

COMMITTEE OF THE WHOLE

City of Davenport, Iowa

Wednesday, April 18, 2018; 5:30 PM

City Hall, 226 W. 4th Street, Council Chambers

***REVISED April 16, 2018 ***

I. Moment of Silence

II. Pledge of Allegiance

III. Roll Call

IV. Meeting Protocol and Decorum

V. City Administrator Update

VI. Public Hearings

A. Community Development

1. Public hearing for the Ordinance for Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [All Wards]
2. Public Hearing for Case No. ORD18-01: Amending Title 17.41 of the Davenport Municipal Code, entitled, "Zoning, HCOD Highway Corridor Overlay District and ECOD Elmore Corners Overlay District", by creating an Elmore Corners Overlay District and Design Standards [Ward 6]

B. Public Works

1. Public hearing on the plans, specifications, form of contract and estimate of cost covering the Main Street Landing, Phase I Construction Project. [Ward 3]
2. Public hearing on the FY19 Iowa Department of Transportation State Transit Assistance (STA) Grant application the amount of \$430,350. [All Wards]
3. Public hearing on the plans, specifications, form of contract and estimate of cost for the Davenport Parks Restrooms Project, CIP #30010. [Wards 6 & 7]
4. Public hearing on the plans, specifications, form of contract and estimate of cost for the installation of traffic signals at the intersection of Utica Ridge Road and Veterans Memorial Parkway/Forest Grove Drive. [Ward 6]

VII. Presentations

A. Citizens Advisory Committee - Grievance Subcommittee Appointments

Joseph Obleton
Joe Heinrichs
Elizabeth Hodges
Jim Hoepner
Regen Johnson

VIII. Petitions and Communications from Council Members and the Mayor

IX. Action items for Discussion

COMMUNITY DEVELOPMENT

Kyle Gripp, Chairman; Rich Clewell, Vice Chairman

I. COMMUNITY DEVELOPMENT

1. Third Consideration: Ordinance for Case No. REZ18-01 being the request of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 3 of Ryde High 2nd Addition located on the south side of East 46th Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]
2. First Consideration: Ordinance for Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]
3. First Consideration: Ordinance for Case No. ORD18-01: Amending Title 17.41 of the Davenport Municipal Code, entitled, "Zoning, HCOD Highway Corridor Overlay District and ECOD Elmore Corners Overlay District", by creating an Elmore Corners Overlay District and Design Standards [Ward 6]
4. Resolution authorizing the conveyance of vacated public right of way, that being part of East 10th Street lying north of the sidewalk at 1002 Bridge Avenue, Juan Goitia, Petitioner [Ward 5].
5. Resolution adopting the Elmore Corners Plan as an element of the Davenport Comprehensive Plan [Ward 6]
6. Resolution approving a 90-day extension of the moratorium on changes in business licenses in the Rockingham Road Corridor between Division and S. Concord Streets where the new license represents a substantial change from the previous use (City of Davenport, Petitioner). [Wards 1 & 3]
7. Resolution for Case No. F18-02 being the final plat of Bett's Corporation 2nd Addition on 7.94 acres, more or less, located abutting to the east of 741 West 53rd Street and between 53rd Street and Colony Drive containing three (3) lots. The property is zoned "R-1" Low Density Dwelling District. [Ward 7]

II. Motion recommending discussion or consent for Community Development items

PUBLIC SAFETY

Rita Rawson, Chairman; JJ Condon, Vice Chairman

III. PUBLIC SAFETY

1. First Consideration: Ordinance amending Schedule XIV of Chapter 10.96 entitled "Intersection Traffic Signals" by adding Elmore Avenue at the Walmart entrance. [Ward 6]
2. Resolution closing various street(s), lane(s) or public grounds on the listed date(s) to hold outdoor event(s).

QC Pride, 2018 Quad Cities Unity Pride Cart Races, June 6, 2018; 6:00 PM - 9:00 PM, Closure Location: Third Street between Brady and Harrison [Ward 3]

QC Pride, 2018 Quad Cities Pride Parade, June 9, 2018; 9:00 AM - 3:00 PM; Closure Location: Staging area 9:00 AM - 3:00 PM, 2nd Street between Iowa and Perry and Pershing between 3rd and River Drive; Parade Route. 11:30 AM to 2:00 PM, 2nd Street from Perry to entrance to Centennial Bridge (*pending approval from IDOT for Centennial Bridge closure approval*) [Ward 3]

3. Motion approving noise variance request(s) for various events on the listed dates and times.

Quad City River Bandits, Modern Woodman Stadium; 2018 Baseball Season April - September; Outdoor music and announcements, Over 50 dBa [Ward 3]

4. Motion approving the petition for an alley light behind 2219 W. Pleasant Street. [Ward 4]
5. Motion approving beer and liquor license applications.

A. New license, new owner, temporary outdoor area, location transfer, etc. (as noted):

Ward 1

West End Promotions, LLC (West End Promotions, LLC) - 2200 W River Dr. Credit Island Park - Outdoor Area May 4 - 5, 2018 "Rev It Up For Awareness" - License Type: C Liquor

Ward 5

Rudy's Taco's (LaRosa S.A. Inc.) - 2214 E 11th St. - Outdoor Area May 6 - 7, 2018 "Cinco De Mayo Event" & May 28 - 29, 2018 "Criterium Event" - License Type: C Liquor

Ward 7

Azteca Mexican Restaurant (Azteca Mexican Restaurant, Inc.) - 4811 N Brady St., Suite 3 - Outdoor Area May 5 - 6, 2018 "Cinco De Mayo Event" - License Type: C Liquor

Ganzo's (Ganzo's, LTD.) - 3923 N Marquette St. - Outdoor Area May 4 - 6, 2018
"Cinco De Mayo Event" - License Type: C Liquor

Habaneros Buffet and Cantina (Moran Business Enterprises LLC) - Parking Lot of
1510 E Kimberly Rd. - Outdoor Area May 5 - 7, 2018 "Cinco De Mayo Event" -
License Type: Beer / Wine

B. Annual license renewals (with outdoor area renewals as noted):

Ward 1

Dominga's (Dominga's Authentic Mexican Food, Inc.) – 1525 S Concord St. –
License Type: B Beer

Roadrunners Roadhouse (J. W.'s First and Last Lap, Inc.) – 3803 Rockingham Rd. –
Outdoor Area – License Type: C Liquor

Ward 2

Applebee's Neighborhood Grill & Bar (Apple Corps, L.P.) – 3005 W Kimberly Rd. –
License Type: C Liquor

Hy-Vee Food & Drugstore #2 (Hy-Vee, Inc.) – 2200 W Kimberly Rd. – License Type:
E Liquor

Hy-Vee Market Café (Hy-Vee, Inc.) – 2200 W Kimberly Rd. Café Area – License
Type: C Liquor

Rina Mart LLC (Rina Mart LLC) – 3815 W Kimberly Rd. – License Type: E Liquor

Ward 3

Antonella's Trattoria Ristorante (Antonella Trattoria Ristorante) – 112 W 3rd St. –
License Type: Beer / Wine

Blackhawk Bowl & Martini Lounge (Blackhawk Bowl & Martini Lounge LLC) – 200 E
3rd St. Lower Level – License Type: C Liquor

Rudy's Taco's (Majec Inc.) – 326 Cedar St. – License Type: B Beer

Sippi's Restaurant (Sippi's Inc.) – 406 W 2nd St. – Outdoor Area – License Type: C
Liquor

Woodfire Grill (Redstone Woodfire Grill, LLC) – 131 W 2nd St., Ste. 105 – License
Type: C Liquor

Ward 4

Famous Liquor (Jay Liquor Inc.) – 2604 W Locust St. – License Type: E Liquor

Ward 5

Harris Pizza (Mister Pizza, Inc.) – 524 E Locust St. – License Type: B Beer

Rudy's Tacos (LaRosa S.A. Inc.) – 2214 E 11th St. – Outdoor Area – License Type: C Liquor

Ward 6

Big River Bowling (Kimberly Entertainment LLC) – 2902 E Kimberly Rd. – License Type: C Liquor

Lindsay Park Yacht Club (Lindsay Park Yacht Club, Inc.) – 2101 E River Dr. – Outdoor Area – License Type: A Liquor

Pints (Pub @ Utica, LLC) – 5268 Utica Ridge Rd. – Outdoor Area – License Type: C Liquor

Ward 7

American Legion Post 26 (The American Legion Post #26 Inc.) – 702 W 35th St. – License Type: C Liquor

Azteca 4 (Azteca 4, Inc.) – 3566 Brady St. – License Type: C Liquor

Azteca Mexican Restaurant (Azteca Mexican Restaurant, Inc.) – 4811 N Brady St., Ste. 3 – License Type: C Liquor

Los Portales Mexican Restaurant 2, Inc. (Los Portales Mexican Restaurant 2, Inc.) – 1012 E Kimberly Rd. – License Type: C Liquor

Mo Brady's (DRC Ventures, Inc.) – 4830 N Brady St. – License Type: C Liquor

Sanchos (Lorbil Enterprises Inc.) – 307 E George Washington Blvd. – License Type: C Liquor

Ward 8

Hawkeye Tap Sports Bar & Grill (Hawkeye Sports Bar & Grill, LLC) – 4646 Cheyenne Ave. – Outdoor Area – License Type: C Liquor

IV. Motion recommending discussion or consent for Public Safety items

PUBLIC WORKS

Ray Ambrose, Chairman; Rick Dunn, Vice Chairman

V. PUBLIC WORKS

1. Resolution approving the plans, specifications, form of contract and estimate of cost for the Davenport Parks Restrooms Project, CIP #30010, estimated at \$186,500. [Wards 6 & 7]
2. Resolution approving the plans, specifications, form of contract and estimate of cost covering the Main Street Landing, Phase I Construction Project, estimated at \$484,564.00, CIP #68004.[Ward 3]

3. Preliminary resolution for the FY2019 Alley Resurfacing Program. [Ward 3]
4. Resolution approving the FY19 Iowa Department of Transportation State Transit Assistance (STA) Grant application the amount of \$430,350. [All Wards]
5. Resolution approving the contract for Micro-Surfacing and Cape Sealing to Missouri Petroleum Products Company LLC, of St Louis MO in the amount of \$490,200.54 budgeted in CIP #35026. [Wards 2, 3, 4, 5 & 7]
6. Resolution approving the plans, specifications and form of contract for the installation of traffic signals at the intersection of Utica Ridge Road at Veterans Memorial Parkway/Forest Grove Drive. [Ward 6]
7. Resolution assessing the cost of condemned property demolitions at various lots and tracts of real estate. [All Wards]
8. Resolution assessing the cost of snow removal from sidewalks at various lots and tracts of real estate. [All Wards]
9. Resolution assessing the cost of boarding up building at various lots and tracts of real estate. [All Wards]
10. Resolution assessing the cost of brush and debris removal at various lots and tracts of real estate. [All Wards]
11. Motion determining property values covering the 2019 Alley Resurfacing Program, CIP #33032. [Ward 3]
12. Motion approving the Special Event Agreement between the Davenport Municipal Airport and Aerial Promotions, Inc. (Quad City Airshow). Subject to FAA approval. [Ward 8]
13. Motion approving the contract for the Sewer Separation – Infiltration Removal Design and Preparation of Bid Documents to Veenstra & Kimm in the amount not-to exceed \$75,000; CIP #30016. [All Wards]
14. Motion approving change order #5 in the amount of \$56,120.00 to the Sanitary Sewer Equalization Basin–Supplemental Agreement number 2R contract with Veenstra and Kimm, CIP#10564. This change order is required to continue on-site hourly construction inspection, engineering during construction and documentation for the work at the Water Pollution Control Plant Optimization Project. [All Wards]
15. Motion awarding the contract for the East Side of 200 Block of Brady Street Streetscaping to Emery Construction Group Inc of Moline, IL in the amount of \$56,042. CIP #35022 [Ward 3]
16. Motion approving city authorization to assess property owners receiving streetscaping improvements via the 200 Block of Brady St. (East Side) Streetscaping Project, CIP #35022. [Ward 3]

VI. Motion recommending discussion or consent for Public Works items

FINANCE

Kerri Tompkins, Chairman; Marion Meginnis, Vice Chairman

VII. FINANCE

1. Resolution setting a public hearing for amending the FY 2018 Operating and Capital Improvement Budgets. [All Wards]
2. Resolution authorizing early redemption of certain maturities of General Obligation Bonds, Series 2010A, Series 2010B, and Series 2010C. [All Wards]
3. Resolution directing the City Administrator to submit payment to Quad Cities First in the amount of \$122,000 for the provision of regional economic development services for the 2018 fiscal year. [All Wards]
4. Resolution adopting established mobile food unit zone locations, hours of operations, and associated fees. [All Wards]
5. Resolution awarding a contract to rehabilitate four CitiBus buses to Midwest Bus Corporation of Owosso, MI at the not-to-exceed amount of \$560,000.00. [All Wards]
6. Motion approving the collective bargaining agreement for Teamsters Local Union #238 [All Wards]
7. Motion amending the 2016 lease agreement which was an amendment to the 2007 lease agreement with Davenport Family Homes dba Family Resources at the Annie Wittenmyer Complex. [Ward 5]

VIII. Motion recommending discussion or consent for Finance items

X. PURCHASES OF \$10,000 TO \$50,000 (For Information Only)

1. Scott County Auditor - 2017 primary election - Amount: \$10,803
2. Scott County Auditor - 2017 general election - Amount: \$42,478
3. CDW Government, Inc. - Adobe Acrobat license upgrade - Amount: \$10,820
4. Keltek, Inc. - Gamber parts for PD (mounts for squad cars) - Amount: \$11,021
5. Insight Public Sector, Inc. - Pure storage network - Amount; \$18,699
6. Moody's Investors Service - 2018 bond rating - Amount: \$32,000

XI. Other Ordinances, Resolutions and Motions

XII. Public with Business

PLEASE NOTE: At this time individuals may address the City Council on any matters of City business. This is not an opportunity to discuss issues with the Council members or get information. In accordance with Open Meetings law, the Council cannot take action on any complaint or suggestions tonight, and cannot respond to any allegations at this time.

Please state your Name and Ward for the record. There is a five (5) minute time limit.
Please end your comments promptly.

XIII. Reports of City Officials

XIV. Adjourn

City of Davenport

Agenda Group: Community Development
Department: Community Planning & Economic Development
Contact Info: Matt Flynn 563.888.2286
matt.flynn@ci.davenport.ia.us
Wards: All

Action / Date
COW4/18/2018

Subject:

Public hearing for the Ordinance for Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [All Wards]

Recommendation:

The Plan and Zoning Commission forwards Case No. ORD18-03 to the City Council with a recommendation for approval.

The Plan and Zoning Commission vote was 4-yes and 2-no.

Relationship to Goals:

Well-Protected Community

Background:

Currently, the Zoning Ordinance does not regulate the sale of fireworks and explosive devices other than to require retail locations be located on property that is zoned "C-1" Neighborhood Shopping District or higher.

The proposed ordinance would allow the sale and storage of fireworks and explosive devices to be located on property zoned "M-1" Light Industrial District subject to such use being located more than one thousand feet from any residential district.

ATTACHMENTS:

Type	Description
▣ Ordinance	Proposed Ordinance
▣ Backup Material	Plan and Zoning Commission Letter to City Council
▣ Backup Material	04-3-2018 Plan and Zoning Commission Vote Results
▣ Backup Material	ORD18-03 - Staff Report to Plan and Zoning Commission
▣ Backup Material	Public Hearing Notice

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Berger, Bruce	Approved	4/12/2018 - 3:33 PM
Community Development Committee	Berger, Bruce	Approved	4/12/2018 - 3:33 PM

City Clerk

Admin, Default

Approved

4/12/2018 - 3:51 PM

ORDINANCE NO. 2018 -

ORDINANCE for Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

NOW, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1. Section 17.36.030.B.6 of the Davenport Municipal Code is hereby amended to read as follows:

6. Unclassified Uses.
 - a. Animal pound for detention only;
 - b. Building materials (cement, lime, sand, gravel, lumber, and the like), storage and sales;
 - c. Carbon paper and inked ribbon manufacture;
 - d. Cigar and cigarette, chewing and smoking tobacco;
 - e. Circus and fair grounds;
 - f. Coal and coke storage and sales;
 - g. Contractor's shop and storage yard;
 - h. Drive-in or outdoor theater;
 - i. Exposition building or center;
 - j. Electric transforming station;
 - k. Feed and grain storage;
 - l. Fur finishing;
 - m. Greenhouses, wholesale;
 - n. Ice manufacture and cold storage;
 - o. Leather goods manufacture, but not including tanning operations;
 - p. Livery stables and riding academies;
 - q. Motion picture production;
 - r. Public utility storage yard;
 - s. Accessory buildings and uses customarily incident to the uses permitted by this chapter;
 - t. Sale and storage of fireworks and explosive devices, subject to such uses being located more than one thousand feet from any residential district.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration _____

Second Consideration _____

Approved _____

Frank Klipsch, Mayor

Attest: _____

Jackie Holecek, CMC
Deputy City Clerk

Published in the *Quad City Times* on _____

April 4, 2018

Honorable Mayor and City Council
City Hall
226 West 4th Street
Davenport, Iowa 52801

At its regular meeting of April 3, 2018, the City Plan and Zoning Commission considered Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

Finding:

1. Due to the nature of the explosive materials, specific land use and separation from residential districts is warranted.

The Plan and Zoning Commission accepted the listing finding and forwards Case ORD18-03 to the City Council with a recommendation for approval.

The Plan and Zoning Commission vote was 4-yes and 2-no.

Respectfully submitted,



Robert Inghram, Chairperson
City Plan and Zoning Commission

		APPROVED	APPROVED	APPROVED	FAILED	APPROVED	APPROVED		
Name:	Roll Call	CP18-01 Elmore Corners Plan	Amend ORD18-01 Amend 17.41 Elmore Corners Overlay District	ORD18-01 Amend 17.41 Elmore Corners Overlay District	Table ORD18-03 Amend 17.36 M-1 Uses	ORD18-03 Amend 17.36 M-1 Uses	F18-02 Bett's Corporation 2nd Add'n		
Connell	EX								
Hepner	P	Y	Y	Y	N	Y	Y		
Inghram	P								
Kelling	P	Y	Y	Y	Y	N	Y		
Lammers	P	Y	Y	Y	Y	N	Y		
Maness	EX								
Martinez	A								
Medd	P	Y	Y	Y	N	Y	Y		
Quinn	A								
Reinartz	P	Y	N	N	N	Y	Y		
Tallman	P	Y	Y	Y	N	Y	Y		
	7	6-YES 0-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	2-YES 4-NO 0-ABSTAIN	4-YES 2-NO 0-ABSTAIN	6-YES 0-NO 0-ABSTAIN		



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: April 3, 2018
Request: Amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]
Location: N/A
Case No.: ORD18-03
Applicant: City of Davenport

Recommendation:

Staff recommends the Plan and Zoning Commission accept the listed finding forward Case ORD18-03 to the City Council with a recommendation for approval.

Introduction:

Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

Public Input:

The public notice for the Plan and Zoning Commission public hearing for the proposed Ordinance was published in the March 14, 2018 edition of the Quad-City Times.

Discussion:

Currently, the Zoning Ordinance does not regulate the sale or storage of fireworks and explosive devices other than to require that they be located on property that is zoned "C-1" Neighborhood Shopping District or higher.

Initially, the City proposed requiring the sale and storage of fireworks and explosive devices to be located on property zoned "M-2" Heavy Industrial District and require the granting of a Special Use Permit for said use by the Zoning Board of Adjustment.

A less restrictive amendment is now being proposed, which would allow the sale and storage of fireworks and explosive devices to be located on property zoned "M-1" Light Industrial District subject to such use being located more than one thousand feet from any residential district.

