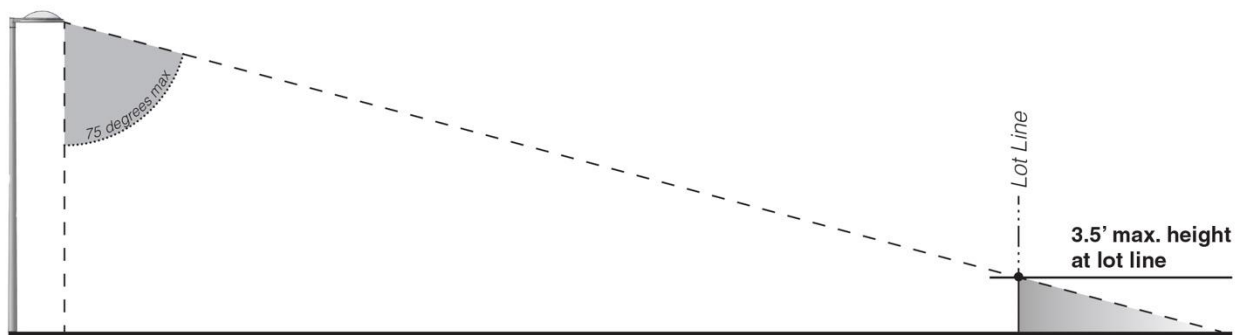
#### B. Maximum Lighting Regulations

1. The maximum allowable footcandle at any lot line is one footcandle.
2. When additional security lighting is required for security reasons in excess of the footcandle limit imposed by item 1 above, additional lighting may be allowed based on evidence for the need for additional security through site plan review.
3. No glare onto adjacent properties is permitted.

#### C. Luminaire with Cut Off Standards

1. To be considered a cut off luminaire, the cut off angle must be 75 degrees or less.
2. The maximum total height of a cut off luminaire, either freestanding or attached to a structure, is: **25 feet**
  - a. **25 feet in all residential districts, C-T, C-1, C-V, S-AG and S-OS.**
  - b. **35 feet in C-2, C-3, C-C, C-OP, C-D, C-E, S-IC, and I-MU**
  - c. **40 feet in I-1 and I-2.**
3. A cut off luminaire must be designed to completely shield the light source from an observer 3.5 feet above the ground at any point along an abutting lot line.

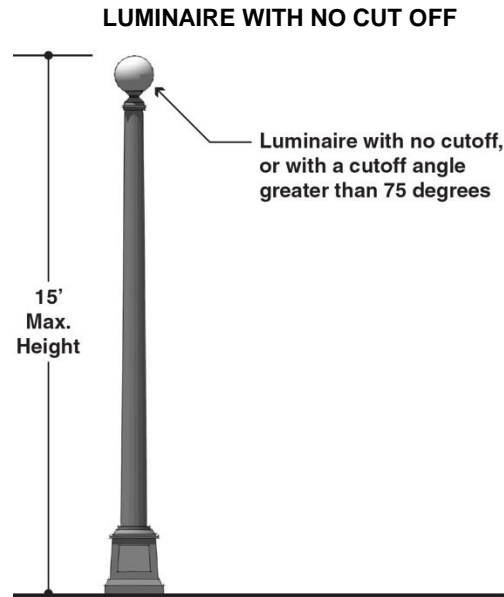
#### LUMINAIRE WITH CUT OFF



**D. Luminaire with No Cut Off Standards**

Non-residential uses, multi-family, and townhouse dwellings are allowed decorative and/or architectural lighting with no cut off if approved as part of site plan review, and subject to the following standards:

1. A luminaire is considered to have no cut off if it is unshielded or has a cut off angle greater than 75 degrees.
2. The maximum permitted total height of a luminaire with no cut off is 15 feet.



**E. Exceptions to Lighting Standards**

1. Uplighting of buildings is allowed but all light must be directed onto the façade of the structure and cannot glare onto other properties.
2. Because of their unique requirements for nighttime visibility and limited hours of operation, outdoor recreational facilities (public or private) such as, but not limited to, football fields, soccer fields, baseball fields, softball fields, tennis courts, golf driving ranges, show areas, and other similar uses are exempt from the requirements of this section. Recreational facilities are permitted a total luminaire height of 65 feet in any district. Luminaires greater than 65 feet in total height may only be approved by special use permit.
3. Temporary uses.
4. Holiday and seasonal lighting is not subject to the requirements of this section.
5. Luminaires used for public roadway illumination are not controlled by this Ordinance.
6. All temporary emergency lighting required by public safety agencies, other emergency services, or construction are exempt from the requirements of this Ordinance.

**F. Prohibited Lighting**

1. Flickering or flashing lights are prohibited.
2. Searchlights, laser source lights, or any similar high intensity lights are prohibited.
3. Neon or LED lighting to outline doors, windows, architectural features, and building facades is prohibited except for the following:
  - a. In the C-D Downtown Zoning District, subject to Design Review Board approval.

# Proposed Changes

## Section 17.15: Site Development Standards

### Section 17.15.050 Nonconforming Site Elements

#### A. Definition

A nonconforming site element is a site development element, such as landscape or lighting, that at one time conformed to the requirements of this Ordinance, but because of subsequent amendments, has been made nonconforming.

#### B. Maintenance

Normal maintenance and incidental repair to a nonconforming site element may be performed. No repairs or reconstruction are permitted that would create any new nonconformity or increase the degree of the previously existing nonconformity.

#### C. Required Conformance

##### 1. General

All nonconforming site elements must be brought into conformance when the following occurs:

- a. A new principal building is constructed on a site. This includes construction of a second principal building on the site.
- b. An existing principal building is increased in building footprint square footage by 25% or more.

##### 2. Nonconforming Parking Lot Landscape

When a parking lot of 15 or more spaces does not conform to required parking lot landscape requirements, it must be brought into conformance when such parking lot is fully reconstructed or expanded by an additional 50% or more spaces (viz., the total number of spaces after expansion is 150% or more of the spaces prior to expansion).

- a. Resealing or re-striping of an existing parking lot, which does not entail paving, **resurfacing**, or replacement of the asphalt, concrete, or other paving material, is not considered reconstruction.
- b. If such action would result in creating a parking area that no longer conforms to the parking regulations of this Ordinance, such existing parking lot is not required to install all or a portion of the required landscape. The applicant is required to show that landscape cannot be accommodated on the site.
- c. If only certain requirements are able to be accommodated on the site, those elements are required. The Zoning Administrator will make the determination that all or a portion of required landscape does not have to be installed.

City of Davenport  
Plan and Zoning Commission

Department: DNS  
Contact Info: Laura Berkley | 563-888-3553

**Date**  
**9/14/2021**

**Subject:**

Case REZ21-04: Request of the City of Davenport to rezone 143 acres, more or less, of property located near 320 W. Kimberly Rd., generally being bounded by Northwest Blvd., Kimberly Rd., Brady St, E. 42nd St, Welcome Way and by the north lot line of Northpark Mall changing the zoning from C-3 General Commercial to C-C City Centre District. [Ward 7]

**Recommendation:**

Staff recommends case REZ21-04 be forwarded to the City Council with a recommendation for approval subject to the listed findings and conditions.

**Findings:**

1. The zoning map amendment is consistent with the Davenport 2035+ Land Use Plan, which identifies the properties as Regional Commercial (RC) and Commercial Corridor (CC).
2. The proposed district is in keeping with the Council Goals of Fiscal Vitality, Sustainable Infrastructure and Vibrant Region.
3. The proposed map change furthers the purpose of the City Centre Zoning District and meets approval standards for map amendments.

**Conditions:**

1. The buffer area identified in Exhibit 1. "Original Rezoning Buffer Yard" shall be preserved.
2. Street connections to W 44th Street, Fairway Drive, Harrison Street, Main Street, Sheridan Street and Westerfield Road shall be prohibited.

**Background:**

**Discussion:**

The City of Davenport has initiated a rezoning of approximately 143 acres to the proposed "City Centre" Zoning District. The City Centre Zoning District is intended to facilitate and position the central part of the city for revitalization oriented toward regional mixed-use, tourism, and high-density residential uses that improve the quality of life. This district will assist in preparing the area for future program opportunities including as a Reinvestment District through the Iowa Economic Development Authority.

**Comprehensive Plan:**

Within Existing Urban Service Area: Yes  
Within Urban Service Area 2035: Yes

**Future Land Use Designations:**

Regional Commercial (RC) – (No changes are proposed to the Future Land Use Map)

The most intense commercial areas that have service boundaries that extend beyond the City limits of Davenport. Areas designated RC should be located at the intersections of major streets and have good access to interstate and other highways. Typical uses include big box retail and large office complexes; although some residential, service and institutional uses may also be located within RC. Most people will drive or take transit to areas designated RC. However, good

pedestrian systems should serve these areas and focus on connectivity from the street, through parking lots and between individual uses with connectivity to nearby neighborhoods being less important.

### **Zoning:**

Existing: C-3 General Commercial District: Intended to accommodate higher-intensity commercial development within the City of Davenport that serves both local and regional markets. The C-3 District addresses medium- and large-scale development that may generate considerable traffic and typically requires significant off-street parking. Higher density residential uses are also allowed to facilitate a mixed-use orientation where appropriate.

Proposed: C-C City Centre District: Intended to position the central part of the city for revitalization oriented toward a regional mix of commercial, high-density residential, and entertainment that encourages compatible development and redevelopment while promoting local reinvestment.