Section 17.36.030.B.6 the Davenport City Code:

New ordinance language is underlined.

6. Unclassified Uses.

- a. Animal pound for detention only;
- b. Building materials (cement, lime, sand, gravel, lumber, and the like), storage and sales;
- c. Carbon paper and inked ribbon manufacture;
- d. Cigar and cigarette, chewing and smoking tobacco;
- e. Circus and fair grounds;
- f. Coal and coke storage and sales;
- g. Contractor's shop and storage yard;
- h. Drive-in or outdoor theater;
- i. Exposition building or center;
- j. Electric transforming station;
- k. Feed and grain storage;
- l. Fur finishing;
- m. Greenhouses, wholesale;
- n. Ice manufacture and cold storage;
- o. Leather goods manufacture, but not including tanning operations;
- p. Livery stables and riding academies;
- q. Motion picture production;
- r. Public utility storage yard;
- s. Accessory buildings and uses customarily incident to the uses permitted by this chapter.
- t. Sale and storage of fireworks and explosive devices, subject to such uses being located more than one thousand feet from any residential district.

Staff Recommendation

Finding:

1. Due to the nature of the explosive materials, specific land use and separation from residential districts is warranted.

Staff recommends the Plan and Zoning Commission accept the listed finding forward Case ORD18-03 to the City Council with a recommendation for approval.

Prepared by:



Ryan Rusnak, AICP
Planner III

To: Accounting/Public Notices

Re: Public Notice

Please publish the following Committee of the Whole public hearing notice in the April 11, 2018 edition of the Quad City Times.

The PO number for this notice is 1814630.

We would appreciate receiving proof of publication for our records. If you have any questions, please contact me at the same email address this was sent with or at my phone number listed in my email.

NOTICE
PUBLIC HEARING
WEDNESDAY, April 18, 2018 5:30 PM
CITY OF DAVENPORT COMMITTEE OF THE WHOLE
COUNCIL CHAMBERS - DAVENPORT CITY HALL
226 WEST 4th STREET – DAVENPORT, IOWA

There is on file the following petition:

Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

The Plan and Zoning Commission forwards Case ORD18-03 to the City Council with a recommendation for approval.

Public hearing(s) on the above matter(s) are scheduled for 5:30 p.m. or as soon thereafter as possible on Wednesday, April 18, 2018 in the Council Chambers of the Davenport City Hall, 226 West 4th Street, Davenport, Iowa. You may submit written comments on the above item(s) or to attend the public hearing to express your views, or both. Any written comments to be reported at the public hearing should be received in the Department of Community Planning & Economic Development, at the above address, no later than 12:00 noon on the day of the public hearing(s). PO No 1814630.

Department of Community Planning & Economic Development
E-MAIL: planning@ci.davenport.ia.us PHONE: 563-326-7765

City of Davenport

Agenda Group: Community Development
Department: Community Development Committee
Contact Info: Matt Flynn, 888-2286
Wards: 6

Action / Date
COW4/18/2018

Subject:

Public Hearing for Case No. ORD18-01: Amending Title 17.41 of the Davenport Municipal Code, entitled, "Zoning, HCOD Highway Corridor Overlay District and ECOD Elmore Corners Overlay District", by creating an Elmore Corners Overlay District and Design Standards [Ward 6]

Recommendation:

Hold the hearing.

Relationship to Goals:

Fiscal Vitality

Background:

The proposed ordinance represents the implementation tool in achieving the vision of the Elmore Corners Plan. The ordinance creates the new zoning overlay district and establishes specific design standards unique to the overlay district.

Individual developments will be required to obtain administrative approval ensuring high quality design, compatibility and cohesiveness with surrounding development. Inability to reach administrative approval will result in additional review by the Design Review Board, and ultimately, City Council.

The Plan and Zoning Commission's recommendation eliminated property owned and developed by THF Development (Walmart/Dicks Sporting Goods, etc.) The ordinance presented reflects the Plan and Zoning Commission's recommendation.

See attachments for additional information.

ATTACHMENTS:

Type	Description
▣ Ordinance	Proposed Ordinance
▣ Backup Material	P&Z Letter
▣ Backup Material	P&Z Staff Report plus attachments
▣ Backup Material	Map showing THF Property removed from P&Z Recommendation

REVIEWERS:

Department	Reviewer	Action	Date
Community Development Committee	Berger, Bruce	Approved	4/13/2018 - 10:31 AM
Community Planning & Economic Development	Flynn, Matt	Approved	4/12/2018 - 11:28 PM
City Clerk	Admin, Default	Approved	4/13/2018 - 10:35 AM

ORDINANCE NO. 2018 -

An ORDINANCE to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning", by creating Chapter 17.41.060, entitled, "Elmore Corners Overlay District", and establishing said District and Design Standards. (City of Davenport, petitioner; Case No. ORD18-01, 6th Ward)

NOW, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1: Chapter 17.41 of the Davenport Municipal Code is hereby amended to read as follows:

Chapter 17.41 HCOD HIGHWAY CORRIDOR AND ELMORE CORNERS OVERLAY DISTRICT

Sections:

- 17.41.010 Intent.
- 17.41.020 Applicability.
- 17.41.030 Use regulations.
- 17.41.040 Height, yard, lot width and area regulations.
- 17.41.045 Design review.
- 17.41.050 Performance standards.
- 17.41.060 ECOD Elmore Corners Overlay District

17.41.010 Intent.

This district is intended to establish a physically attractive pattern of development on certain major entrance corridors into the city of Davenport, to protect these areas from the negative effects of incompatible development and to protect the traffic carrying of important highways within the city. (Ord. 2011-471 § 6 (part)).

17.41.020 Applicability.

The regulations set forth in this chapter, or set forth elsewhere in this title when referred to in this chapter, are the regulations in the "HCOD" highway corridor overlay district. (Ord. 2011-471 § 6 (part)).

17.41.030 Use regulations.

Permitted uses shall be all uses allowed in the underlying zoning districts. All future rezonings in the "HCOD" highway corridor overlay district other than single-family residential shall be limited to "PUD" planned development district, "PCP" planned commerce park district, and "M-3" planned industrial district, as these districts allow the degree of review and control necessary to achieve the goals of the "HCOD" highway corridor overlay district and allow a complete range of allowable uses for low density residential to retail to industrial.

This chapter shall not apply to single-family detached homes or single-family subdivisions. (Ord. 2011-471 § 6 (part)).

17.41.040 Height, yard, lot width and area regulations.

All requirements of the underlying zoning districts concerning building height, lot area, and yard depths shall remain applicable with the following exceptions:

A. A twenty-five foot landscape buffer shall be required on all major arterial or minor arterial streets. Parking lot circulation may cross the landscape buffer area but parking may not be developed within the required setback. On all other streets a similar ten foot landscape buffer shall be required. In cases where other provisions of the zoning ordinance requires more restrictive standards, the more restrictive standards shall apply.

B. All immediate structures for non-residential uses shall be set back from any immediately contiguous property used for residential development a minimum of twenty-five feet for a one and one-half story building (maximum height fifteen feet) and forty feet for a two story building (maximum height twenty-five feet). Structures shall be set back an additional one foot for each foot of building height over twenty-five feet to a maximum setback of seventy feet from any immediately contiguous residential property line or residential zone. Property separated by public rights-of-way shall not be considered immediately contiguous property.

The zoning board of adjustment may grant variances in cases where the above setback regulations (subsections A and B) unduly impact the developability of any lot subdivided for development prior to the passage of this chapter. The Board may consider the feasibility of complying with the additional setback requirements based upon all of the following:

1. Existing lot size.
2. Compatibility with adjacent development.
3. Locational and topographical factors. (Ord. 2011-471 § 6 (part)).

17.41.045 Design review.

Prior to the issuance of a building permit for the construction of a building, structure, or sign, as defined in Chapter 17.04, the plans shall be administratively reviewed and approved by the planning and economic director or his/her designee, to ensure that the building, structure, or sign complies with the performance standards and guidelines established in, and pursuant to, Section 17.41.050, Performance Standards (HCOD) and Section 17.41.055, Performance Standards (ECOD).

A. Exceptions.

1. Single-family dwellings and accessory structures thereto are not subject to review.
2. The review of public utility structures (except for public utility buildings which are subject to architectural review) shall be limited to requirements for berming and landscaping. Requirements may be extensive and shall include a mix of plant materials having year round effectiveness.
3. Exempted signs, as enumerated in Section 17.45.025 of the zoning ordinance.
4. Temporary signs, which are in compliance with the regulations enumerated Section 17.45.050 of the zoning ordinance.

Notwithstanding the above, the development official, may require the replacement of any of the above signs listed in subsection A, 4 above after one year, if in his or her opinion the sign has become unattractive or deteriorated. Appeals of such administrative decisions shall be made to the zoning board of adjustment within ten days of receipt of the notification of any defect.

B. Authority.

1. As part of the review by the commission of a final development plan, as required by the provisions of Chapter 17.32, "PDD" planned development district, Chapter 17.40, "M-3" planned industrial district, or Chapter 17.50, "PUD" planned unit development, the commission shall review the materials referenced in subsection C, 1 of this section and make recommendations to the commission and the city council relative to the commission and the city council relative to the compliance of the application with the criteria set forth in Section 17.41.050.

2. For other construction subject to the provisions of this chapter but not subject to final development plan approval, the community planning and economic director or his/her designee shall review the materials referenced in subsection C, 1 of this section and approve, conditionally approve, continue or deny any application, basing its decisions on the criteria set forth in Section 17.14.050. Approvals shall be valid for a period of one year from the date of approval. If no building permit has been issued pursuant to the development of the approved project within one year of approval, the approval shall expire.

C. Procedure. In the interests of neighborhood harmony and courtesy, a meeting with adjacent property owners and neighbors is strongly encouraged.

1. Prior to the preparation of final architectural drawings and prior to the issuance of any building permit for any proposal, the applicant shall submit the following information and materials:

- a. The completed application form;
- b. A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels, if the buildings are within one hundred feet of the subject parcel;
- c. A verifiable legal description, or a land survey, where deemed necessary by the development official;
- d. A map showing the existing topography of the subject parcel and the topography of other properties at two foot contour intervals, extending one hundred feet from the subject parcel;
- e. A preliminary grading plan showing before and after grades at two foot contour intervals;
- f. A landscape plan (although the authority of staff to approve site plans under Section 17.56 of the Zoning Ordinance remains in effect).
- g. Elevation drawings, in color and drawn to scale, of the front, sides, rear, and roof lines of all proposed buildings or structures, illustrating the appearance and treatment of required screening elements for roof-mounted equipment. Outdoor storage areas that are part of any submittal shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the material and treatment proposed that would accurately reflect the screening of the storage areas. A second set of elevations (not colored) shall be submitted on eight and one-half by eleven inch paper.
- h. Samples of each type of exterior building materials, including the color.
- i. Samples of the materials, including the color, along with scaled, accurately colored elevations, of any proposed sign and/or sign package.

2. Prior to issuance of a building permit, the development official shall determine that the submitted plans for the building permit are in substantial conformance with those approved as part of the final development plan, as stated in subsection B, 1 of this section, or by the community planning and economic development director or his/her designee, as stated in subsection B, 2 of this section, and that the time period for approvals has not expired. The stamping of the plans and the signature of the development official, and the date of the signature shall indicate that the plans are in conformance.

3. Prior to any external change, including, but not limited to, a remodeling or elevation alteration which includes changes in materials or colors, the property owner or his or her designated representative shall present the change for review to the development official. The development official may approve a sign, a change to the color scheme or an existing building, a building addition or structure, or a revised landscape plan based upon the following criteria:

a. Building addition or structure:

The addition of accessory structure shall not substantially alter the appearance of the site as viewed from off the site; or be visually incompatible with the existing building or structure.

(1) An addition to an existing building or accessory structure of one thousand square feet or less or;

(2) Which shall not increase the area of coverage by more than fifteen percent increase the number of stories or propose substantial changes to building materials. In no case shall increases greater than fifteen percent of the area of the building coverage, increases in the number of stories in a building, or substantial changes in exterior building materials be considered minor.

b. Landscaping:

(1) The quantity, density, and quality of the plant material is increased and upgraded; and

(2) The changes reflect a substantial improvement of the plan.

Exterior changes not meeting the criteria of subsection C, 3a. and b. shall be reviewed pursuant to the provisions of subsection B of this section.

4. Any conditions prescribed through the approval of the final development plan or by the community planning and economic development director or his/her designee shall be considered an integral part of the construction plans. The conditions shall be noted on all plans as may be required to applicable city departments.

5. Any building, structure, or sign which has been approved, constructed, or installed in accordance with the approval of a final development plan or of the community planning and economic development director or his/her designee may be removed. However, it shall not be modified, altered, or changed in any manner without additional review by the development official, who shall decide whether the proposed change shall be reviewed pursuant to the provisions of subsection C of this section.

6. Initiating construction or development prior to the issuance of building permits or noncompliance with approved plans and conditions shall be grounds for either stopping work on the project or denial of a certificate of occupancy.

7. Upon completion, prior to issuance of a certificate of occupancy, the property owner or general contractor shall certify in writing that, to the best of his or her knowledge, the building, structure, and site detail have been completed in accordance with the approved design and applicable codes.

8. Lack of maintenance of any portion of an approved project approved through the approval of a final development plan or by the community planning and economic development director or his/her designee of this code.

D. Appeal.

1. The applicant for design review, may appeal any decision of the community planning and economic development director or his/her designee to the design review board by filing written notice of appeal to the community planning and economic development department within ten working days of the date of the decision. Notice of such appeal and the date for its consideration.

2. The design review board shall base its decision to affirm, modify, or reverse the decision of the community planning and economic development director or his/her designee based on the information and materials previously submitted to the community planning and economic development director or his/her designee.

E. Violations and penalties. It shall be unlawful to construct, erect, install, alter, change, maintain, or permit the construction, erection, installation, alteration, change, maintenance of any building, structure, sign, wall, or landscaping, or use or permit the use of any lot or other land contrary to, or in violation of, any of the provisions of this chapter, and is punishable as set forth in Chapter 17.62 of this code. (Ord. 2011-471 § 6 (part)).

17.41.050 Performance standards.

All uses and buildings permitted within the "HCOD" highway corridor overlay district shall comply in total with the following performance standards:

A. Open space and landscaping requirements. The total ground area devoted to open space for natural landscape and landscape beautification shall not be less than twenty percent on any development site within the "HCOD" highway corridor overlay district. Such open spaces will be free of all drives, parking areas, structures, buildings, except for those walkways, monuments, and ornamental features considered to be necessary and essential to the central landscape theme. In the case of underlying zones which require more restrictive standards, the more restrictive standard shall apply.

The minimum site landscaping requirement shall be as required in Chapter 17.56 entitled "Site Plans." Additional plantings, and larger caliper sizes and heights may be required by the

development official to achieve the goals of this chapter. This landscaping shall be designed to minimize the adverse effects of long expanses of wall, exposed parking, and service areas.

Tree planting shall include a combination of evergreen and deciduous trees and shrubs. In the required front yard, canopy trees shall have a minimum caliper of two and one-half inches, multi-stem clumps shall have a minimum height of ten feet, understory trees shall have a minimum height of five feet, deciduous shrubs shall have a minimum height of twenty-four inches, and evergreen shrubs shall have a minimum height of eighteen inches.

"Caliper" shall be defined according to the standards of the American Association of Nurserymen.

Where fences are necessary for commercial projects, masonry, wrought iron/aluminum, moisture resistant wood (other than stockade) and hedges are encouraged. If visible from a public street, galvanized chain link fences are not to be allowed unless complemented by continuous tall shrubbery completely obscuring the fence.

B. Architectural standards. Buildings within the "HCOD" highway corridor overlay district shall be constructed of quality materials that have strength and permanence. Permanence means that buildings will age without deteriorating, given a minimum level of maintenance. The development shall recognize the strength and permanency of stone, brick, concrete, and steel as opposed to the frailty of light gauge sheet metal and constant maintenance of wood veneer. While no specific materials are disallowed, certain materials will be approved for exterior use only if they are an integral part of a design of unusual merit. Among those materials are architectural metal wall panels, plywood and composition siding such as hardboard. Other materials may be appropriate in one use or situation but be totally inappropriate in another.

The city council shall establish design guidelines to help guide the decisions by the design review board, city staff and to aid petitioners with design considerations.

C. Restricted uses. There are some uses that require additional restrictions within the "HCOD" highway corridor overlay district to lessen their negative impact and make them more compatible with the goals of this chapter. The following uses are restricted:

1. Automobile salesroom or showroom, or new or used car sales or vehicle storage lots. Design principles shall be incorporated into the design of auto dealerships which minimize the unattractive aspects of large areas of parked cars. One-car-deep display areas along arterial and collector streets and freeways shall be permitted. Display rows shall be screened from public rights-of-way with an eighteen inch earth berm. Additional rows of cars shall be separated from the initial row by a shrubbery hedge that completely conceals the view of these additional rows of cars from the public right-of-way. Five percent of the balance of the parking lot shall be landscaped and permeable in the form of islands and peninsulas. Signs applied to, located in, or painted onto vehicle bodies or windshields on cars in the display area are prohibited with the exception of factory invoices. The use of pennants and tinsel are prohibited. Elevated or tilted vehicle display platforms are prohibited. An earth berm or other form of

landscape buffer shall be located around the sides and rear of the property to shield the view of stored cars from adjoining residences and streets, if any. Berming and landscaping may be required to shield the view from commercial areas depending on sight lines. Lighting design shall be integrated with the design of the dealership. Non-glare, cut off luminaries shall be required so that lighting does not spill over onto adjacent properties. The leasing or renting of trucks intended for short term lease of less than seven days shall be prohibited either as a primary or an accessory use.

2. Public garages, service stations, car washes, repair shops, auto parts installation shops, auto service malls, and other similar uses. Building forms and materials shall emphasize masonry and be compatible with nearby retail buildings. Canopies over pumps and their supports shall have no lettering, logos, or striping, and shall be integrated with the building design. The use of pennants and tinsel are prohibited. Car wash structures shall be a minimum of fifty feet from any residential property line or residential zone. Outdoor storage shall be confined to areas enclosed by masonry walls. Stacks of tires, oil cans, and promotional items are not permitted. Garage bays shall be concealed from view from adjacent streets and parking lots whenever possible. The leasing or renting of trucks intended for short term lease of less than seven days shall be prohibited either as a primary or an accessory use.

3. Outdoor retailing. Outdoor retailing areas, such as garden centers, shall be orderly and attractive, with low screening walls concealing merchandise, except plant materials, from view. Additional landscaping similar to at least a "G" buffer as shown in Chapter 17.56 entitled "Site Plans" and berming may be required with such uses.

4. Contractor's yards and other similar uses involving the outside storage of materials and/or vehicles and equipment. Contractor's yards and other similar uses shall be orderly with screening walls, berms, and landscape buffers similar to at least a "G" buffer as shown in Chapter 17.56 entitled "Site Plans" to completely screen them from adjacent properties and public roads.

5. Outdoor vending machines. For the purposes of this chapter, outdoor vending machines shall also be considered outdoor retailing. Such vending machines shall be screened from public rights-of-way.

D. Environmental performance standards. Complete abatement, elimination, or reduction of all generally offensive characteristics such as odors, gases, noise, vibration, pollution of air or water or soil, excessive lighting intensity, hazardous activity, etc. which may be detrimental to the general welfare of the community shall be accomplished. The standards for compliance with this paragraph shall be as follows:

1. Air pollution. The use shall not emit any smoke, dust, odorous gases, or other matter in such quantities as to be readily detectable at any point beyond the perimeter of the site area.