### **Public Input:**

Property owners within 200 feet of the property have been notified and signs have been placed on the property. Staff has been in contact with impacted property owners regarding the proposed zoning changes and its impacts for redevelopment. The Notice of the September 14, 2021 Public Hearing was published in the Quad City Times. One person spoke at the meeting regarding potential roadway connections from the abutting neighborhood into Northpark Mall as well as impacts to property values.

To date, staff has received one letter and one email stating concerns related to connecting residential streets to the mall and preserving the existing greenspace buffer.

### **Approval Standards for Map Amendments (Chapter 17.14.040)**

The Plan and Zoning Commission recommendation and the City Council decision on any zoning text or map amendment is a matter of legislative discretion that is not controlled by any particular standard. However, in making their recommendation and decision, the Plan and Zoning Commission and the City Council must consider the following standards. The approval of amendments is based on a balancing of these standards.

1. The consistency of the proposed amendment with the Comprehensive Plan and any adopted land use policies.
2. The compatibility with the zoning of nearby property.
3. The compatibility with established neighborhood character.
4. The extent to which the proposed amendment promotes the public health, safety, and welfare of the City.
5. The suitability of the property for the purposes for which it is presently zoned, i.e. the feasibility of developing the property in question for one or more of the uses permitted under the existing zoning classification.
6. The extent to which the proposed amendment creates nonconformities.

Staff Response: The proposed rezoning meets the approval standards for a map amendment.

### **ATTACHMENTS:**

Type	Description
▣ Exhibit	Zoning and Future Land Use

- ▣ Exhibit
- ▣ Exhibit
- ▣ Exhibit
- ▣ Exhibit
- ▣ Backup Material

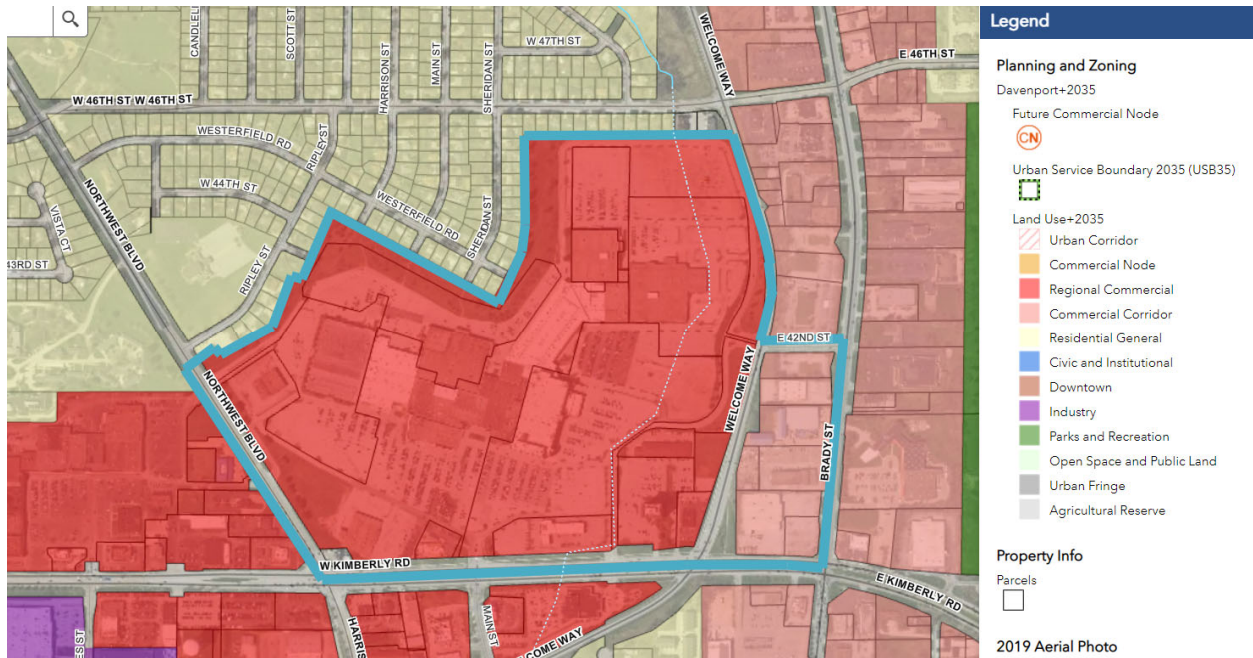
Exhibit 1. Buffer Yard  
 Proposed Use Matrix Changes  
 Notice Letter  
 Public Hearing Notice  
 Public Comment