2. Noise. Davenport Municipal Code, Chapter 8.16, "Noise Abatement," shall be used to regulate noise within the "HCOD" highway corridor overlay district.

3. Vibration. The use shall not include vibration which is discernible without instruments on any adjoining lot or property.

4. Site lighting and glare. All lights, other than street lights, shall be so situated and installed as to reflect away from adjacent streets and residential areas. Light and pole designs shall be compatible with the overall design of the building(s) and site. In large parking lots, poles are to be located within the landscape islands. The scale of the parking area shall be considered in the selection of pole height and spacing. Pole height shall decrease, where possible, near property lines and in low intensity use areas to further reduce glare. Uplighting trees and fountains, accent lighting on shrubs and entrances, and silhouette lighting may be used to create special effects.

5. Traffic hazard. The use shall not involve any activity substantially increasing the movement of traffic on public streets to a point that capacity and safety limitations are exceeded unless procedures are instituted to limit traffic hazards and congestion.

6. Storm water detention. Davenport Municipal Code, Chapter 13.34, "Storm Water Management" shall be used to regulate storm water run-off and provide detention where required.

7. Erosion control. Davenport Municipal Code 13.34.310–360, "Erosion Control" shall be used to regulate erosion on development sites. All development with a disturbed site in excess of five acres shall submit a copy of State of Iowa Department of Natural Resources Permit Number 2 with accompanying plans. Similarly, sites less than five acres shall submit a copy of the permit and plans if they are part of a larger development, the whole of which exceeds five acres. On sites less than five acres, an erosion control plan shall be required if, in the opinion of the city engineer, it is necessary to protect off-site properties. An approved grading plan shall be required prior to the commencement of any grading.

8. Overtax public utilities and facilities. The use shall not involve any activity substantially increasing the burden on any public facilities or utilities, unless provisions are made for necessary adjustments.

9. All utilities provided as new installation shall be underground and comply in full with the regulations set forth in Section 16.24.110 of the city of Davenport's Municipal Code entitled "Subdivision."

E. Off-street parking and loading. The required number of spaces shall remain the same as that of the underlying zoning districts. In all cases, parking lots created in the "HCOD" highway corridor overlay district shall be constructed with concrete or asphalt curbing. In all cases parking areas shall be screened from any public right-of-way or adjacent residential area by proper siting, the use of earth berms and vegetation. Earth berms shall be a minimum of three

feet in height (with the exception of those on automobile sales display rows) and shall be supplemented with substantially mature trees and shrubs which have year-round effectiveness. Service areas, loading docks, and garbage facilities shall be located properly and screened as well. Landscaped parking islands and peninsulas shall be included in lot layout to reduce the visual impact and produce shade. In parking lots of twenty or more spaces, an area equal to five percent of the total parking lot area must be landscaped and permeable. This shall not include perimeter plantings. This requirement may be waived in the case of industrial properties where interior landscaping may interfere with the necessary movement of trucks and other equipment.

F. Signage requirements. Signage shall be consistent with the central aesthetic theme of the "HCOD" highway corridor overlay district; sign materials shall be permanent or long lasting in quality. The lighting of signs shall be non-intrusive with back lighting or other methods of indirect lighting required.

Refer to Chapter 17.45 of the city of Davenport's zoning ordinance entitled, "Sign Regulations" Section 17.45.090 K. for a complete description of sign regulations in the "HCOD" highway corridor overlay district.

17.41.060 Elmore Corners Overlay District (ECOD)

A. Administration

1. Purpose. The purpose of the Elmore Corners Overlay District is to establish high quality design standards and coordination for new development to ensure implementation of the Elmore Corners Area Plan, an element of the Davenport Comprehensive Plan.

2. Subject Area. Attached Exhibit "A" depicts the area subject to the ECOD standards.

3. Process. The review process shall follow the process outlined in Title 17.41.045.

4. Design Standards. Prior to issuance of a building or development permit involving site alterations, new construction, or exterior change to a building or sign, the Highway Corridor Overlay (HCOD) standards and the following standards must be met. Unless otherwise noted, the standards contained herein are mandatory.

a. Use. Permitted uses are dictated based on the underlying zoning district. The following uses are prohibited anywhere within the ECOD: Single Family Detached Residential, Warehouse and Distribution Facilities, Self Storage Facilities, Outdoor Storage, and Billboards.

b. Building Composition

(1) Guideline: Buildings shall be of a quality design that contribute to the Elmore Corners destination appearance.

(2) Base, Middle, Top

Building facades shall be composed to define base, middle and top elements. The base of the building anchors it to the ground and is the interface between the building and people. This element shall be the most articulated. The transition between the middle of the building and the base and top shall be varied by use of materials, composition, repetition or ornamental features. The top terminates the building against the sky and provides an opportunity to create an interesting silhouette.

(3) Rhythm

Rhythm refers to the regular or harmonious recurrence of building elements. Rhythmic elements need not be boring, but can provide the visual “glue” that links together various buildings on a street. These patterns commonly reflect the building’s repetitive structural bays, often with the end bays given special identity. This articulation of the facade helps provide scale by comprising the facade into smaller visual parts. The variation of rhythm from building to building reaffirms the individuality of each building, while the recurrence of an overall rhythm helps unify the facade. The building’s structural column lines shall in some way be evident or expressed on its facade.

(4) Scale

In general, distinctive compositional elements of buildings (entries, structural bays, roof elements, windows) shall be distinguishable from both near and far distances. The size and shape of these elements shall give the building scale to relate to pedestrians as well as surrounding buildings. Special attention shall be paid to overall building height and massing in order to maintain a scale and character compatible with the area.

(5) Massing

Large buildings shall be comprised of a hierarchy of masses and forms to give the building a more human scale and visual richness. Techniques include using designed recesses or projections, creating distinct building components, and varying occasional roof forms according to individual building components. However, excessive use of changes in form can create a decidedly confused street façade and disharmony.

(6) Proportion

Building massing and components shall demonstrate consistent proportional harmonies. Typically, pedestrian friendly streets have building elements that rely more on vertically proportioned elements than horizontally proportioned elements. While no architectural rule is always valid, the use of vertically proportioned facade components seems to offer a traditionally street-friendly composition (regardless of specific architectural styles). The use of proportion is intended to provide a sense of visual harmony among elements of a building.

(7) Architectural Form

- Buildings shall be designed to create a pedestrian friendly and scale neighborhood
- Buildings shall be primarily rectangular in form and sited parallel to public streets
- Buildings are encouraged to have a mix of tenants and uses
- Entrances shall be provided at public streets and on parking sides
- Connect building entrances to public sidewalks and pedestrian pathways
- Articulate building shapes with window bays, cornices, parapets, and towers
- Buildings shall have primarily flat roofs with varied or broken lines
- Roof mechanicals shall be screened
- Locate service areas away from public streets and provide architectural screening
- Drive through facilities shall be located on rear building façades as to not dominate the streetscape
- Modify franchise architecture to fit the desired Elmore Corners character

(8) Inappropriate Design

- Flat, massive, monolithic geometric shapes
- Plain, undersigned buildings with large blank spaces
- Small buildings with single occupants
- Gabled, hipped, or steeply pitched roofs
- Large, monotonous roof forms
- Visible building mechanicals
- Faux-historic buildings

b. Building Facade

- (1) Guideline: Buildings shall have varied facades composed of high quality lasting materials as described under (3) below.

- Façades shall be articulated on all sides to provide visual interest.
- Break up façades and create visual interest and pedestrian scale by:
 - Varying materials and colors
 - Varying façade vertical and horizontal setbacks
 - Incorporate architectural reveals or floor step backs
 - Vary window styles and moldings
 - Design enhanced architectural details on the ground level
- Façades on multiple-tenant buildings shall be broken into design elements that reflect individual tenant spaces through vertical façade plain staggering, window/door groupings, and awnings
- Differentiate ground and above floors through horizontal banding, signage bands, and windows
- First floor façades shall be transparent to allow retail uses to interact with the street and parking-side entrances
- Commercial and retail façades shall have at least 40% transparency on the street façade
- Secondary façades that do not face the public street or parking areas are encouraged to have transparent windows. If

this is not possible, then façades shall contain architectural features that provide interest

- Building at corners shall contain interesting architectural features that address the corner such as towers, entrances, and metal or cloth awnings
- Identify building entrances through permanent awnings, overhangs, or signage

(2) Inappropriate Façade Treatment

- Large unarticulated wall planes
- Large expanses of walls without windows
- Projecting wall-mounted mechanical units
- Vinyl awnings

- Buildings with no pedestrian scale or defined entryways

(3) Materials

- High quality materials shall be installed on buildings to promote Elmore Corners
- Long lasting materials such as brick and stone shall be used to withstand weather and provide a feeling of permanence
- Primary building materials shall be natural stone, masonry, brick, and glass and be of natural earth tone colors
- Secondary materials such as decorative metal, wood, stucco, and cement board may be incorporated
- Using a mix of materials is recommended to create visual diversity on the building façade
- Enrichment of the pedestrian realm requires building materials at the street level to be of high quality:
 - These could include items such as brick, stone, decorative concrete masonry units, metal panel systems, or other creatively used high quality and durable building materials
 - Decorative finished block systems can be used along the base of the buildings, and as an accent, but are not recommended as the dominant building material on the entire building
 - Utility grade materials shall only be used on facades of the building not visible from publicly accessible areas
- Freestanding commercial structures shall be designed as four-sided architecture with finish grade materials used consistently on all façades:
 - Recommended primary materials include brick, stone and glass
 - Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture
 - Metal and finished wood may be used as accents, but generally shall not be the primary material for any façade

(4) Inappropriate Materials

- Unfinished concrete, unless integral to the design of the building

- Corrugated metal typically found in 'pole buildings', vinyl, or aluminum siding
- Plywood siding panels
- Exposed treated lumber
- EIFS as a primary material or located on the first floor
- Windows
- Moderate to highly reflective glazing
- Strongly colored or darkly-tinted glazing
- Colors
- Predominant use of bright, high intensity colors
- Predominant use of metallic and neon colors

c. Setbacks

(1) Guideline: To provide a continuous street edge along the Elmore Corners District, buildings shall be sited within setback areas unless not possible due to affecting business operations.

- Along Elmore Avenue and Veterans Memorial Parkway, the primary building façade shall be located within 20-40 feet from the property line
- Along secondary streets, the primary building façade shall be located 0-10 feet from the property line
- To maintain an urban edge that is pedestrian friendly, areas adjacent to parking lots shall be screened with enhanced landscaping

(2) Inappropriate design

- Buildings set back over 40 feet from public streets
- Parking lots between public streets and the primary façade of a building

d. Density

(1) Guideline: Develop land as densely as possible to increase tax base while providing adequate landscaping, stormwater management, and connections to public ways.

- Development shall be designed to an urban density with minimal spaces between buildings
- Install advanced stormwater management practices to increase density
- Density may increase through vertical mixed-use and shared parking arrangements

e. Signage

(1) Guideline: Signage shall function as a marketing device, complement building architecture and materials, and not dominate the site. All signs must meet City Sign Codes.

- Appropriate and attractively designed site signage is an important component of the overall aesthetic appeal of any commercial or mixed-use area. Good signage based on design and graphic quality is encouraged throughout Elmore Corners.
- Business signage shall be wall mounted (projecting or flat), monument (if located away from the building), and window, canopy or awning style
- Similar materials, colors and styles shall be used to ensure the signage is consistent with the building design
- Signs shall reflect and enhance the nature and appeal of the retail and commercial experience and not be just a list of tenants
- Materials shall be of high quality to prevent premature weathering of the sign
- Signs shall fit within and not overwhelm the architectural features of the buildings
- Signs shall harmonize with their surroundings in terms of size, shape, color, texture, and lighting so that they complement the character of the neighborhood
- Signs shall be professionally constructed using high quality materials such as metal, stone, tile, composites, brass/metal plated, hardwood, and glass
- The creative use of materials, lettering, and interesting use of graphics is allowed and encouraged if the signs work well and complement the overall building and street design
- Signs shall be designed with the purpose of promoting retail and street activity while enhancing the pedestrian experience
- Addresses shall be clearly visible from the public right-of-way
- The use of tastefully designed pedestrian scale directories is encouraged for multi-tenant buildings

- Monument signs shall contain a base and not be pole-mounted
- Monument signs shall contain landscaping at the base that will not grow to cover the sign message
- Lighting shall be designed carefully to avoid excessive glare or over illumination:
- Letters can be illuminated internally or externally
- External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path
- Fixtures shall be simple but attractive
- Lighting signs and letters shall be done in an attractive and subtle technique
- Individual letters that are backlit, halo-lit, reverse illumination channel letters, and neon are encouraged

(2) Inappropriate Signage

- Pole signs, billboard style wall-mounted and roof mounted signs are not allowed
- without special permission from the City Plan Commission
- Monument signs advertising individual businesses
- Tall mast signs
- Large temporary signs that impede pedestrian traffic
- Inflatable signs
- Overly illuminated signs
- Unshielded sign light sources, allowing upward transmission of light
- LED, animated, flashing, blinking, and video signs
- Plastic box signs
- Generic, un-stylized signs
- Large temporary signage located in windows that reduces transparency
- Large-scale street-level signage that overwhelms the pedestrian environment

- Signage that obscures architectural details
- Glaring and directed spotlights that affects neighboring properties

(3) Entertainment District Signage

Since the area around the Rhythm City Casino is planned for entertainment purposes, sign design and guidelines may be relaxed to create an exciting sense of place. Signs in this area may be taller along the interstate corridors, contain additional illumination, and may have moving components to advertise this district and its activities.

f. Site Design Guidelines

(1) Parking Lots – Design and Location Guideline: Parking lots shall be located behind buildings or interior of sites whenever possible and contain landscaping to buffer views from public ways.

- Parking lots shall be designed to allow for ease of vehicular circulation and meet all parking lot requirements set in this Title
- Locating parking lots at corners shall be avoided, when possible
- Safe pedestrian ways shall be provided between parking spaces and building entrances
- Canopy trees shall be planted at a minimum of every 12 parking stalls to reduce heat islands
- Edge landscaping shall be installed to screen parking lots from public streets
- Planting areas shall be incorporated into landscape islands and planting areas between parking bays
- Bio-swales and stormwater best management practices shall be used to collect and infiltrate stormwater run off
- Parking lot lights shall be 18-25 feet in height along pedestrian ways and edges
- Tall pole lights may be installed in parking lot internal bays with a maximum height of 30 feet
- Site lighting along pedestrian walkways is encouraged in bollards to provide safe lighting, but not over-illumination
- Lighting shall cast downward and be full cut-off
- Illumination levels shall not exceed 0.5 foot candles at the property line

- Businesses shall provide bicycle parking
- Short-term bicycle parking areas shall be provided within 20 feet of each commercial primary building entrance when possible
- Long-term bicycle parking areas shall be provided within 100 feet of each commercial primary building entrance when possible
- One bicycle parking space per 2,000 gross square feet shall be provided for retail uses. A minimum of two spaces is required
- One bicycle parking space per 10,000 gross square feet shall be provided for office. A minimum of two spaces is required
- A minimum of one bicycle parking spaces per residential unit shall be provided. In-building or covered bicycle parking is encouraged

(2) Inappropriate Parking Lot Design

- Parking lots located between buildings and public streets
- Parking areas located on corners
- Individual parking lots for each development/business
- Numerous access drives into disconnected parking areas
- No parking lot landscaping
- No bicycle parking

(3) Parking Management Guideline: Connect parking lots between developments and share parking between uses to minimize large parking lots and automobile traffic on public streets.

- Parking management shall promote effective economic activity, maximize the sharing of parking areas for commercial activity, and avoid inefficiencies in parking in which parking occupancy patterns discourage higher density and compact development
- Shared parking strategies are encouraged to eliminate redundant and unnecessarily large parking areas and to provide more land for taxable development. Parking lots are encouraged to be shared between building uses that require parking at separate times such as office parking during the day and residential parking at night
- New uses shall be required to produce a parking design and management study which documents the level of use at regular and peak times, the degree of sharing for parking with

nearby users, the way in which the owner/user intends to maximize efficient use, and sharing of the parking

- Cross access and/or joint parking easements may need to be developed in the event of the parcel being subdivided.
- Shared driveways shall be used to serve groups of buildings with shared parking courts between buildings
- Sharing arrangements shall be codified in covenants, deed restrictions, and developer agreements
- Connecting parking lots between development lots is encouraged to reduce traffic congestion on public streets

(4) Inappropriate Parking Management

- Individual parking lots by building, use, or development project
- Parking lots that are overbuilt and unused

(5) Site Circulation Guideline: A pedestrian friendly environment is encouraged to provide safe circulation within the site and between sites. Private development shall connect into existing public infrastructure.

- Concrete or similar material pedestrian walkways shall connect parking areas to building entrances
- Pedestrian walkways shall connect development sites to existing public sidewalks and paths such as the Urban Greenway
- Walkways shall be located outside of vehicle parking areas
- Walkways shall be safely illuminated

(6) Inappropriate Site Circulation

- Unpaved pedestrian walkways
- Parking lots with no pedestrian walkways
- Dark, unlit walkways

(7) Drive-Through and Service Guideline: Drive-throughs shall be located at the rear or side of buildings and shall not be placed between a public street/easement and the main building structure.

- Every effort shall be made to coordinate and integrate drive-through facilities into the overall architectural treatment of the main building
- Creative design solutions such as remote kiosks are encouraged to minimize the impact of the drive-through facility on the overall site design
- Clearly defined pedestrian crossings shall be provided where walkways intersect drive-through access lanes. In all cases drive-through facilities shall be designed to operate without endangering the public safety

(8) Inappropriate Drive-Through

- Drive-through window and service line visible from public streets

(9) Service, Storage, and Utility Areas Guideline: Service, loading, and utility areas, while necessary for business operation, shall be located away from the public view.

- Refuse and recycling areas shall be integrated into the building architecture with high quality design and/or screened with similar building materials to the main architecture. The areas shall be kept clean and avoid accumulation of excess disposal materials and the enclosure shall be locked
- When possible, service and utility areas shall be inside the building or integrated into the architecture of the building
- Loading areas shall be located behind buildings, away from parking areas and public streets
- Loading doors shall not be visible from public streets
- To reduce the amount of area dedicated to these needs, shared service areas between adjacent users and buildings shall be allowed and encouraged
- If indoor reuse is not possible, outdoor refuse areas shall be enclosed with attractive design and materials that match building architecture. Recommended enclosures would be of masonry or stone with gated access and surrounding landscaping. The gate and enclosure opening shall not be visible from public ways
- Rooftop mechanicals shall be screened with materials that match the building architecture

(10) Inappropriate Service Area

- Service areas and utility equipment along public streets
- Prefabricated storage sheds

- Visible garbage dumpsters
- Unscreened service, storage, or utility areas

(11) Landscaping Guideline: Create pedestrian-friendly landscapes that are functional, visually appealing, and relate to building activities and architecture. Use landscaping to screen undesirable views.

- Incorporate landscape elements that complement the character of the building and provide a pleasing relationship with adjoining properties, the public sidewalk, and the street
- Use appropriate landscape elements to establish continuity between buildings and to define the block face where there are no buildings
- Plant shade trees in surface parking lots to reduce heat islands
- Incorporate mid-level plantings and ground covers into parking planting areas
- Native plants shall be installed whenever possible
- Consider prairie plantings instead of turf to minimize maintenance and establish animal and insect habitat
- Use plant materials that provide year-round interest, add desirable color, texture, and smells to a site's experience
- Install plants to screen parking areas from public streets.
- Install plants to screen building mechanicals
- Incorporate rain gardens and bioretention basins to collect runoff and filter pollutants
- Install bioretention areas in surface parking lots for stormwater infiltration
- Use plant materials that are compatible with urban environments and will maintain their health with the expected amount of care
- Use salt tolerant plants due to the urban pedestrian environment

(12) Inappropriate Site Landscaping

- Single species planting schemes
- Residential or suburban landscape treatment such as boulders, bark chips, plastic edging, railroad ties, etc.

- Chain link, metal mesh, wire or barbed wire fencing
- Site furnishings not located adjacent to common spaces

(13) Urban Greenway Guideline: An urban greenway shall be established on the west edge of the planning area to both buffer new development from existing neighborhoods and provide an open space corridor for recreation and natural habitat.

- The urban greenway corridor shall be a 100 foot wide minimum public corridor
- Naturalized landscaping shall be installed to establish the natural space and buffer
- Low-maintenance native species including trees, shrubs and grasses shall be planted
- A 10 foot wide asphalt path may be constructed to provide an alternative transportation route and recreation trail
- The path shall connect to private development, public streets, and sidewalks

(14) Site Features and Urban Spaces Guideline: Private development is encouraged to establish urban spaces and install site features to enhance the Elmore Corners District and contribute to a pedestrian friendly streetscape.

- Commercial uses are encouraged to have public plaza spaces to provide space for activities such as outdoor dining or seating areas
- Commercial urban spaces shall be accessible from public ways
- Any security fencing shall consist of decorative materials (such as wrought iron, brick or stone)
- Select and locate site furnishings (benches, trash receptacles, bicycle racks, etc.) to unify the Elmore Corners District and provide a pleasing relationship with adjoining properties, the public sidewalk, and street
- Site furnishings shall be of high-quality materials that last in all-weather environments

(15) Inappropriate Site Features & Urban Spaces

- Urban gathering spaces that are closed off from public ways
- Site features of low quality that do not complement building architecture

(16) Public Streets and Streetscaping Guideline: Public streets shall be designed as complete streets serving all modes of transportation users including vehicles, bicycles, and pedestrians.

Streets shall contain streetscape elements to enhance the visual aesthetics of these public spaces.

- Primary public streets shall contain streetscape elements of a vehicular scale including:
 - Street lights – tall poles to safely illuminate the street
 - Sidewalk on one side and bicycle path on the other side
 - Turf terraces
 - District gateway features
 - Wayfinding sign directing visitors to district destinations
 - Light pole banners advertising special events
- Secondary streets shall contain streetscape elements of a pedestrian scale including:
 - Street lights – pedestrian scale with decorative fixtures
 - Concrete sidewalks on both sides of the street
 - Decorative brick, paver, or stamped concrete terraces
 - Wayfinding signs or kiosks directing visitors to district locations
 - Light pole banners advertising locations, uses, or events
 - Landscape planters with flowers and grasses
 - All street lights shall contain LED energy efficient fixtures
 - Street lights shall contain decorative poles and bases
 - Street lights shall be down casting to reduce light pollution
 - Stormwater management could be incorporated into the street terrace through stormwater planters, inlets, and swales
- Secondary streets may designate bicycle access through painted sharrows on street lanes

(17) Stormwater Management Guideline: All future developments must meet City Stormwater Ordinance requirements. In general, stormwater best management practices are encouraged and shall be incorporated into site designs, limiting large, monolithic retention ponds.

- Incorporate stormwater systems into development site plans and landscape plans
- Encourage regional ponds or ponds that serve multiple developments to density development and allow development to occur in urban form
- Utilize stormwater management techniques that maximize infiltration and filter runoff
- Incorporate bio-swales into parking lots to collect surface water and infiltrate on-site
- Install urban stormwater management systems where appropriate such as stormwater planters, rain gardens, underground cisterns and cells, porous pavement, and green street terraces
- Green roofs are encouraged to aid in reducing the amount of impervious surfaces
- Collect roof water into "purple pipe" grey water systems to reuse for irrigation, toilets or other non-potable uses
- If water does run off buildings, direct it into planting areas and rain barrels
- Include stormwater pond aeration systems and fountains to improve water quality and appearance
- Inappropriate Stormwater Management
- Direct stormwater runoff into the Pheasant Creek
- Large, unnaturally shaped stormwater detention ponds with no landscaping or aeration

B. Appeals. Appeals of any administrative decision made under this section shall be made in writing by the owner(s) of record of the property to the City Design Review Board no less than thirty (30) days prior to any rescheduled meeting of the Board. Appeals of any decision of the Design Review Board shall be made in writing by the owner(s) of record of the property to the City Council no less than thirty (30) days prior to the scheduled Council meeting.

Section 2. That the ECOD, Elmore Corners Overlay District is hereby created and encompasses the property described as follows:

Part of Sections 5, 6, 7 and 8 of Township 78 North, Range 4 East of the 5th P.M. being more particularly described as follows: River 80 First Addition; Jersey Farms Commercial Park First Addition; Jersey Farms Commercial Park Second Addition; and Parcel No. Y0801-02A being a 15.43 acre, more or less, tract of land owned by Schaefer Living Trust as general partner of the V & T Schaefer Family Partnership LP and described as Tract A in the following documents filed for record in Scott County as Trustee's Quit Claim Deed document No. 2006-4757, Plat of Survey document No. 2001-37358. Boundary of the property contains 342 acres, more or less (area includes rights-of-way).

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective upon final passage and publication as by law provided.

First Consideration _____

Second Consideration _____

Approved _____

Frank Klipsch, Mayor

Attest: _____

Jackie Holecek, MMC
Deputy City Clerk

Published in the *Quad City Times* on _____



*Community Planning and Economic Development Department
City Hall - 226 West Fourth Street - Davenport, Iowa 52801
Telephone: 563-326-7765
www.cityofdavenportiowa.com*

April 4, 2018

Honorable Mayor and City Council
City Hall
Davenport IA 52801

Honorable Mayor and City Council:

At its regular meeting of April 3, 2018, the City Plan and Zoning Commission considered Case No. ORD18-01: Request of the City of Davenport to create an ECOD, Elmore Corners Overlay District and to establish design standards for said district.

The Commission recommends approval of the ordinance deleting the property owned and developed by THF development from the overlay and corresponding design standards.

Finding:

- 1) Proposed ordinance will serve as an effective tool in the implementation of the Elmore Corners Master Plan

Conditions:

None.

The Plan and Zoning Commission accepts the finding and forwards Case No. ORD18-01 to the City Council for approval. The vote to approve was 5 – yes and 1 – no (Reinartz).

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Inghram', written over a light gray rectangular background.

Robert Inghram, Chairperson
City Plan and Zoning Commission



PLAN AND ZONING COMMISSION

Meeting Date: April 3, 2018
Request: Proposed Zoning Ordinance Text Amendment adopting Design Standards for Elmore Corners.
Ward: 6th
Case No.: ORD18-01
Applicant: City of Davenport

Contact: Matthew G. Flynn, AICP
Senior Planning Manager
matt.flynn@ci.davenport.ia.us
563-888-2286

Recommendation:

Staff recommends the Plan and Zoning Commission forward Case No. ORD18-01 to the City Council for approval.

Introduction:

Case No. ORD18-01: Zoning Ordinance Text Amendment adopting Design Standards for Elmore Corners and creating the Elmore Corners Overlay District (ECOD).

Background:

Commercial Corridor Revitalization is a major goal of the City Council.

The Elmore Corners Plan and Design Standards project was authorized by City Council. Following a national search, Vandewalle Associates of Madison Wisconsin was selected to lead the City through the process.

The study area of the Plan closely matches the area proposed to be the overlay district.

The preliminary draft of the design standards is attached. Changes suggested the Plan and Zoning Commission at the Public Hearing are in blue type.

The design standards are intended to ensure a high quality level of coordinated development within the area designed to attract quality national and local retailers while protecting investment.

Following adoption, the new regulations will be incorporated into the new zoning ordinance as well.

Public Input:

Public input has been sought throughout the process.

There was a kick off meeting on July 18, 2017, where key stakeholders were interviewed and provided an overview of the project.

On October 25, 2017, the draft plan was presented to the steering committee. Comments were incorporated into the final draft.

On January 22, 2018, a public meeting was held to review the draft plan. Approximately 80 people attended.

On January 29, 2018, the draft plan was discussed at a 6th Ward meeting.

On February 22, 2018, a follow up public meeting was held.

A public hearing was held by the Plan and Zoning Commission at its March 20, 2018 meeting. No one from the public spoke.

Notices of this public hearing were sent to properties within and adjacent to the Proposed Overlay Area. Signs were posted and an ad run in the Quad City Times. As of this writing, no comments have been received.

Discussion:

These proposed regulations are an important implementation tool of the Comprehensive Plan and more specifically, the Elmore Corners Area Plan. The vision of the Area Plan cannot be reasonably expected to be achieved without the zoning changes.

Like any major zoning change (which would include the future complete zoning ordinance revamp) amendments may be necessary to repair errors and omissions from the current draft under consideration.

Recommendation:

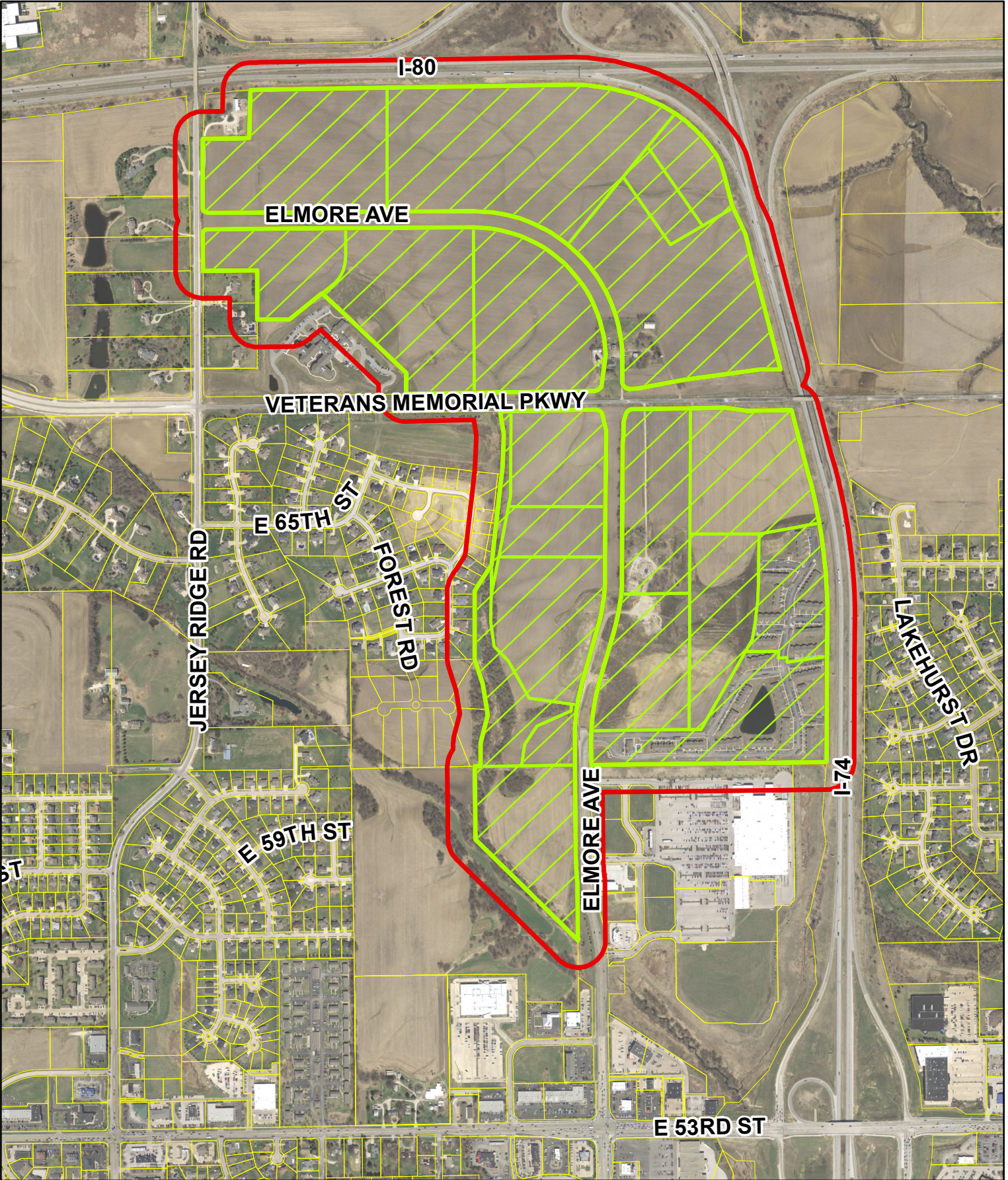
Findings:



Proposed ordinance will serve as an effective tool in the implementation of the Elmore Corners Master Plan

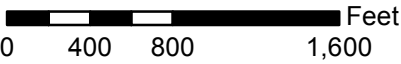
Recommendation:

Staff recommends the Plan and Zoning Commission forward Case No. ORD18-01 to the City Council for approval.

Plan & Zoning Commission: Adjacent Property Owner Notice Area



-  Adjacent Owner Notice Boundary
-  Elmore Corners Overlay Area



Elmore Corners Notice List - Mailing List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
Petitioner:	City of Davenport			
P&Z Chair:	Bob Inghram		binghram@activethermal.net	
Council Clerk:	Tiffany Hickman		tiffanyh@ci.davenport.ia.us	
Neighborhood:	Jersey Farms NA	Tom Jacobson (563) 343-4352	tljacobson@mediacommbb.net ; tomjacobson52@gmail.com	
Ward/Ald:	6th Ward	Alderman Clewell	rclewell@ci.davenport.ia.us	39 Notices Sent
Ward/Ald:	8th Ward	Alderman Tompkins	ktompkins@ci.davenport.ia.us	
Ward/Ald:	At-Large	Alderman Condon		
Ward/Ald:	At-Large	Alderman Gripp	kgripp@ci.davenport.ia.us	
Y0655-08A	2913 E 63RD ST	A.J. MURPHY	2913 E 63RD ST	DAVENPORT IA 52807
Y0533B01	6600 ELMORE AV	ARROWHEAD LLC	6600 ELMORE AV	DAVENPORT IA 52807
Y0533B02	6500 ELMORE AV	ARROWHEAD LLC		
Y0501A03A		BAXTER CONSTRUCTION CO LLC	3225 AVE N	FORT MADISON IA 52627
Y0801-11	5701 ELMORE AV	BEATON HOLDING COMPANY LC	5805 COUNCIL ST NE STE D	CEDAR RAPIDS IA 52402
Y0655-05A	6315 FAIRHAVEN RD	BRETT L FELS LIVING TRUST	6315 FAIRHAVEN RD	DAVENPORT IA 52807
Y0639-01A	6403 FAIRHAVEN RD	BRIAN S SMITH	6403 FAIRHAVEN RD	DAVENPORT IA 52807
Y0549-01A		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
Y0533BOLA		CITY OF DAVENPORT		
Y0501A03B		CITY OF DAVENPORT		
Y0639-19F		CITY OF DAVENPORT IOWA		
Y0655A11	10 WOODVIEW WAY	DOUGLAS N WATTERS	10 WOODVIEW WAY	DAVENPORT IA 52807
Y0655-07A	6301 FAIRHAVEN RD	DUEKER LIVING TRUST	C/O A DUEKER	DAVENPORT IA 52807
Y0551A04	6403 ELMORE AV	ELMORE STORAGE LLC	3245 E. 35TH ST CT	DAVENPORT IA 52807
Y0621-25	6901 JERSEY RIDGE RD	ERIC G VANSEVEREN	6901 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0801-09	5705 ELMORE AV	HALLE PROPERTIES LLC	20225 N SCOTTSDALE RD	SCOTTSDALE AZ 85255
Y0639-03A	6329 FAIRHAVEN RD	JAMES M SULLIVAN	6329 FAIRHAVEN RD	DAVENPORT IA 52807
Y0549A03		JCO PROPERTIES INC	3885 ELMORE AV STE 100	DAVENPORT IA 52807
Y0655-06A	6307 FAIRHAVEN RD	JEFF M HYLAND	6307 FAIRHAVEN RD	DAVENPORT IA 52807
Y0535A06	6551 ELMORE AV	JJO LLC	6215 UTICA RIDGE RD	DAVENPORT IA 52807
Y0621A01		KAHL HOME FOR AGED AND INFIRM	6701 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0623A06		KAHL HOME FOR AGED AND INFIRM		
Y0605-25B	7403 JERSEY RIDGE RD	KARLL FARM L C	3211 E 35TH CT	DAVENPORT IA 52807
Y0639-05F	6455 FAIRHAVEN RD	LAURIE A DOBESH	6455 FAIRHAVEN RD	DAVENPORT IA 52807
Y0639-QLF		LAURIE A DOBESH		
Y0621-01		LEON S ERNESTO	2921 E 46TH ST	DAVENPORT IA 52807
Y0605-01	7400 JERSEY RIDGE RD	LINDA R DUFFY REV TRUST	7400 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0655A09		MCCARTNEY IMPROVEMENT CO	5715 NW BD	DAVENPORT IA 52806
Y0639-QLC		MEADOW BUILDERS INC	4929 UTICA RIDGE RD	DAVENPORT IA 52807
Y0655-04A	6321 FAIRHAVEN RD	MICHAEL A INGLEBY	6321 FAIRHAVEN RD	DAVENPORT IA 52807
Y0655A12		MINH B LAI	921 W 66TH ST	DAVENPORT IA 52806
Y0605-02	7200 JERSEY RIDGE RD	NARIDER KUMAR	7200 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0621-02	7000 JERSEY RIDGE RD	NIDAL H HARB TRUST	7000 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0639-08F	6435 FAIRHAVEN RD	NORTHWEST BANK & TRUST COMPANY	100 E KIMBERLY RD	DAVENPORT IA 52806
Y0535A05	3250 VETERANS MEM PARKWAY	O'BROS L.L.C.	3885 ELMORE AVE	DAVENPORT IA 52807
Y0500-01B		PEDCOR INVESTMENTS	PO BOX 574	CARMEL IN 46082
Y0535-01N		PEDCOR INVESTMENTS		
Y0605A01		QC EQUITY INVESTMENTS LLC	201 HARRISON ST STE 402	DAVENPORT IA 52801
Y0621A07		QC EQUITY INVESTMENTS LLC		
Y0501A04		QC EQUITY INVESTMENTS LLC		
Y0517A05		QC EQUITY INVESTMENTS LLC		
Y0533B03	6300 ELMORE AV	QC SOUTH LANDS EQUITY INVESTMENTS LLC		
Y0549A02		QC SOUTH LANDS EQUITY INVESTMENTS LLC		
Y0639-02A	6335 FAIRHAVEN RD	RANDALL E BOLDT	6335 FAIRHAVEN RD	DAVENPORT IA 52807
Y0621-26	6801 JERSEY RIDGE RD	RICK W HOLLINGSWORTH	6801 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0607A02	7077 ELMORE AV	RYTHYM CITY CASINO LLC	7077 ELMORE AVE	DAVENPORT IA 52807
Y0707-01C		WEBBER LIVING TRUST	19134 246TH AVE	BETTENDORF IA 52722
Y0801-06		THF DAVENPORT NORTH DEVELOPMEN	211 N STADIUM BD STE 201	COLUMBIA MO 65203
Y0801-07		THF DAVENPORT NORTH DEVELOPMEN		
Y0801-08		THF DAVENPORT NORTH DEVELOPMEN		
Y0801-10		THF DAVENPORT NORTH DEVELOPMEN		
Y0801-OLC		THF DAVENPORT NORTH DEVELOPMEN		
Y0803-01	5811 ELMORE AV	THF DAVENPORT NORTH DEVELOPMEN		
Y0819AOLA1		THF DAVENPORT NORTH DEVELOPMENT		
Y0639-09F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP	2660 E 53RD ST STE 7	DAVENPORT IA 52807
Y0639-OLE		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-OLD		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-OLB		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-OLA		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-10F	6411 FAIRHAVEN RD	TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-07F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-06F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-04F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0801-02A		VTS FARM PARCEL A LLC	19134 246TH AV	BETTENDORF IA 52722
Y0621-24	7001 JERSEY RIDGE RD	WALTER J BRADLEY	7001 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0655A10	9 WOODVIEW WAY	WOOD TRUST CMA	2805 E 43RD ST	DAVENPORT IA 52807

		APPROVED	APPROVED	APPROVED	FAILED	APPROVED	APPROVED		
Name:	Roll Call	CP18-01 Elmore Corners Plan	Amend ORD18-01 Amend 17.41 Elmore Corners Overlay District	ORD18-01 Amend 17.41 Elmore Corners Overlay District	Table ORD18-03 Amend 17.36 M-1 Uses	ORD18-03 Amend 17.36 M-1 Uses	F18-02 Bett's Corporation 2nd Add'n		
Connell	EX								
Hepner	P	Y	Y	Y	N	Y	Y		
Inghram	P								
Kelling	P	Y	Y	Y	Y	N	Y		
Lammers	P	Y	Y	Y	Y	N	Y		
Maness	EX								
Martinez	A								
Medd	P	Y	Y	Y	N	Y	Y		
Quinn	A								
Reinartz	P	Y	N	N	N	Y	Y		
Tallman	P	Y	Y	Y	N	Y	Y		
	7	6-YES 0-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	2-YES 4-NO 0-ABSTAIN	4-YES 2-NO 0-ABSTAIN	6-YES 0-NO 0-ABSTAIN		

PASTRNAK LAW FIRM, P.C.