## Staff Workflow Reviewers

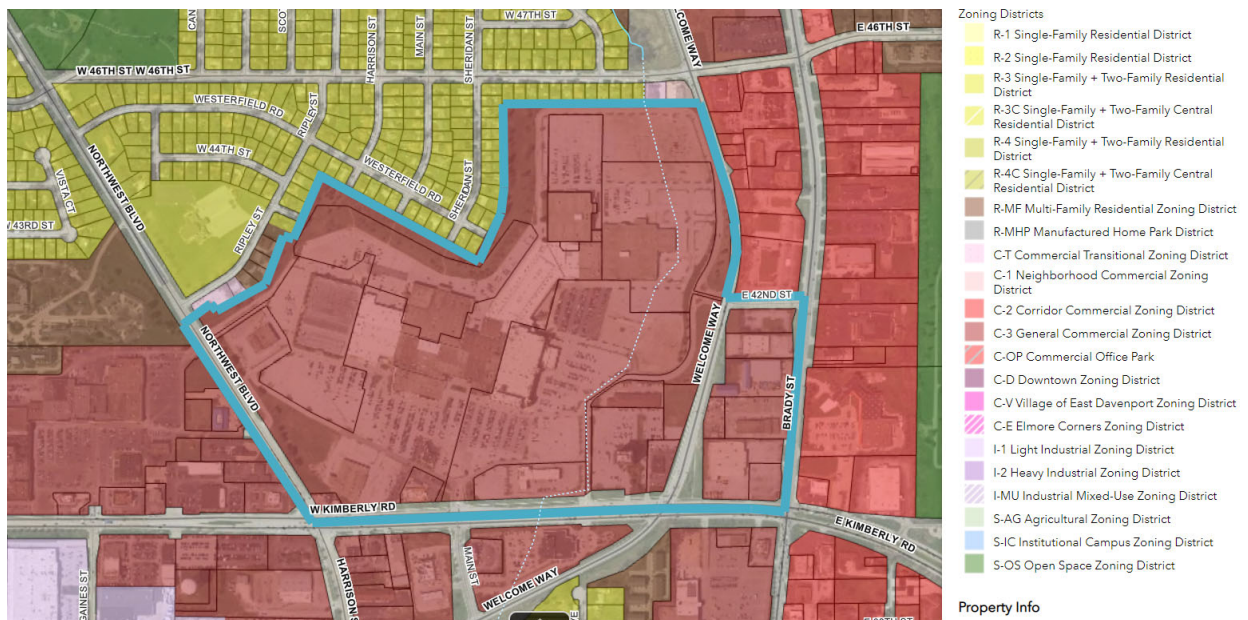
### REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Berkley, Laura	Approved	10/1/2021 - 4:59 PM

## Davenport 2035+ Future Land Use: Regional Commercial and Commercial Corridor

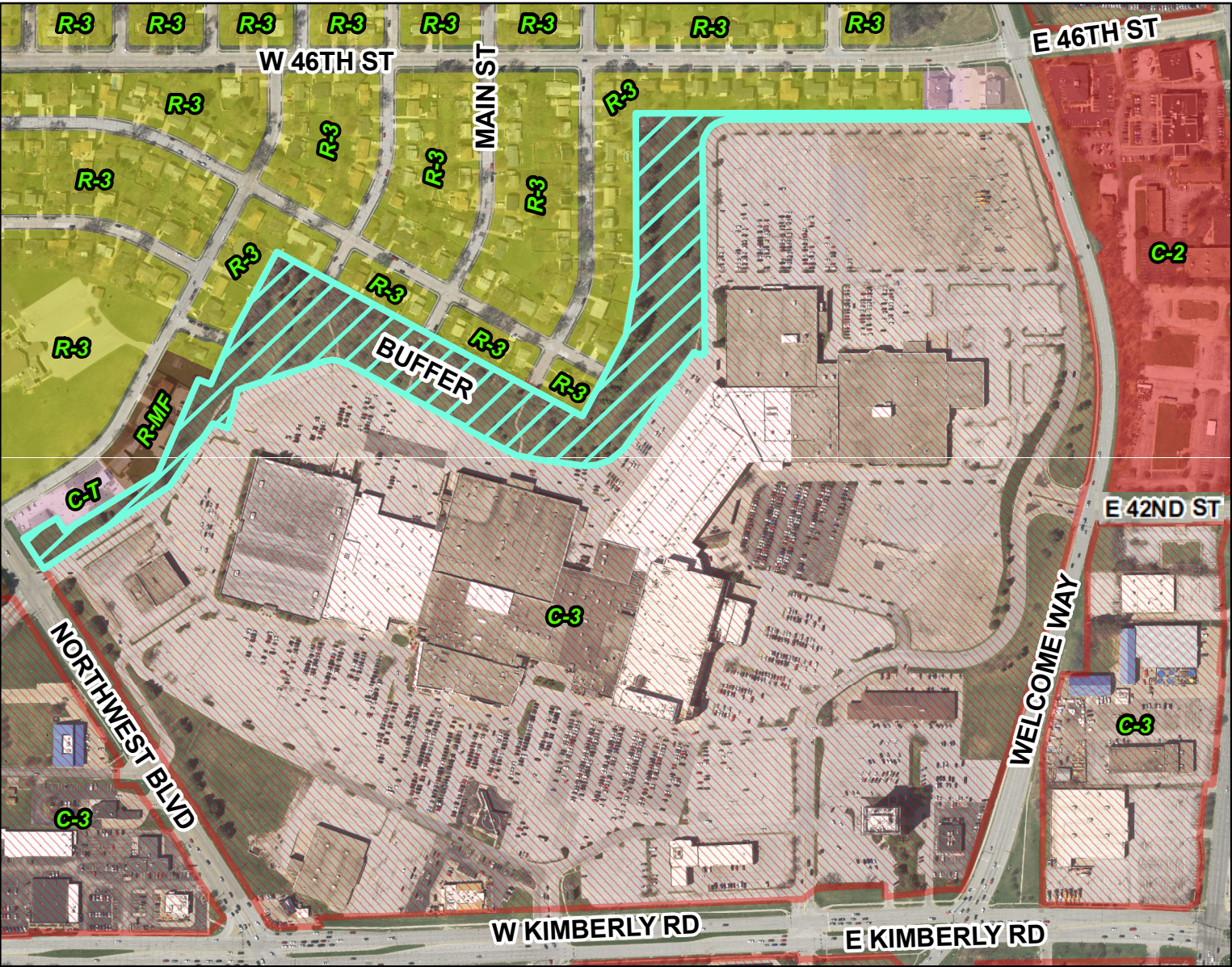


## Zoning Map: C-3 General Commercial District





# Original Rezoning Buffer Yard (to remain)      Exhibit 1.



 Original Mall Rezoning Buffer Yard

0 150 300 600 900 1,200 Feet



TABLE 17.08-1: USE MATRIX																								
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Adult Use																S	S					Sec. 17.08.030.A		
Agriculture																			P					
Amusement Facility - Indoor									P	P	P		P	P	P	P		P						
Amusement Facility - Outdoor										S	S				S	P		S						
Animal Care Facility – Large Animal																			P					
Animal Care Facility – Small Animal							S	S	P	P	P		S	S	P	P		P	P			Sec. 17.08.030.B		
Animal Breeder																			P			Sec. 17.08.030.B		
Art Gallery							P	P	P	P	P		P	P	P			P						
Arts and Fitness Studio							P	P	P	P	P		P	P	P			P						
Bar									P	P	P		P	P	P			P						
Bar – Neighborhood								P														Sec. 17.08.030.C		
Bed and Breakfast	PS	PS	S	S	S														P			Sec. 17.08.030.D		
Billboard									P	P	P					P	P					Sec. 17.08.030.E		
Body Modification Establishment								P	P	P	P		P		P			P						
Broadcasting Facility TV/Radio								P	P	P	P	P	P	P	P	P	P	P			P			
Campground																			S	P		Sec. 17.08.030.F		
Car Wash									P	P	P				S			P				Sec. 17.08.030.G		
Casino															P									
Cemetery																				P				
Children's Home					P				P	P	P				P			S			P	Sec. 17.08.030.H		
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Community Center	P	P	P	P	P		P	P	P	P	P		P	P	P			P	P	P	P			
Community Garden	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P	Sec. 17.08.030.I		
Conservation Area																			P	P				
Country Club																				P				
Cultural Facility							P	P	P	P	P		P	P	P			P		P	P			
Day Care Center					P		P	P	P	P	P	P	P	P	P	S		P			P	Sec. 17.08.030.J		
Day Care Home	P	P	P	P	P														P			Sec. 17.08.030.K		
Drive-Through Facility									P	P	S		S		P	P	P					Sec. 17.08.030.K		
Drug/Alcohol Treatment Facility, Residential									S	S					S			S			S	Sec. 17.08.030.L		
Drug Treatment Clinic									S	S					S			S			S	Sec. 17.08.030.L		
Domestic Violence Shelter					P			P	P	P					P			P			P	Sec. 17.08.030.H		
Dwelling – Accessory Dwelling Unit	P	P	P	P																		Sec. 17.08.030.M		