**Attorneys at Law
313 W. 3rd Street
Davenport IA 52801
Phone: (563) 323-7737, Ext. 230
Fax: (563) 323-7739
E-mail: gjager@pastrnak.com**

Thomas J. Pastrnak*
Candy K. Pastrnak*

Troy D. Venner*

ILLINOIS OFFICE:
6300 75th Ave., Suite A
Milan, IL 61264

Thomas R. Schulz – Of Counsel *
Gregory S. Jager – Of Counsel**
Dee Runnells – Of Counsel*

* Admitted in Iowa and Illinois

** Admitted in Iowa Only

Planning and Zoning Commission
C/o Matt Flynn
City of Davenport
226 W. 4th St
Davenport, Iowa 52801

March 30, 2018

Re: Elmore Corridor Overlay District and
Design Standards

Dear members of the Commission:

We represent THF Davenport North Development, L.L.C., the owner of the Walmart, Dick's, Golf Galaxy and other vacant parcels referred to as Lots 1,4,5,6,7,8, and 10 in the THF First Addition to the City of Davenport, and on behalf of the owner, we object to any rezoning of these parcels or zoning overlay districts being added thereto.

We have thoroughly reviewed the proposed design standards and building restrictions proposed for the Elmore Corners Overlay District and believe they will make it more difficult to market and find tenants or purchasers of the remaining vacant parcels.

The Walmart store was constructed at a time when no one was considering developing Elmore Ave. Recently there has been more than 160,000 sq. ft. of commercial use added to the site with the location/expansion of Dick's Sporting Goods, Golf Galaxy, Field and Stream, and Hobby Lobby. The owner's investment in this area has totaled \$43,158,467. We have worked with Davenport councils and staff for over 17 years to make development on this site possible.

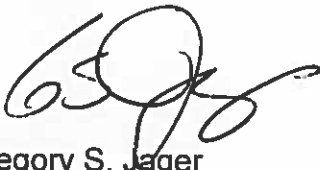
PASTRNAK LAW FIRM, P.C.

Gregory S. Jager
March 30, 2018
Page 2

When Walmart first located in Davenport, the City Council established numerous conditions upon the ultimate development of the site. (ordinances #94-644, 2001-229. 2001-230) with which we have complied. Those conditions were in response to concerns of the Council and neighbors regarding the development, and time has shown that we have not had the adverse impact that some had feared. We consider our development to be a main destination for many shoppers in Davenport and throughout the Quad City area. To impose additional regulations on property which is in the process of development and already subject to council review via the planned development district process is unnecessarily expensive and burdensome.

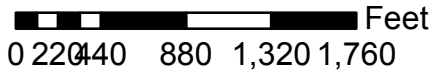
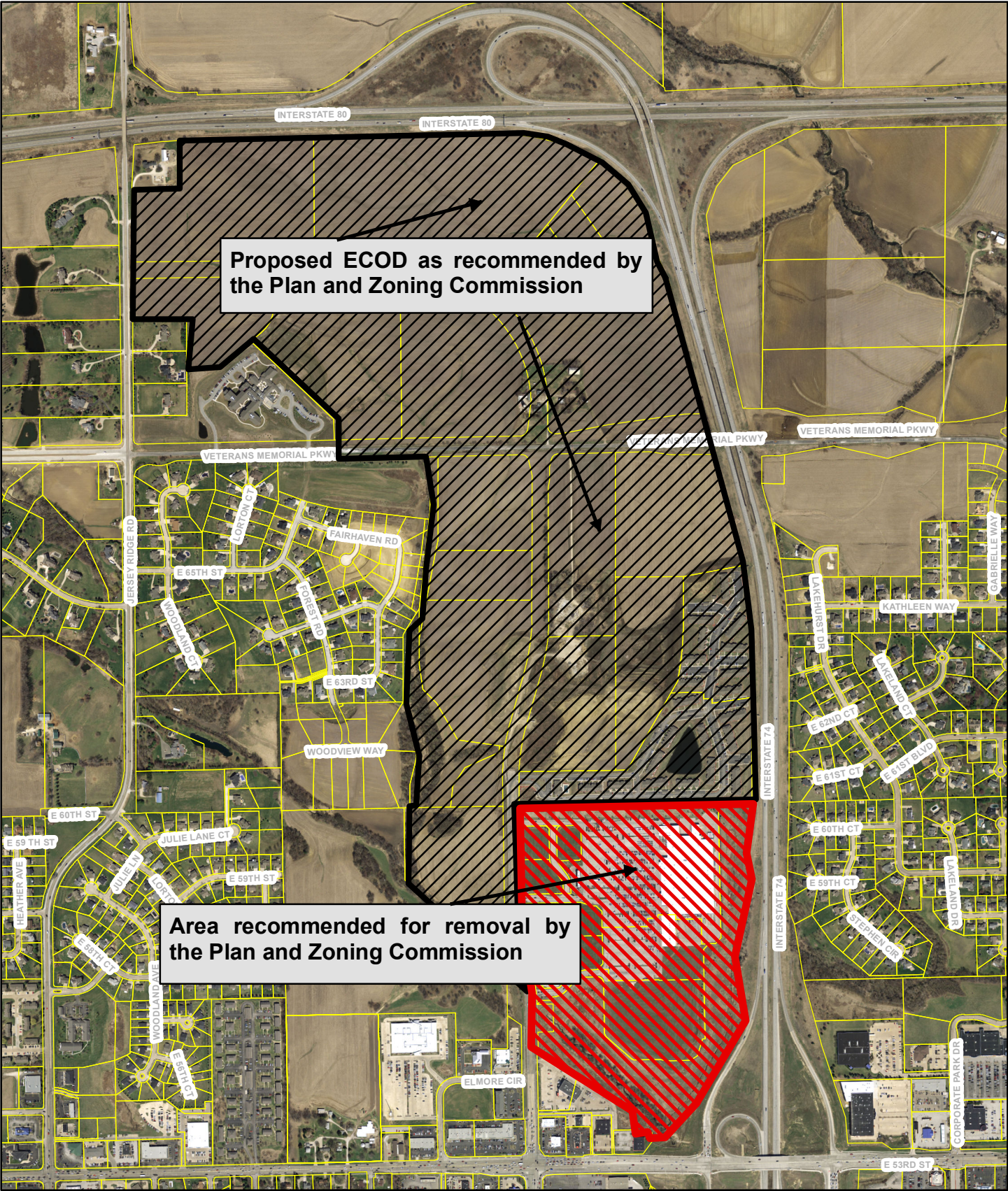
If the council must impose zoning restrictions beyond those already established by law on properties within the area, we ask that our ground be removed from the overlay district. Otherwise, we are opposed to the ECOD Elmore Corners Overlay District, and ask our objection be placed of record.

Sincerely,

A handwritten signature in black ink, appearing to read 'G. Jager', with a large circular flourish at the end.

Gregory S. Jager
Attorney at Law
For: Pastrnak Law Firm
On Behalf of: THF Davenport North Development, L.L.C.

ORD18-01: Proposed ECOD, Elmore Corners Overlay District



City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Zach Peterson; (563) 328-6709
Wards: 3

Action / Date
PW4/18/2018

Subject:

Public hearing on the plans, specifications, form of contract and estimate of cost covering the Main Street Landing, Phase I Construction Project. [Ward 3]

Recommendation:

Hold the hearing

Relationship to Goals:

Vibrant Region

Background:

With the relocation of the Rhythm City Casino to a land-based operation, the City of Davenport is set to commence the redevelopment of the former casino site as the first phase of a re-envisioned public park amenity known as "Main Street Landing."

Phase I will include the construction of the block face known as "N5" (bounded by Brady Street to the West, River Drive to the North, Perry Street to the East, and the Canadian Pacific Railroad to the South). The construction activities outlined by this initial project will lay the groundwork for the construction of a flexible parking lot/event space.

The outlined improvements to be incorporated into this contract are set to commence June 2018 and will include existing site demolition and the construction of site infrastructure, sub-base preparation and, concrete foundation work.

A subsequent contract will be issued this summer to complete the above ground detail work and streetscape edge as those funds become available in July 2018.

The total project cost for this initial contract is estimated at \$484,564.00.

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 11:41 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 9:52 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:13 AM

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: John Powell; (563) 888-2150
Wards: All

Action / Date
PW4/18/2018

Subject:
Public hearing on the FY19 Iowa Department of Transportation State Transit Assistance (STA) Grant application the amount of \$430,350. [All Wards]

Recommendation:
Hold the hearing

Relationship to Goals:
Fiscal Vitality

Background:
Each state fiscal year, the Iowa Department of Transportation has provided financial operating assistance to Davenport public transit. This year the city is requesting to apply for the STA Grant in the amount of \$430,350 for FY19 general operations.

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/12/2018 - 9:30 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 9:30 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:14 AM

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Sandy Doran (563)326-7756
Wards: 6 & 7

Action / Date
PW4/18/2018

Subject:

Public hearing on the plans, specifications, form of contract and estimate of cost for the Davenport Parks Restrooms Project, CIP #30010. [Wards 6 & 7]

Recommendation:

Hold the hearing.

Relationship to Goals:

Sustainable Infrastructure

Background:

Slattery Park and Lower Lindsay Park existing pit toilets are being replaced with new premanufactured buildings that meet ADA Accessibility requirements, building codes and plumbing codes. The new restroom buildings will be connected to existing public sanitary sewer and Iowa American water lines. The new restrooms are located in the general area of existing pit toilets and will include Saniflow Hand Dryers, hot water tanks, reduced pressure zone backflow preventer and a timed electric lock system to help reduce maintenance requirements for parks staff. The estimated cost for this project is \$186,500.

Shive-Hattery, Inc. prepared the plans and specifications for bidding this project.

Project management will be completed by Engineering Division Staff.

ATTACHMENTS:

Type	Description
▢ Backup Material	Plans/Specifications for Davenport Parks Restrooms

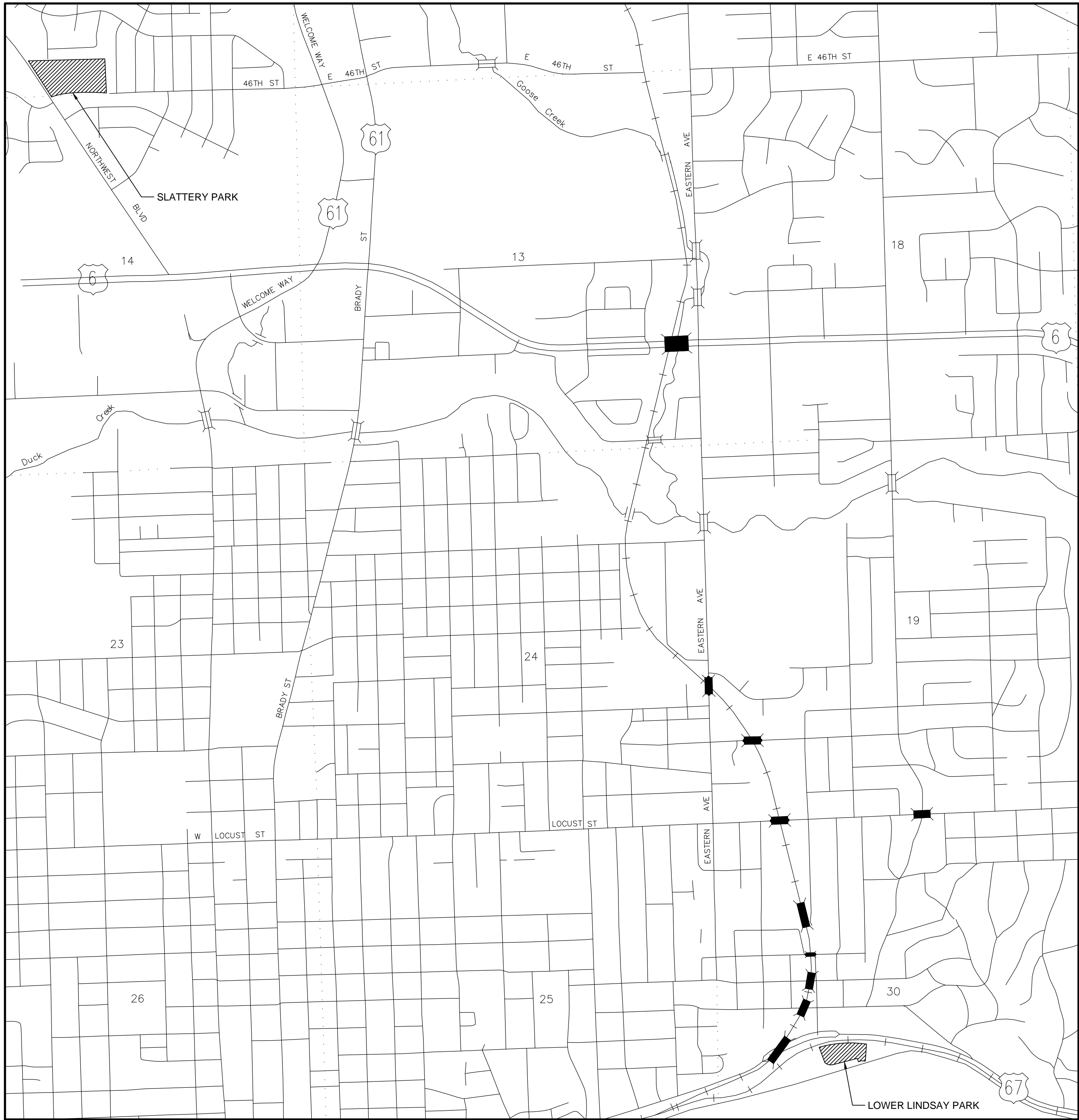
REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 11:58 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 9:53 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:14 AM

DAVENPORT PARKS RESTROOMS

SLATTERY AND LOWER LINDSAY PARKS

DAVENPORT, IOWA



SHEET INDEX	
G000	COVER SHEET
C001	GENERAL NOTES AND FORMATION
C101	SLATTERY PARK SITE PLAN
C102	LOWER LINDSAY PARK SITE PLAN
C501-C502	DETAILS

General Information

- CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR IN THE PROJECT MANUAL SHALL CONFORM TO THE CITY OF DAVENPORT STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- NOTIFY THE APPROPRIATE GOVERNING AUTHORITY A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. THE CITY OF DAVENPORT SHALL BE CONTACTED AS THE INSPECTING AUTHORITY OF NEW PUBLIC FACILITIES.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND THE CITY OF DAVENPORT STANDARDS.
- CONSTRUCTION ACTIVITIES ARE TO BE LIMITED TO THE EXISTING RIGHT-OF-WAY AND EASEMENTS AND TEMPORARY CONSTRUCTION EASEMENTS. IF ADDITIONAL AREAS ARE NEEDED FOR STAGING, STORAGE, ETC., IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN WRITTEN PERMISSION FROM THE PROPERTY OWNER(S). COPIES OF THE AGREEMENTS SHALL BE SUBMITTED TO THE CITY OF DAVENPORT PRIOR TO THE USE OF PROPERTY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN EXISTING FIELD CONDITIONS BEFORE BIDDING ON THIS PROJECT, ORDERING MATERIALS, OR BEGINNING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.



THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE, THIS IS NOT IMPLIED NOR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENTS/CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.

	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>SIGNATURE: _____</p> <p>NAME: <u>PATRICK R. LYNCH</u></p> <p>DATE: _____ LICENSE NUMBER: <u>17235</u></p> <p>MY LICENSE RENEWAL DATE IS: <u>DECEMBER 31, 2019</u></p> <p>PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: _____</p> <p><u>ALL</u></p>
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ONLY THESE COPIES OF THIS DOCUMENT SIGNED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 183C-1.30

GENERAL NOTES

- THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THESE DRAWINGS ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. VERIFYING THE EXISTENCE OF, AND DETERMINING THE EXACT LOCATION OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
- CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR IN THE PROJECT SPECIFICATIONS NOR THE LATEST EDITION OF STANDARD SPECIFICATIONS AND DETAILS FOR THE CITY OF DAVENPORT, IOWA, SHALL CONFORM TO SUDAS.
- CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITIES REGARDING RELOCATION, ADJUSTMENT OR TEMPORARY SUPPORT OF THEIR FACILITIES AND FOR THE INSTALLATION OF MAINS AND SERVICES FOR THEIR RESPECTIVE UTILITY.
- MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION. SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
- ALL OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH REGULATORY REQUIREMENTS.
- KEEP ADJACENT PUBLIC STREETS AND IMPROVED LAND FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT.
- PROTECT ALL EXISTING FEATURES (INCLUDING BUT NOT LIMITED TO WALLS, TREES, LANDSCAPING, DRIVEWAYS, SIDEWALKS, CURBS, PAVEMENT, UTILITIES, ETC.) NOT SPECIFICALLY NOTED FOR REMOVAL. FEATURES NOT DESIGNATED FOR REMOVAL THAT ARE DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- THE MEANS AND METHODS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
- NO WORK SHALL BE PERFORMED BEYOND THE PROPERTY LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
- UNITY TO BE INSTALLED SHALL BE CXT STANDARD BUILDING OZARK 1 MODEL AND WILL BE SUPPLIED BY THE CITY. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATING DELIVERY TO SITE AND INSTALLATION OF UNIT PER MANUFACTURERS RECOMMENDATIONS AND THESE CONSTRUCTION DOCUMENTS.

UTILITY NOTES

- SANITARY SEWER SHALL BE OF MATERIALS APPROVED BY AND INSTALLED IN ACCORDANCE WITH CITY OF DAVENPORT STANDARDS.
- PIPE TRENCHES UNDER AND WITHIN A 1:1 SLOPE OF BUILDING AND PAVEMENT SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH CITY OF DAVENPORT STANDARDS FOR TRENCH BACKFILL.
- WATER SERVICES SHALL BE OF A MATERIAL APPROVED BY AND INSTALLED IN ACCORDANCE WITH THE CITY OF DAVENPORT STANDARD SPECIFICATIONS AND IOWA AMERICAN WATER COMPANY.
- CONTRACTOR TO MAINTAIN 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER INSTALLATIONS.
- ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH CITY OF DAVENPORT STANDARD SPECIFICATIONS.
- COORDINATE POWER INSTALLATION WITH MIDAMERICAN ENERGY COMPANY.