TABLE 17.08-1: USE MATRIX																								
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Dwelling – Manufactured Home						P													S			Sec. 17.08.030.N		
Dwelling - Multi-Family					P		P	P	P	P	S		P	P	P			P				Sec. 17.08.030.O		
Dwelling - Townhouse					P		P	P	P	P	S		P	P	P			P				Sec. 17.08.030.P		
Dwelling - Single-Family	P	P	P	P			P	P	P					P								Sec. 17.08.030.P		
Dwelling - Single-Family Semi-Detached		P	P	P	P		P	P	P		S			P								Sec. 17.08.030.P		
Dwelling - Two-Family (New Construction)			P	P	P		P	P	P		S			P								Sec. 17.08.030.P		
Dwelling - Two-Family (Conversion)					P		P	P	P					P								Sec. 17.08.030.P		
Educational Facility - Primary or Secondary	P	P	P	P	P																P			
Educational Facility - University or College										P	P	P	P		P						P			
Educational Facility - Vocational							S	S	S	P	P	P	P	S	P	P	P	P			P			
Equine, Keeping of/Equestrian Facility	P																		P			Sec. 17.08.030.Q		
Fairground																			S	S	P			
Financial Institution							P	P	P	P	P	P	P	P	P			P						
Financial Institution, Alternative									S	S					S			P				Sec. 17.08.030.R		
Food Bank																P	P	P						
Food Pantry									P	S					S			S						
Funeral Home							S	S	S	P					P			P						
Gas Station								S	P	P	S				P	P	P	P				Sec. 17.08.030.S		
Golf Course/Driving Range																				P				
Government Office/Facility							P	P	P	P	P	P	P	P	P	P	P	P		P	P			
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD		
Greenhouse/Nursery - Retail										P					P			P	S					
Group Home	P	P	P	P	P																	Sec. 17.08.030.T		
Halfway House									S	S					S			S			S	Sec. 17.08.030.L		
Healthcare Institution																					P			
Heavy Rental and Service																P		P						
Heavy Retail										S					S	P		P						
Homeless Shelter									S	S					S			S			S	Sec. 17.08.030.L		
Hotel									P	P	P	P	P	S	P			P						
Industrial - General																	P							
Industrial - Light												P				P	P	P						
Industrial Design								P	P	P		P	P		P	P	P	P						

TABLE 17.08-1: USE MATRIX																							
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Live Performance Venue										P	P		P	P	P	P		P					
Lodge/Meeting Hall	S	S	S	S	S		P	P	P	P	P	P	P	P	P	P	P	P	P			Sec. 17.08.030.U	
Manufactured Home Park						P																	
Medical/Dental Office							P	P	P	P	P	P	P	P	P			P			P		
Micro-Brewery/Distillery/Winery									P	P	P		P	P	P	P		P					
Neighborhood Commercial Establishment		S	S	S	S																	Sec. 17.08.030.V	
Office							P	P	P	P	P	P	P	P	P	P	P	P			P		
Outdoor Dining							P	P	P	P	P	P	P	P	P	P	P	P			P	Sec. 17.08.030.W	
Parking Lot (Principal Use)								S	S	S	S	S	S	S	S	P	S				P	Chapter 17.10	
Parking Structure (Principal Use)								S	S	P	P	P	S	S	P			P			P	Chapter 17.10	
Personal Service Establishment							P	P	P	P	P	P	P	P	P	P		P			P		
Place of Worship	P	P	P	P	P		S	S	P	P	P		P	P	P	P			P		P		
Private Recreation Facility								P	P	P	P	P	P	P	P	P		P			P		
Public Park	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P			P	P	P	P		
Public Safety Facility					P		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P		
Public Works Facility												P				P	P	P	P		P		
Reception Facility	S	S	S	S				S	S	P	P		S	S	P			P	S			Sec. 17.08.030.X	
Recreational Vehicle (RV) Park																			S	S		Sec. 17.08.030.F	
Research and Development												P				P	P	P			P		
Residential Care Facility					P		P	SP	P	P	P	P	P		P	P		P			P	Sec. 17.08.030.Y	
Restaurant								P	P	P	P	P	P	P	P	P	P	P		P	P		
Retail Goods Establishment							P	P	P	P	P	P	P	P	P	P	P	P			P		
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Retail Alcohol Sales									P	P	S		S		P	P							
Retail Sales of Fireworks																P	P					Sec. 17.08.030.Z	
Salvage Yard																	S						
Self-Storage Facility: Enclosed									S	PS		P			P	P	P	P				Sec. 17.08.030.AA	
Self-Storage Facility: Outdoor										S						P	P	S				Sec. 17.08.030.AA	
Social Service Center									P	P					P			P			P		
Solar Farm												P				P	P		S		P	Sec. 17.08.030.BB	
Specialty Food Service								P	P	P	P		P	P	P	P		P					
Storage Yard - Outdoor																P	P					Sec. 17.08.030.CC	
Truck Stop																P	P						