ALL CONSTRUCTION AND METHODS SHALL CONFORM TO THE CITY OF DAVENPORT STANDARD SPECIFICATIONS, THE IOWA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION", LATEST EDITION, AND THE IOWA "STATEWIDE URBAN DESIGNS AND SPECIFICATIONS (SUDAS)", LATEST EDITION.

TABULATION OF UTILITIES

IOWA ONE CALL (CALL TWO WORKING DAYS BEFORE YOU DIG) PHONE: (800) 292-8989 OR 811	MEDIACOM 3900 26TH AVENUE MOLINE, ILLINOIS 61265 PHONE: (309) 743-4735	IOWA COMMUNICATIONS NETWORK 400 E. 1ST STREET DES MOINES, IOWA 50819 PHONE: (515) 725-4400
IOWA-AMERICAN WATER COMPANY 5201 GRAND AVENUE DAVENPORT, IOWA 52807 PHONE: (563) 468-9225	CENTURYLINK 3908 UTICA RIDGE ROAD BETTENDORF, IOWA 52722 PHONE: (563) 355-1893	SBC / AMERITECH / AT&T PHONE: (309) 757-4707
MIDAMERICAN ENERGY COMPANY (GAS) 2811 5TH AVENUE ROCK ISLAND, ILLINOIS 61201 PHONE: (309) 793-3760	PAETEC 1 MARTHA'S WAY HIAWATHA, IOWA 52233 PHONE: (319) 533-3218	
MIDAMERICAN ENERGY COMPANY (ELECTRIC) 2811 5TH AVENUE ROCK ISLAND, ILLINOIS 61201 PHONE: (563) 333-8706	DAVENPORT SEWER DEPARTMENT 1200 E. 46TH STREET DAVENPORT, IOWA 52807 PHONE: (563) 326-7723	
MIDAMERICAN ENERGY COMPANY (HIGH VOLTAGE) ONE RIVERCENTER PLACE 106 EAST 2ND STREET DAVENPORT, IOWA 52801 PHONE: (563) 333-8186	DAVENPORT TRAFFIC ENGINEERING 1200 E. 46TH STREET DAVENPORT, IOWA 52807 PHONE: (563) 326-7781	

SLATTERY PARK PLUMBING NOTES

- CONTRACTOR SHALL ROUTE ALL PIPING IN A NEAT AND ORGANIZED MANNER ALONG WALLS TO AVOID TRIPPING HAZARDS AND KEEP UTILITY ROOM AS OPEN AS POSSIBLE.
- CONTRACTOR SHALL ROUTE VENT PIPING FROM 2" RISER AT FLOOR LEVEL TO 3" VTR TERMINATION. CONTRACTOR SHALL CONNECT VENTS FROM ALL FIXTURES INTO THE VENT RISER WITH THE CONNECTION POINTS MADE NO LOWER THAN THE FLOOD RIM OF THE HIGHEST PLUMBING FIXTURE. VENT SIZES SHALL BE 2" FROM WATER CLOSET, 1 1/2" FROM LAVATORY, AND 1" FROM EACH FLOOR DRAIN.
- CONTRACTOR SHALL ROUTE 4" SANITARY FROM WATER CLOSET AND 2" SANITARY FROM LAVATORY TO SANITARY MAIN LEAVING THE BUILDING IN THE PLUMBING BLOCKOUT AREA.
- CONTRACTOR SHALL ROUTE 1 1/2" CW FROM BLOCKOUT PLUMBING AREA TO BFP-1. CONTRACTOR SHALL THEN ROUTE 1 1/2" CW FROM BFP TO FIXTURES. 1 1/2" CW TO WATER CLOSET, 3/4" CW TO WATER HEATER, 3/4" CW TO LAVATORY, AND 3/4" HW FROM WATER HEATER TO LAVATORY. WATER HEATER PROVIDED WITH BUILDING AS A SPECIFIED OPTION.
- INSTALL WATER METER UPSTREAM OF ALL DEVICES IN AN ACCESSIBLE LOCATION IN THE MECHANICAL ROOM.
- ALL PIPES SHALL BE INSTALLED IN A MATTER THAT IS DRAINABLE, PROVIDE ALL NECESSARY FITTINGS AS REQUIRED.

LOWER LINDSAY PARK PLUMBING NOTES

- CONTRACTOR SHALL ROUTE ALL PIPING IN A NEAT AND ORGANIZED MANNER ALONG WALLS TO AVOID TRIPPING HAZARDS AND KEEP UTILITY ROOM AS OPEN AS POSSIBLE.
- CONTRACTOR SHALL ROUTE VENT PIPING FROM 2" RISER AT FLOOR LEVEL TO 3" VTR TERMINATION. CONTRACTOR SHALL CONNECT VENTS FROM ALL FIXTURES INTO THE VENT RISER WITH THE CONNECTION POINTS MADE NO LOWER THAN THE FLOOD RIM OF THE HIGHEST PLUMBING FIXTURE. VENT SIZES SHALL BE 2" FROM WATER CLOSET, 1 1/2" FROM LAVATORY, 1 1/2" FROM DRINKING FOUNTAIN, AND 1" FROM EACH FLOOR DRAIN.
- CONTRACTOR SHALL ROUTE 4" SANITARY FROM WATER CLOSET, 2" SANITARY FROM LAVATORY, 2" SANITARY FROM DRINKING FOUNTAIN TO SANITARY MAIN LEAVING THE BUILDING IN THE PLUMBING BLOCKOUT AREA.
- CONTRACTOR SHALL ROUTE 1 1/2" CW FROM BLOCKOUT PLUMBING AREA TO BFP-1. CONTRACTOR SHALL THEN ROUTE 1 1/2" CW FROM BFP TO FIXTURES. PIPING TO WATER CLOSET SHALL BE 1 1/2", 3/4" CW TO WATER HEATER, 3/4" CW TO DRINKING FOUNTAIN, 3/4" CW TO LAVATORY, AND 3/4" HW FROM WATER HEATER TO LAVATORY. WATER HEATER PROVIDED WITH BUILDING AS A SPECIFIED OPTION.
- INSTALL WATER METER UPSTREAM OF ALL DEVICES IN AN ACCESSIBLE LOCATION IN THE MECHANICAL ROOM.
- ALL PIPES SHALL BE INSTALLED IN A MATTER THAT IS DRAINABLE, PROVIDE ALL NECESSARY FITTINGS AS REQUIRED.

REDUCED PRESSURE ZONE BACKFLOW PREVENTER

BFP-1: A BACKFLOW PREVENTER SHALL BE INSTALLED AT EACH PARK LOCATION FOR THE SERVICE SIZE SPECIFIED
BACKFLOW PREVENTER - 1 1/2" REDUCED PRESSURE ZONE, LEAD FREE BRONZE OR STAINLESS STEEL CONSTRUCTION, DIFFERENTIAL PRESSURE RELIEF VALVE BETWEEN SPRING-LOADED CHECK VALVES, INLET AND OUTLET SHUTOFF GATE VALVES, MAXIMUM OF 10 PSI PRESSURE DROP AT 40 GPM, AIR GAP DRAIN FITTING, TEST PORTS UPSTREAM OF STRAINER. PROVIDE WITH AIR GAP FITTING ON DRAIN. ROUTE DRAIN PIPING FROM AIR GAP FITTING TO NEAREST FLOOR DRAIN IN A MANNER TO PREVENT A TRIPPING HAZARD. MANUFACTURER: WATTS 994, WILKINS, CONBRACO/APPOLLO.

SLATTERY PARK

CONTROL POINT TABLE

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	584661.87	2438165.19	728.01	CP1 MAGNAIL
2	585089.92	2438130.96	728.02	CP2 MAGNAIL
3	584903.28	2438137.74	729.69	CP3 MAGNAIL

LOWER LINDSAY PARK

CONTROL POINT TABLE

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
4	570847.16	2449270.00	564.27	CP4 HUB
5	570747.56	2449142.28	564.87	CP5 MAGNAIL
6	570848.42	2449482.62	564.72	CP6 MAGNAIL

STANDARD SPECIFICATIONS FOR BOTH PARKS

1.1 SANITARY SEWERS, SOIL, WASTE AND VENT MATERIALS

Material	Service
1. Cast iron soil pipe, service weight, bell and spigot, ASTM A74.	
a. Asphalt coated	Sanitary and storm sewers
b. Uncoated.	Aboveground soil, waste, vent, and downspouts 3" diameter and over
2. Copper water tube, hard temper, ASTM B88.	
a. Type M.	Aboveground soil, waste, and vent up to and including 3" diameter.
3. Copper drainage tube, hard temper, Type DWV. ASTM B306.	Aboveground soil, waste and vent, up to and including 2-1/2" diameter, as permitted by Code.
4. Solid wall sched 40 PVC pipe ASTM D2665 drain waste and vent.	Aboveground soil, waste and vent piping.
B. Fittings	
1. Copper drainage tube (M) - Cast bronze fittings, solder joint fittings. ANSI B.16, 23-69.	
2. Solid wall schedule 40 PVC DWV - solvent cemented joints per ASTM D2665.	

1.2 DOMESTIC WATER PIPING

Material	Service
5. Copper water tube, hard temper, ASTM B88.	
b. Type K,	Domestic water lines under building, concealed in solid concrete or masonry walls or construction, underground water service up to 3".
c. Type L,	Aboveground domestic water lines.
6. PVC Pipe, Schedule 40, ASTM D1785 .	Underground and aboveground domestic water lines,
B. Fittings	
1. Copper water tube, cast bronze or wrought copper, solder joint type. ANSI B16.18 and B16.22.	
2. PVC Schedule 40 Fittings: ASTM D2466, socket type.	

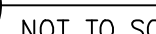
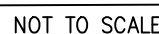
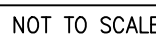
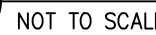
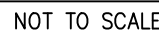
ESTIMATED QUANTITIES

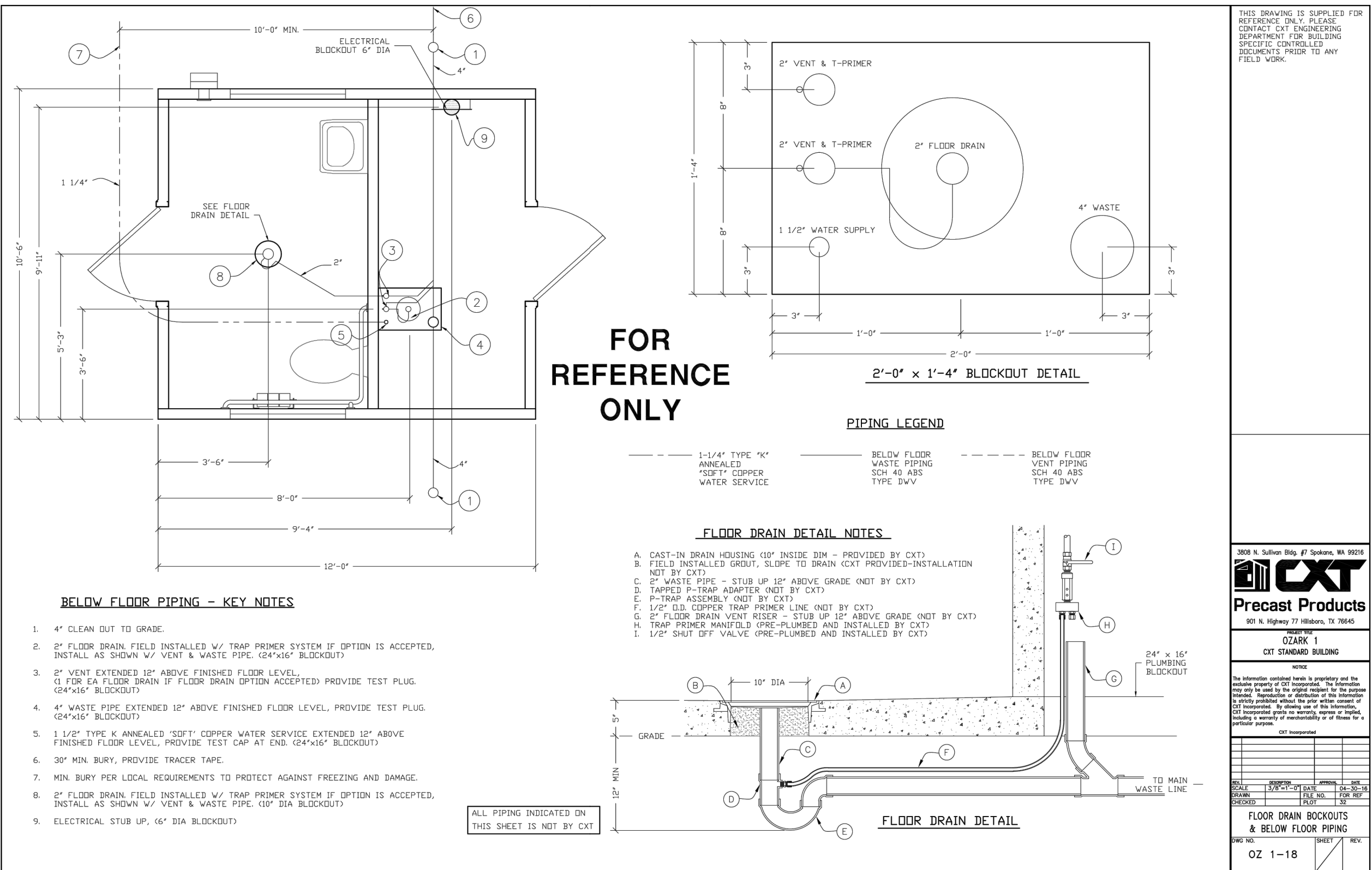
NO	DESCRIPTION	UNIT	ESTIMATED QUANTITIES	
			SLATTERY	LOWER LINDSAY
1	1 1/2" WATER SERVICE	LF	264	-
2	1 1/2" CURB STOP AND BOX	EA	1	-
3	1 1/2" TAP INTO WATER MAIN	EA	1	-
4	2" WATER SERVICE	LF	-	600
5	2" CURB STOP AND BOX	EA	-	1
6	2" TAP INTO WATER MAIN	EA	-	1
7	PERMANENT BLOWOFF ASSEMBLY	EA	1	1
8	4" PVC SANITARY SEWER	LF	185	361
9	CLEANOUT	EA	3	6
10	SANITARY MANHOLE CONNECTION	EA	1	1
11	PCC PAVEMENT PATCH COMPLETE	SY	49	-
12	PCC TRAIL PATCH COMPLETE	SY	-	121
13	HMA PATCH COMPLETE	SY	-	23
14	PCC SIDEWALK PATCH COMPLETE	SF	31	-
15	PCC SIDEWALK, 4"	SF	262	215
16	CONCRETE STOOP	EA	2	2
17	AGGREGATE SUBBASE	CY	6	5
18	ENGINEERING BACKFILL	CY	5	5
19	EXISTING RESTROOM ENCLOSURE REMOVAL, INCL. TANK	EA	1	1
20	TOPSOIL, STRIPPING, STOCKPILING, AND RESPREADING	CY	66	124
21	EARTHWORK, FILL (NATIVE MATERIAL)	CY	25	30
22	SURFACE RESTORATION	SY	764	1,430
23	ELECTRICAL SERVICE	LF	188	186
24	INTERNAL PLUMBING	LS	1	1
25	ELECTRICAL SERVICE CONNECTION	LS	1	1
26	EROSION AND SEDIMENT CONTROL	LS	1	1

3010.103	FLEXIBLE GRAVITY PIPE TRENCH BEDDING
4010.203	SANITARY SEWER CLEANOUT
5010.901	MINIMUM CLEARANCE BETWEEN WATER SERVICE AND STRUCTURE
7010.901	PCC PAVEMENT JOINTING
7040.101	FULL DEPTH PCC PATCHES LESS THAN OR EQUAL TO 15' LONG
7040.102	FULL DEPTH PCC PATCHES GREATER THAN 15' LONG
7040.103	FULL DEPTH HMA PATCHES
9040.119	SILT FENCE



NOT TO SCALE



DAVENPORT PARKS
RESTROOMS

CITY OF DAVENPORT
DAVENPORT, IOWA

[illegible]

DRAWN:	JAW
APPROVED:	PRL
ISSUED FOR:	REVIEW
DATE:	03/21/2018
PROJECT NO:	3173370
FIELD BOOK:	--
CLIENT NO:	--

DETAILS

C502

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Gary Statz (563) 326-7754
Wards: 6

Action / Date
PW4/18/2018

Subject:

Public hearing on the plans, specifications, form of contract and estimate of cost for the installation of traffic signals at the intersection of Utica Ridge Road and Veterans Memorial Parkway/Forest Grove Drive. [Ward 6]

Recommendation:

Hold the public hearing.

Relationship to Goals:

Sustainable Infrastructure.

Background:

This project involves the installation of new traffic signals at the intersection of Utica Ridge Road and Veterans Memorial Parkway/Forest Grove Drive. Plans and specifications were prepared by City of Davenport staff.

This intersection will be added to the schedule of signalized intersections in the ordinance just before the signals are activated.

The signals are expected to be operating by the time the current Veterans Memorial Parkway project (Jersey Ridge to Elmore) is completed.

ATTACHMENTS:

Type	Description
▣ Exhibit	PW_PH_Utica Ridge at VMP signals_pg 2

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/12/2018 - 9:53 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 9:54 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:14 AM

**NOTICE OF PUBLIC HEARING ON PLANS, SPECIFICATIONS, AND FORM OF CONTRACT
FOR THE UTICA RIDGE ROAD AND VETERANS MEMORIAL PARKWAY/FOREST GROVE
DRIVE TRAFFIC SIGNAL INSTALLATION PROJECT.**

Notice is hereby given that at 5:30 p.m. on April 18, 2018, in the City Council Chambers, City Hall, Davenport, Iowa, there will be conducted a hearing on the plans, specifications, and form of contract which the City Council has caused to be filed with the City Clerk of the City of Davenport, Iowa for the installation of traffic signals at Utica Ridge Road and Veterans Memorial Parkway/Forest Grove Drive.

At said hearing, any interested person may file written objection or comment with respect to the plans, specifications, form of contract, or cost of or necessity for such improvement, and may be heard orally with respect thereto. (P.O. 2018/1814353)

Jackie E. Holecek
Deputy City Clerk

Davenport, Iowa
March 29, 2018

Publish once April 4, 2018
QUAD-CITY TIMES

City of Davenport

Agenda Group: Community Development
Department: Community Planning & Economic Development
Contact Info: Matt Flynn 888-2286
Wards: 7

Action / Date
3/21/2018

Subject:

Third Consideration: Ordinance for Case No. REZ18-01 being the request of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 3 of Ryde High 2nd Addition located on the south side of East 46th Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]

Recommendation:

Adopt the Ordinance

Findings:

That the proposed development fits with the surrounding developments.

The City Plan and Zoning Commission accepts the findings and forward Case No. REZ18-01 to the City Council for approval subject to the following condition:

1. That the Proposed Land Use Map for Davenport+2035 be corrected to include this area as Residential General as shown in Exhibit "A".
2. That the center access point for 46th Street be moved eastward as far as practical (separation should be 230 feet) though may be less if approved by the Traffic Engineer.

The Commission vote was 9-yes, 0-no and 0 abstention.

THE PROTEST RATE IS 0.0%.