TABLE 17.08-1: USE MATRIX																							
PRINCIPAL USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Vehicle Dealership – Enclosed										P		S	P		P	S		P					
Vehicle Dealership – With Outdoor Storage/Display										S					S	S		P					
Vehicle Operation Facility																P	P				P		
Vehicle Rental – Enclosed										P		S	P		P	S		P					
Vehicle Rental – With Outdoor Storage/Display										S					S	S		P					
Vehicle Repair/Service– Major										S						P	P	P				Sec. 17.08.030.EE	
Vehicle Repair/Service – Minor									P	P					P	P	P	P				Sec. 17.08.030.EE	
Warehouse																P	P						
Wholesale Establishment																P	P	S					
Wind Energy System												S				S	S		S		S	Sec. 17.08.030.EE	
Wine Bar								S	P	P	P		P	P	P			P					
Winery																			S				
Wireless Telecommunications	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	Sec. 17.08.030.FF	
Wireless Telecommunications – Stealth Design Antenna	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 17.08.030.FF	
Wireless Telecommunications – DAS Co-Location	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 17.08.030.FF	
Wireless Telecommunications – DAS New Pole	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	S	Sec. 17.08.030.FF	
TEMPORARY USE	R-1	R-2	R-3	R-4	R-MF	R-MHP	C-T	C-1	C-2	C-3	C-C	C-OP	C-D	C-V	C-E	I-1	I-2	I-MU	S-AG	S-OS	S-IC	USE STANDARD	
Farmers' Market					T		T	T	T	T	T	T	T	T	T			T	T	T	T	Sec. 17.08.040.A	
Real Estate Project Sales Office/Model Unit	T	T	T	T	T		T	T	T	T	T	T	T	T	T	T	T	T			T	Sec. 17.08.040.B	
Temporary Cell On Wheels (COW)	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Sec. 17.08.040.C	
Temporary Contractor Office and Contractor Yard	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Sec. 17.08.040.D	
Temporary Outdoor Entertainment	T	T	T	T	T		T	T	T	T	T	T	T	T	T	T		T	T	T	T	Sec. 17.08.040.E	
Temporary Outdoor Sales (No Fireworks Stand)	T	T	T	T	T		T	T	T	T	T	T	T	T	T	T		T	T		T	Sec. 17.08.040.F	
Temporary Outdoor Sales - Fireworks Stand Only																T	T					Sec. 17.08.040.G	
Temporary Outdoor Storage Container	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	T	Sec. 17.08.040.H	



## Public Hearing Notice | Plan & Zoning Commission

**Date:** 9/14/2021      **Location:** Council Chambers | City Hall | 226 W. 4th ST.  
**Time:** 5:00:00 PM      **Subject:** Public Hearing for rezoning request before the Plan & Zoning Commission

[ ADDRESS BLOCK LOCATION ]

To: All property owners within 200 feet of the subject property located at **Select lots near Northpark Mall.**

### What is this About?

This notice is being sent to inform you that a public hearing will be held for a rezoning request. The purpose of the rezoning request is to change the property's allowed uses by changing the zoning classification.

#### Request/Case Description

**Case REZ20-06: Request of the City of Davenport to rezone 143 acres, more or less, of property located near 320 W. Kimberly RD generally being bounded by Northwest BLVD, Kimberly RD, Brady St, E. 42nd St, Welcome Way and by the north lot line of Northpark Mall changing the zoning from C-3 General Commercial to C-C City Centre District to facilitate revitalization oriented toward regional mixed-use and tourism for the central part of the city [Ward 7].**

### What are the Next Steps after the Public Hearing?

This public hearing is the first step in the review/approval process. The Commission's recommendation from this public hearing will be forwarded to the City Council which will then hold its own public hearing. You will receive a notice of the City Council's public hearing as you received this notice. For the specific dates and times of subsequent meetings, please contact the case planner below.

### Would You Like to Submit an Official Comment?

As a neighboring property owner/occupant you may have an interest in commenting on the proposed request via email or in person at the public hearing. Official comments must have written signatures sent to [planning@davenportiowa.com](mailto:planning@davenportiowa.com) (no later than 12:00 PM *one day before* the public hearing) or to: Planning, 1200 E 46<sup>th</sup> St, Davenport IA 52807.

### Do You Have Any Questions?

If you have any questions you may visit [www.davenportiowa.com/zchange](http://www.davenportiowa.com/zchange) for more details or contact the planner below. If special accommodations are needed for any reason, please contact the planner assigned to this project (Laura Berkley) at [Laura.Berkley@davenportiowa.com](mailto:Laura.Berkley@davenportiowa.com) or 563-888-3553. Interpretive services are available at no charge. Servicios interpretativos libres estan disponibles. TTY: (563) 326-6145

Please note items may be removed or tabled to a future hearing date at the request of the Applicant or Commission/Board. Those interested verifying case actions and/or tablings, please contact Planning at 563-326-6198 or [planning@davenportiowa.com](mailto:planning@davenportiowa.com) for updates.

# Plan & Zoning Commission Adjacent Property Owner Notice Area Map

Area subject to the zoning map change is bounded by the blue outline below;  
adjacent properties within 200 feet of the proposed map amendment are shown in yellow.





9/8/21

Public Notices/Accounting

Re: Public Notice

Please publish the following Zoning Board of Adjustment public hearing notice in your next available edition of the Quad City Times per your schedule for Public Notices.

The Purchase Order Number for this notice is PO# 2202002

We would appreciate receiving the proof and the affidavit of publication for our records. If you have any questions, please contact me at the same email address this was sent with or at my phone number listed in my email.