Relationship to Goals:

Welcome Investment

Background:

The existing zoning is currently C-2 General Commercial. The Planned Unit Development (PUD) is a residential enhancement, therefore the residential downzoning. With regard to multiple family development the C-2 and R-6M zoning allow the same density. The rezoning to the R-6M Planned Unit Development is to facilitate town home development with each unit on its own lot (fee simple tile of land with each unit). The existing commercial zoning allows for multiple family (apartments) but not attached town home units on individual lots.

A final development plan and subdivision will also be required prior to the property being developed.

For further background information please refer to the background materials.

ATTACHMENTS:

Type

Description

- ▣ Resolution Letter
- ▣ Backup Material

REZ18-01 Ord only

REZ18-01 Background

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Thorndike, Tiffany	Approved	3/16/2018 - 11:53 AM

City of Davenport

Committee: Community Development
Department: Community Planning & Economic Development
Contact Info: Matt Flynn 326-7743
Ward: 7th

Action / Date
CD 03/21/18

Subject:

ORDINANCE for Case No. REZ18-01 being the request of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 3 of Ryde High 2nd Addition located on the south side of East 46th Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]

Recommendation:
Adopt the Ordinance

Findings:

That the proposed development fits with the surrounding developments

The City Plan and Zoning Commission accepts the findings and forward Case No. REZ18-01 to the City Council for approval subject to the following condition:

1. That the Proposed Land Use Map for Davenport+2035 be corrected to include this area as Residential General as shown in Exhibit "A".
2. That the center access point for 46th Street be moved eastward as far as practical (separation should be 230 feet) though may be less if approved by the Traffic Engineer.

The Commission vote was 9-yes, 0-no and 0 abstention.

THE PROTEST RATE IS 0.0%.

Relationship to Goals:
Welcome Investment

Background:

The existing zoning is currently C-2 General Commercial. The Planned Unit Development (PUD) is a residential enhancement, therefore the residential downzoning. With regard to multiple family development the C-2 and R-6M zoning allow the same density. The rezoning to the R-6M Planned Unit Development is to facilitate town home development with each unit on its own lot (fee simple tile of land with each unit). The existing commercial zoning allows for multiple family (apartments) but not attached town home units on individual lots.

A final development plan and subdivision will also be required prior to the property being developed.

For further background information please refer to the background materials.

ORDINANCE NO.

ORDINANCE for Case No. Case No. REZ18-01 being the request of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 3 of Ryde High 2nd Addition located on the south side of East 46th Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1. The following described unit of Scott County, Iowa real estate is hereby rezoned. The property has the following legal description:

Part of the Southwest Quarter of Section 12, Township 78 North, Range 3 East of the 5th Principal Meridian, more particularly described as follows:

Lot 3 of Ryde High Second Addition to the City of Davenport, County of Scott, Iowa.

The above described Tract contains 1.19 acres, more or less.

The City Plan and Zoning Commission accepted the findings and forwards Case No. REZ18-01 to the City Council for approval subject to the following conditions:

1. That the Proposed Land Use Map for Davenport+2035 be corrected to include this area as Residential General as shown in Exhibit "A".
2. That the center access point for 46th Street be moved eastward as far as practical (separation should be 230 feet) though may be less if approved by the Traffic Engineer.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration _____

Second Consideration _____

Approved _____

Frank Klipsch, Mayor

Attest: _____
Jackie Holecek, CMC, Deputy City Clerk

Published in the *Quad City Times* on _____



March 07, 2018

Honorable Mayor and City Council
City Hall
Davenport, IA 52801

Honorable Mayor and City Council:

At its regular meeting of March 06, 2018, the City Plan and Zoning Commission considered Case No. REZ18-01 being the request of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 3 of Ryde High 2nd Addition located on the south side of East 46th Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]

The existing zoning is currently C-2 General Commercial. The Planned Unit Development (PUD) is a residential enhancement, therefore the residential downzoning. With regard to multiple family development the C-2 and R-6M zoning allow the same density. The rezoning to the R-6M Planned Unit Development is to facilitate town home development with each unit on its own lot (fee simple tile of land with each unit). The existing commercial zoning allows for multiple family (apartments) but not attached town home units on individual lots.

A final development plan and subdivision will also be required prior to the property being developed.

Findings

That the proposed development fits with the surrounding developments

Recommendation:

The City Plan and Zoning Commission accepts the finding and forwards Case No. REZ18-01 to the City Council for approval subject to the following condition:

1. That the Proposed Land Use Map for Davenport+2035 be corrected to include this area as Residential General as shown in Exhibit "A".
2. That the center access point for 46th Street be moved eastward as far as practical (separation should be 230 feet) though may be less if approved by the Traffic Engineer.

Respectfully submitted,

Robert Inghram, Chairperson
City Plan and Zoning Commission



APPROVED		TABLED ONE CYCLE							
Name:	Roll Call	REZ18-01 FOREST VIEW LLC TOM SWANWICK	F18-02 BETT'S CORP- ORATION 2ND						
Connell	P	Y	Y						
Hepner	P	Y	Y						
Inghram	P								
Kelling	P	Y	Y						
Lammers	P	Y	Y						
Maness	P	Y	Y						
Martinez	A								
Medd	P	Y	Y						
Quinn	P	Y	Y						
Reinartz	P	Y	Y						
Tallman	P	Y	Y						
		9-YES 0-NO 0-ABSTAIN	9-YES 0-NO 0-ABSTAIN						



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: March 06, 2018
Request: C-2 General Commercial to R-6M Planned Unit Development
Address: Lot 3 Ryde High 2nd Add'n – S of E 46th St between Grand & Tremont Aves
Case No.: REZ18-01
Applicant: David Meyer on behalf of Tom Swanwick dba Forest View LLC

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. REZ18-01 to the City Council for approval subject to the listed condition.

Introduction:

Request of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 3 of Ryde High 2nd Addition located on the south side of East 46th Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]

AREA CHARACTERISTICS:

Aerial

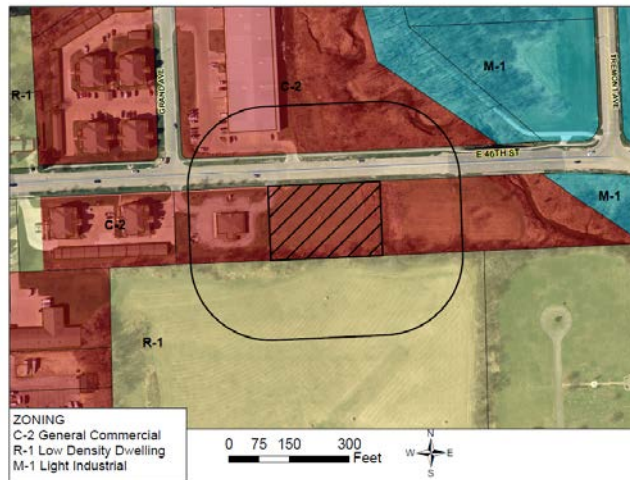


2014 Aerial Photo

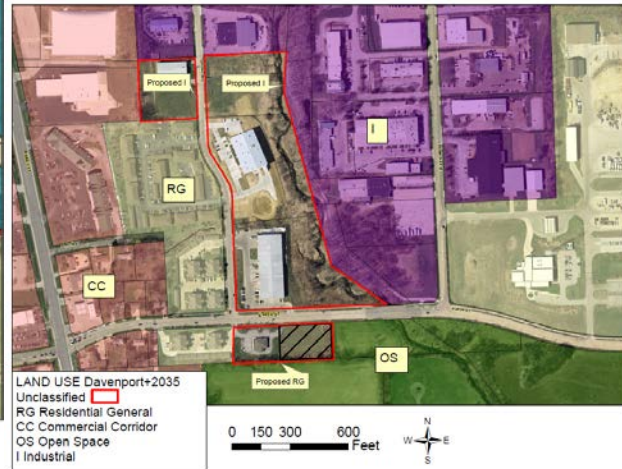
0 100 200 400
Feet



Zoning Map



Land Use



Background: **Comprehensive Plan:**

Within Urban Service Boundary +2035: Yes

Future Land Use Designation: The property being rezoned, the abutting property to the west and the area north of 46th Street (outlined in red) was missed during the development of the Davenport+2035 Land Use map. Staff would suggest that this be rectified as part of this rezoning.

Staff proposes the area south of 46th Street be classified as Residential General (RG) and the area north of 46th Street be classified as Industrial (I).

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant Goals to be considered in this Case:

Identify and reserve land for current and future development – *encourage a full range of development.*

Zoning:

The property is currently zoned "C-2" General Commercial District. The C-2 designation would allow for multiple family (apartments) similar to those developed to the west and northwest. The Planned Unit Development would allow for the attached town homes on individual lots (fee simple title).

Technical Review:

Streets. The property is located along East 46th Street east of Brady Street / Welcome Way couplet. East 46th St dead-ends east at the railroad to the east. There is a separation requirement for the driveways of 203 feet. The topography may not allow a full 230 feet but discussion with the City's Development and Traffic Engineers should be held earlier than later.

Storm Water. Stormwater infrastructure is located in East 46th Street.

Sanitary Sewer. Sanitary sewer service is located along the south side of East 46th Street (8-inch line).

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately 1-1/2 miles from Fire Stations No. 3 at 3506 Harrison Street and 2-miles from Fire Station No. 8 at 2820 E 53rd Street.

Parks/Open Space. The proposed rezoning does not impact any existing or planned parks or public open spaces.

Public Input:

A neighborhood meeting was held February 13th at the Public Works Center. No one from the notice area attended. The developer presented staff with the proposed building elevations (not complete) and floor plans.

Discussion:

Zoning

The existing zoning is currently C-2 General Commercial. The Planned Unit Development (PUD) is a residential enhancement, therefore the residential downzoning. With regard to multiple family development the C-2 and R-6M zoning allow the same density.

The rezoning to the R-6M Planned Unit Development is to facilitate town home development with each unit on its own lot (fee simple title of land with each unit). The existing commercial zoning allows for multiple family (apartments) but not attached town home units on individual lots.

A final development plan and subdivision will also be required prior to the property being developed.

Staff Recommendation:

Findings:

That the proposed development fits with the surrounding developments

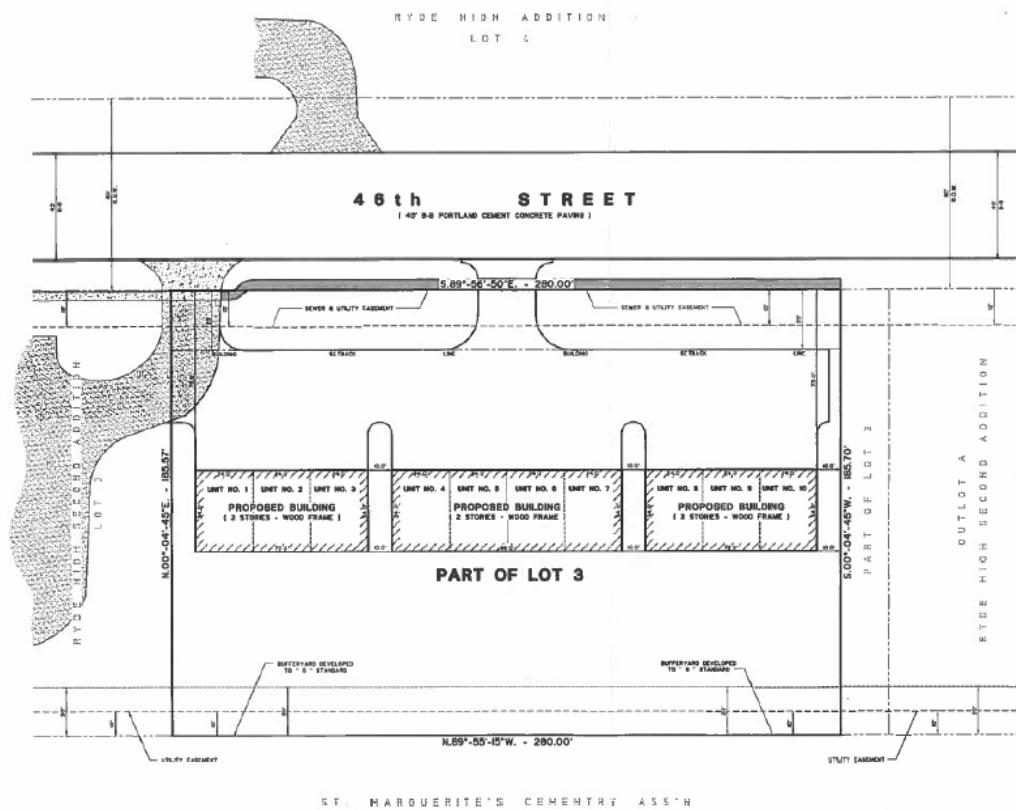
Recommendation:

Staff recommends the City Plan and Zoning Commission accepts the findings and forward Case No. REZ18-01 to the City Council for approval subject to the following condition:

1. That the Proposed Land Use Map for Davenport+2035 be corrected to include this area as Residential General as shown in Exhibit "A".
2. That the center access point for 46th Street be moved eastward as far as practical (separation should be 230 feet) though may be less if approved by the Traffic Engineer.

Prepared by:

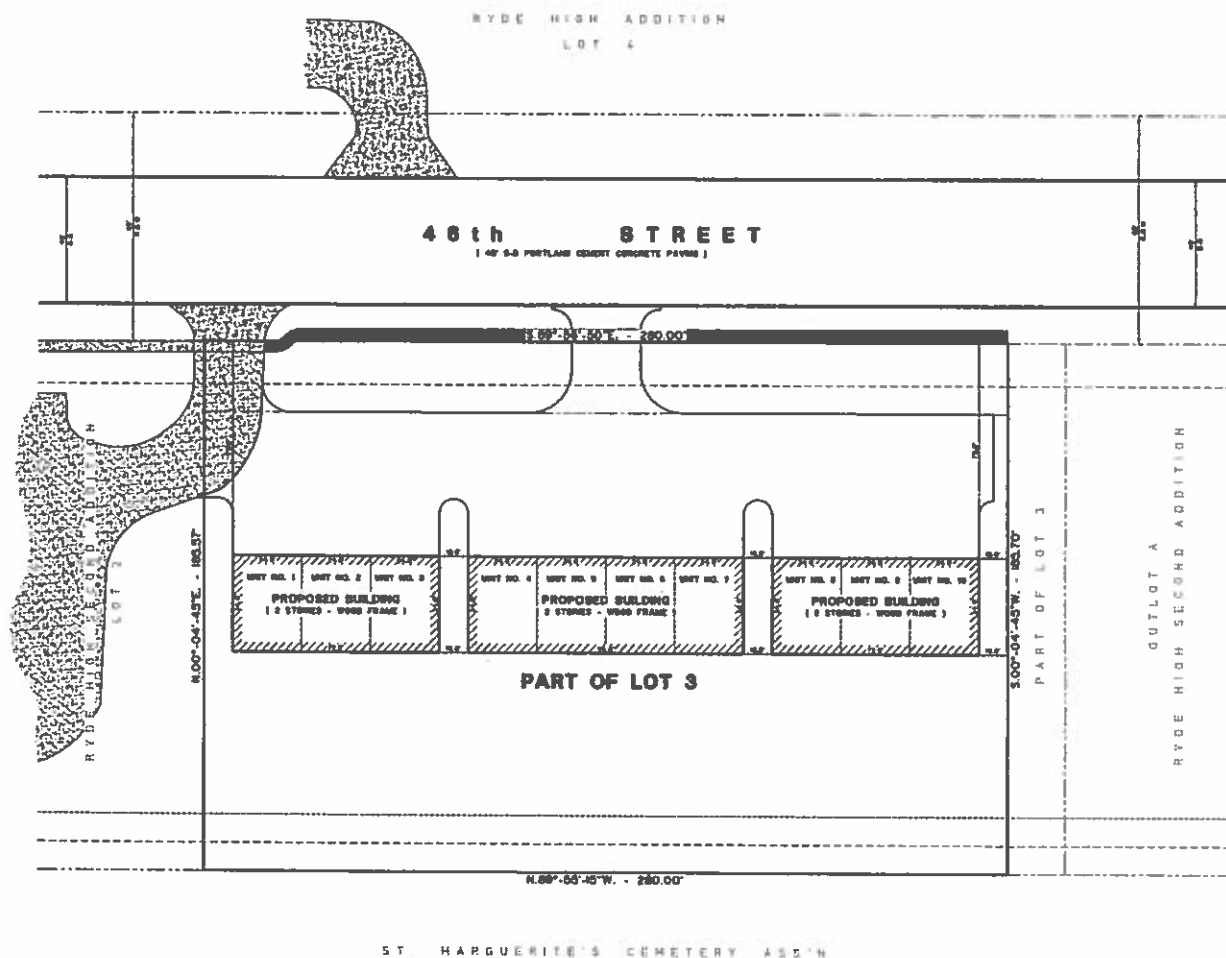
Wayne Wille, CFM - Planner II
Community Planning Division



Concept Plan



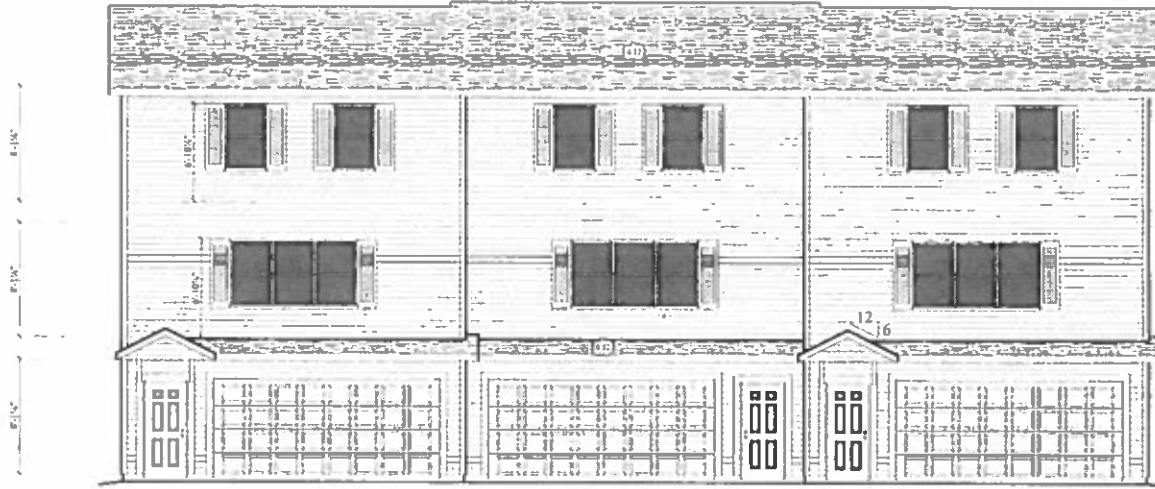
**PART OF LOT 3
RYDE HIGH SECOND ADDITION
DAYTONPORT, IOWA
SITE PLAN
SHEET 1 OF 1**



PREPARED BY
VERBEKE - MEYER
CONSULTING ENGINEERS, P.C.