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**NOTICE  
PUBLIC HEARING  
TUESDAY, SEPTEMBER 14, 2021, 2021 5:00 P.M.  
PLAN & ZONING COMMISSION  
COUNCIL CHAMBERS - DAVENPORT CITY HALL  
226 WEST 4th STREET – DAVENPORT, IOWA**

There is on file in the Development and Neighborhood Services Department (DNSD), on behalf of the Plan and Zoning Commission, the following request:

**Case ORD21-02: Request of the City of Davenport to amend Title 17 of the Davenport City Code (hereto referred to as DMC), entitled “Zoning” amending the following sections [All wards]:**

17.05 to include a new zoning district entitled “City Centre” including the Purpose Statement, Dimensional Standards and Design Standards. Altering the C-1 minimum front setback to also allow for new construction to be setback in line with existing buildings.

17.08 to include allowed uses in the new zoning district “City Centre” and change Bed & breakfast to a Special Use in R-1 and R-2; add Day Care Center as a Special Use in I-1; Add Food Bank as a permitted use in I-2; Add Parking Lot (Principal Structure) as a Special Use in I-2; change Residential Care Facility to a permitted use in C-1; change Self-Storage Facility: Enclosed to a Special Use in C-3 and remove from C-OP; remove Self-Storage Facility: Outdoor as a Special Use in C-3. Change the fence height in the Principal Use



Standard for Animal Care Facility to allow fences up to 8 feet in height. Add to the Principal Use Standard for Car Wash to include distancing exterior vacuum stations from residential districts and not routing exiting traffic into adjacent neighborhoods. Add design standards for ancillary structures in the Principal Use Standard for Dwelling-Multi-Family. Add professional firework displays to the definition of Temporary Outdoor Entertainment. Change language in Temporary Use Standards to reinforce that all municipal code regulations and processes apply.

17.09 to increase the height of cut-off luminaires to 40 feet in industrial districts and 35 feet in commercial districts.

17.15 to remove the word resurfacing for types of parking lot reconstruction.

**Case REZ20-04: Request of the City of Davenport to rezone 143 acres, more or less, of property located near 320 W. Kimberly RD generally being bounded by Northwest BLVD, Kimberly RD, Brady St, E. 42nd St, Welcome way and by the north lot line of Northpark Mall, changing the zoning from C-3 General Commercial to C-C City Centre District to facilitate revitalization oriented toward regional mixed-use and tourism for the central part of the city. [Ward 7]**

The public hearing on the above matters are scheduled for 5:00 p.m. on September 14, 2021, in City Hall Council Chambers, 226 West 4<sup>th</sup> Street, Davenport, Iowa. More detailed information may be found on the City's website: [www.davenportiowa.com/zchange](http://www.davenportiowa.com/zchange). You may submit written comments on the above item or attend the public hearing to express your views, or both; only written comments will be used to calculate comment percentages. Interpretive services are available at no charge. Servicios interpretativos libres estan disponibles. TTY: (563) 326-6145.

Any written comments to be reported at the public hearing should be received in the Development & Neighborhood Services Department at the Public Works Building, 1200 E. 46<sup>th</sup> Street, Davenport, Iowa 52807, no later than 12:00 noon on the day of the public hearing. PO No. 2202002

Department of Development & Neighborhood Services  
E-MAIL: [planning@davenportiowa.com](mailto:planning@davenportiowa.com) PHONE: 563-326-6198

## **Berkley, Laura**

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**From:** pranjana@mchsi.com  
**Sent:** Tuesday, September 14, 2021 12:05 PM  
**To:** Planning  
**Cc:** PRanjana@mchsi.com  
**Subject:** [EXT] Case REZ20-06/Public Hearing Notice/ Plan & Zoning Commission  
**Attachments:** PHNPZC.pdf; PHNPZC-2.pdf

Dear Sir,

Good Morning.

This is an Official Comments with reference I have received above attached letter regarding a proposed zoning "Case REZ20-6" for Northpark Mall.

We understand the reason for the proposed changes for Northpark Mall.

However, we have serious concern for these changes. We feel that this will affect our life as follows:

- (1) Our safety will be effected. Currently our area is calm & quiet even when there is a minimum supervision by Police Officer.
- (2) As it is Crime in Davenport is up. However that has been low or none in our area. Proposed Changes may result crimes.
- (3) There is a possibility to make through streets through area. This will result in lots of traffic, which would result noise, pollution as well as accidents.
- (4) The Proposed changes most probably reduce the cost of our house value.
- (5) The boundary of proposed changes is too adjacent to our house. This will effect our privacy.
- (6) Last but not least, would our taxes will go up because of this proposal?

Therefore we do not agree to this proposal.

Thanks,  
Prakash

Prakash G. Devasthali  
130 Westerfield Rd.  
Davenport, Iowa 52806  
(563)326-0920

Sept 12, 2021

Regarding Case #EZ-20-06:

I am a resident and property owner located well within 200 ft. of the Northpark Mall area.

I ask that the green space areas buffering the residents' properties currently, be retained with any future development of Northpark area.

And I do hope the dead trees will be removed.

Sandra Holdt  
4537 Shokidan St.