4111 EAST 90th STREET
DAYTONPORT, IOWA 52807
PHONE NUMBER: (563) 399 - 1349

VMCE 17263 - 82

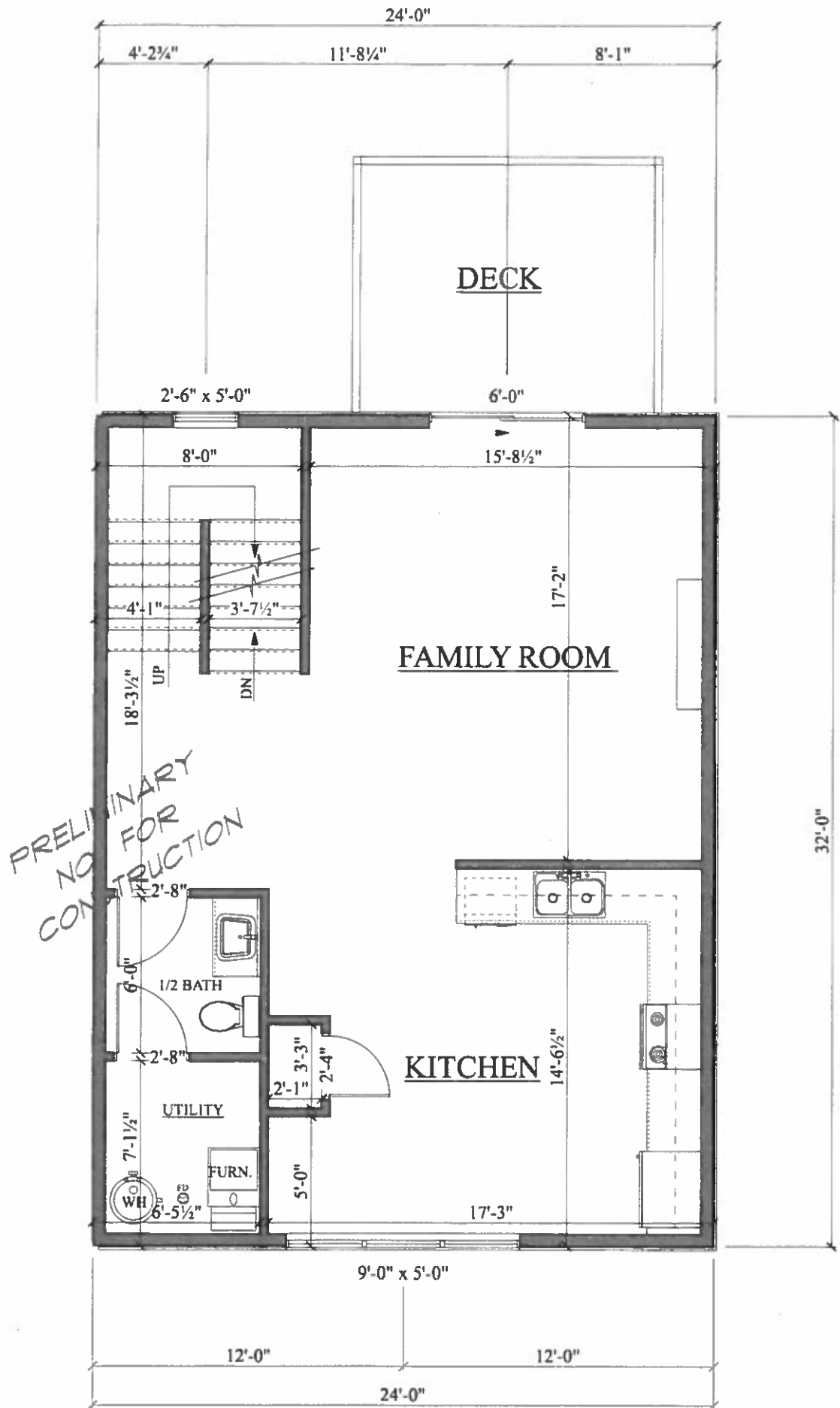


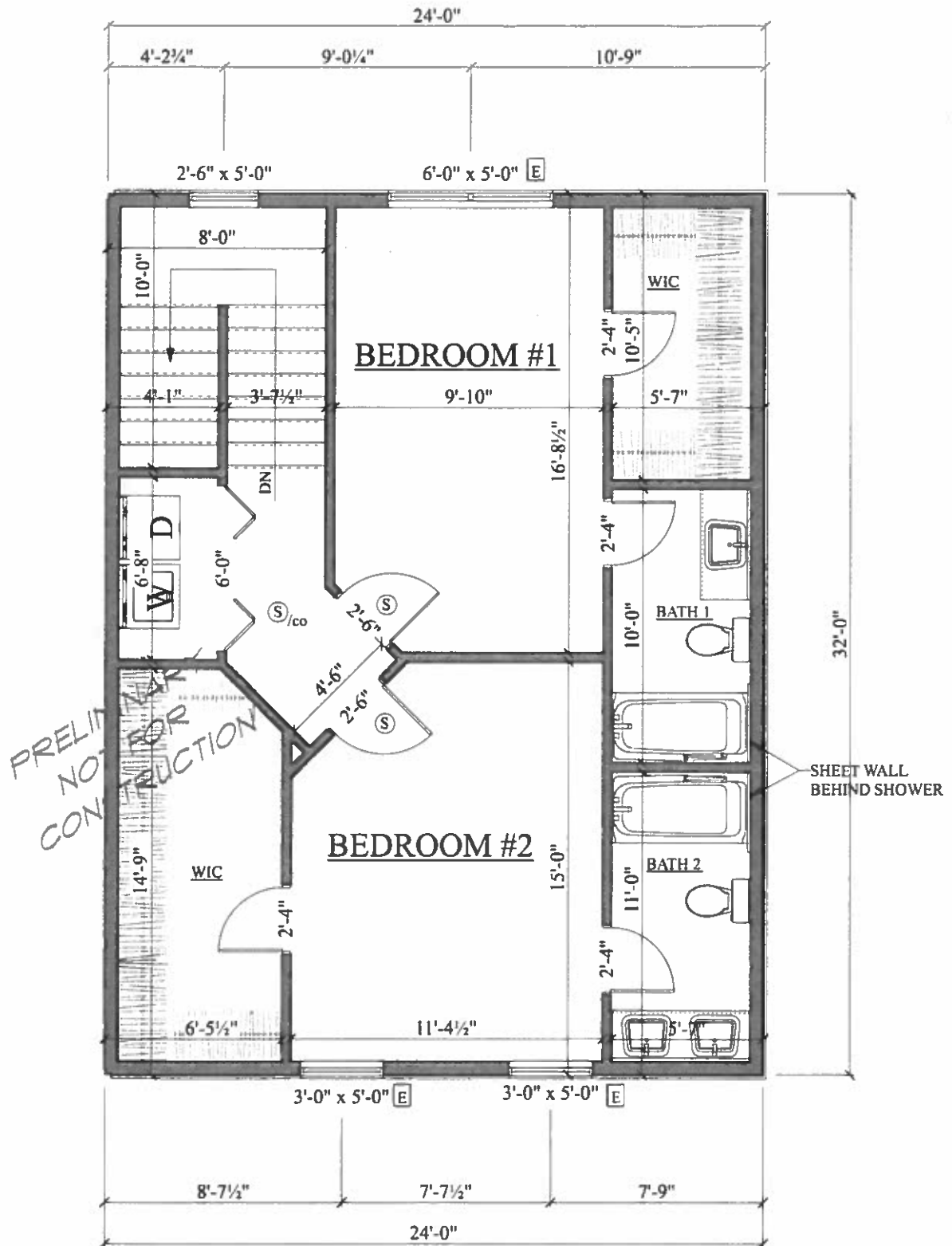
FRONT ELEVATION

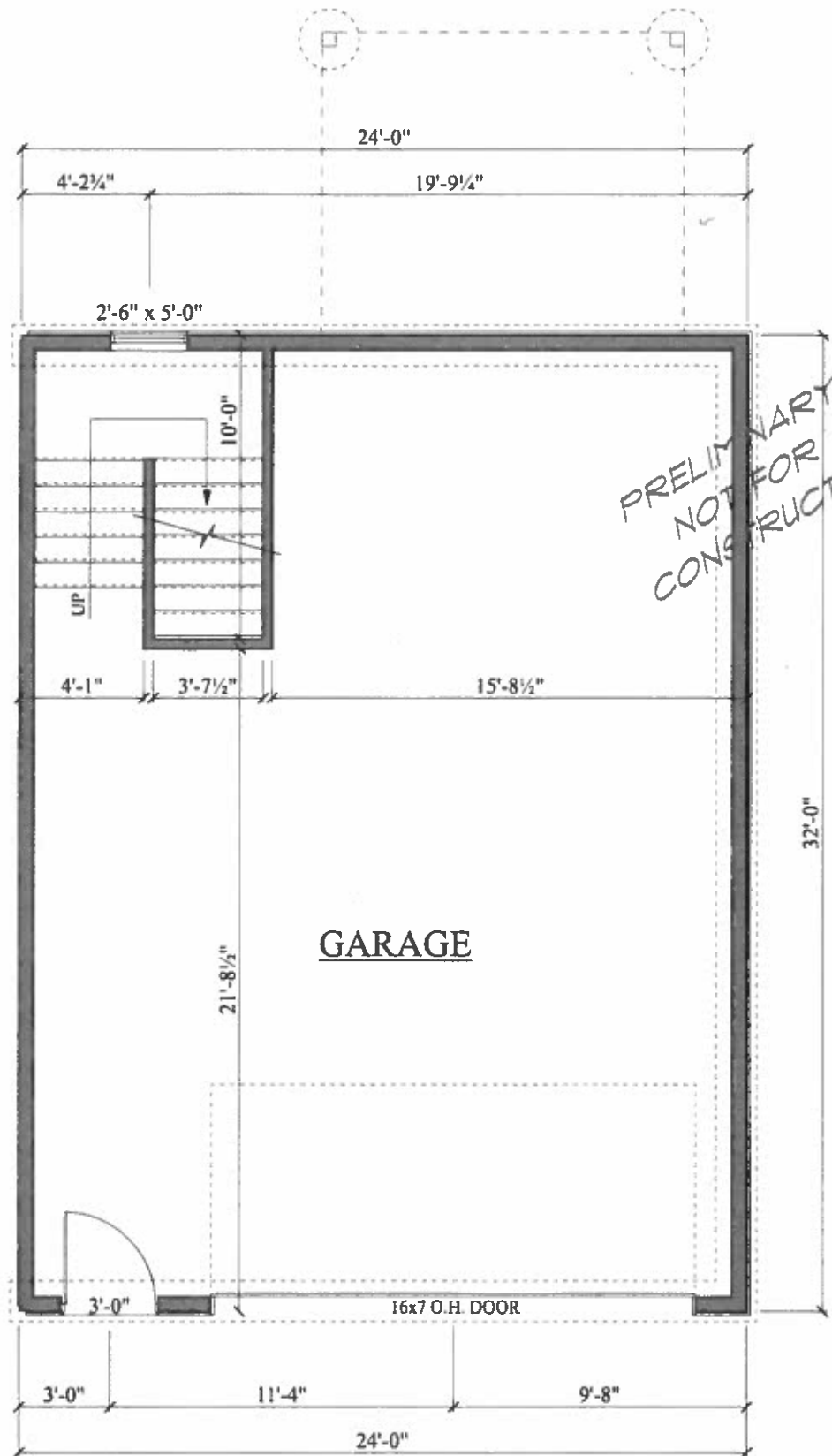


REAR ELEVATION

SHEET # 1	JOB # 1972-1017 SCALE 1/4" = 1'-0" February 28, 2015	SUBJECT NAME SWANEY WEST 46TH CONDOS	SHEET DESCRIPTION Front & Rear Elevations
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City of Davenport

Agenda Group: Community Development
Department: Community Planning & Economic Development
Contact Info: Matt Flynn 563.888.2286
matt.flynn@ci.davenport.ia.us
Wards: All

Action / Date
CD4/18/2018

Subject:

First Consideration: Ordinance for Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

Recommendation:

The Plan and Zoning Commission forwards Case No. ORD18-03 to the City Council with a recommendation for approval.

The Plan and Zoning Commission vote was 4-yes and 2-no.

Relationship to Goals:

Enhance quality of life.

Background:

Currently, the Zoning Ordinance does not regulate the sale of fireworks and explosive devices other than to require retail locations be located on property that is zoned "C-1" Neighborhood Shopping District or higher.

The proposed ordinance would allow the sale and storage of fireworks and explosive devices to be located on property zoned "M-1" Light Industrial District subject to such use being located more than one thousand feet from any residential district.

ATTACHMENTS:

Type	Description
▣ Ordinance	Proposed Ordinance
▣ Backup Material	Plan and Zoning Commission Letter to City Council
▣ Backup Material	4-3-2018 Plan and Zoning Commission Vote Results
▣ Backup Material	Staff Report to Plan and Zoning Commission

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Rusnak, Ryan	Approved	4/11/2018 - 10:47 AM

ORDINANCE NO. 2018 -

ORDINANCE for Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

NOW, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1. Section 17.36.030.B.6 of the Davenport Municipal Code is hereby amended to read as follows:

6. Unclassified Uses.
 - a. Animal pound for detention only;
 - b. Building materials (cement, lime, sand, gravel, lumber, and the like), storage and sales;
 - c. Carbon paper and inked ribbon manufacture;
 - d. Cigar and cigarette, chewing and smoking tobacco;
 - e. Circus and fair grounds;
 - f. Coal and coke storage and sales;
 - g. Contractor's shop and storage yard;
 - h. Drive-in or outdoor theater;
 - i. Exposition building or center;
 - j. Electric transforming station;
 - k. Feed and grain storage;
 - l. Fur finishing;
 - m. Greenhouses, wholesale;
 - n. Ice manufacture and cold storage;
 - o. Leather goods manufacture, but not including tanning operations;
 - p. Livery stables and riding academies;
 - q. Motion picture production;
 - r. Public utility storage yard;
 - s. Accessory buildings and uses customarily incident to the uses permitted by this chapter;
 - t. Sale and storage of fireworks and explosive devices, subject to such uses being located more than one thousand feet from any residential district.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration _____

Second Consideration _____

Approved _____

Frank Klipsch, Mayor

Attest: _____

Jackie Holecek, CMC
Deputy City Clerk

Published in the *Quad City Times* on _____

April 4, 2018

Honorable Mayor and City Council
City Hall
226 West 4th Street
Davenport, Iowa 52801

At its regular meeting of April 3, 2018, the City Plan and Zoning Commission considered Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

Finding:

1. Due to the nature of the explosive materials, specific land use and separation from residential districts is warranted.

The Plan and Zoning Commission accepted the listing finding and forwards Case ORD18-03 to the City Council with a recommendation for approval.

The Plan and Zoning Commission vote was 4-yes and 2-no.

Respectfully submitted,



Robert Inghram, Chairperson
City Plan and Zoning Commission

		APPROVED	APPROVED	APPROVED	FAILED	APPROVED	APPROVED		
Name:	Roll Call	CP18-01 Elmore Corners Plan	Amend ORD18-01 Amend 17.41 Elmore Corners Overlay District	ORD18-01 Amend 17.41 Elmore Corners Overlay District	Table ORD18-03 Amend 17.36 M-1 Uses	ORD18-03 Amend 17.36 M-1 Uses	F18-02 Bett's Corporation 2nd Add'n		
Connell	EX								
Hepner	P	Y	Y	Y	N	Y	Y		
Inghram	P								
Kelling	P	Y	Y	Y	Y	N	Y		
Lammers	P	Y	Y	Y	Y	N	Y		
Maness	EX								
Martinez	A								
Medd	P	Y	Y	Y	N	Y	Y		
Quinn	A								
Reinartz	P	Y	N	N	N	Y	Y		
Tallman	P	Y	Y	Y	N	Y	Y		
	7	6-YES 0-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	2-YES 4-NO 0-ABSTAIN	4-YES 2-NO 0-ABSTAIN	6-YES 0-NO 0-ABSTAIN		



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

Meeting Date: April 3, 2018
Request: Amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]
Location: N/A
Case No.: ORD18-03
Applicant: City of Davenport

Recommendation:

Staff recommends the Plan and Zoning Commission accept the listed finding forward Case ORD18-03 to the City Council with a recommendation for approval.

Introduction:

Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.36.030.B.6 by adding Sale and Storage of Fireworks and Explosive Devices, subject to such uses being located more than one thousand feet from any residential district to the list of permitted uses in the "M-1" Light Industrial District. [Wards All]

Public Input:

The public notice for the Plan and Zoning Commission public hearing for the proposed Ordinance was published in the March 14, 2018 edition of the Quad-City Times.

Discussion:

Currently, the Zoning Ordinance does not regulate the sale or storage of fireworks and explosive devices other than to require that they be located on property that is zoned "C-1" Neighborhood Shopping District or higher.

Initially, the City proposed requiring the sale and storage of fireworks and explosive devices to be located on property zoned "M-2" Heavy Industrial District and require the granting of a Special Use Permit for said use by the Zoning Board of Adjustment.

A less restrictive amendment is now being proposed, which would allow the sale and storage of fireworks and explosive devices to be located on property zoned "M-1" Light Industrial District subject to such use being located more than one thousand feet from any residential district.

Section 17.36.030.B.6 the Davenport City Code:

New ordinance language is underlined.

6. Unclassified Uses.

- a. Animal pound for detention only;
- b. Building materials (cement, lime, sand, gravel, lumber, and the like), storage and sales;
- c. Carbon paper and inked ribbon manufacture;
- d. Cigar and cigarette, chewing and smoking tobacco;
- e. Circus and fair grounds;
- f. Coal and coke storage and sales;
- g. Contractor's shop and storage yard;
- h. Drive-in or outdoor theater;
- i. Exposition building or center;
- j. Electric transforming station;
- k. Feed and grain storage;
- l. Fur finishing;
- m. Greenhouses, wholesale;
- n. Ice manufacture and cold storage;
- o. Leather goods manufacture, but not including tanning operations;
- p. Livery stables and riding academies;
- q. Motion picture production;
- r. Public utility storage yard;
- s. Accessory buildings and uses customarily incident to the uses permitted by this chapter.
- t. Sale and storage of fireworks and explosive devices, subject to such uses being located more than one thousand feet from any residential district.

Staff Recommendation

Finding:

1. Due to the nature of the explosive materials, specific land use and separation from residential districts is warranted.

Staff recommends the Plan and Zoning Commission accept the listed finding forward Case ORD18-03 to the City Council with a recommendation for approval.

Prepared by:



Ryan Rusnak, AICP
Planner III

City of Davenport

Agenda Group: Community Development
Department: Community Development Committee
Contact Info: Matt Flynn, 888-2286
Wards: 6

Action / Date
COW4/18/2018

Subject:

First Consideration: Ordinance for Case No. ORD18-01: Amending Title 17.41 of the Davenport Municipal Code, entitled, "Zoning, HCOD Highway Corridor Overlay District and ECOD Elmore Corners Overlay District", by creating an Elmore Corners Overlay District and Design Standards [Ward 6]

Recommendation:

Amend to reflect original boundaries; send back to Plan and Zone Commission to clarify this issue.

Relationship to Goals:

Fiscal Vitality

Background:

The proposed ordinance represents the implementation tool in achieving the vision of the Elmore Corners Plan. The ordinance creates the new zoning overlay district and establishes specific design standards unique to the overlay district.

Individual developments will be required to obtain administrative approval ensuring high quality design, compatibility and cohesiveness with surrounding development. Inability to reach administrative approval will result in additional review by the Design Review Board, and ultimately, City Council.

The Plan Commission's recommendation eliminated property owned and developed by THF Development (Walmart/Dicks Sporting Goods, etc.) The ordinance presented reflects the Plan and Zoning Commission's recommendation.

See attachments for additional information.

ATTACHMENTS:

Type	Description
▣ Ordinance	Proposed Ordinance
▣ Backup Material	P&Z Letter
▣ Backup Material	P&Z Report plus attachments
▣ Backup Material	Map showing property owned by THF Development removed from Plan and Zoning Commission's recommendation

REVIEWERS:

Department	Reviewer	Action	Date
Community Development Committee	Admin, Default	Approved	4/13/2018 - 9:50 AM

ORDINANCE NO. 2018 -

An ORDINANCE to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning", by creating Chapter 17.41.060, entitled, "Elmore Corners Overlay District", and establishing said District and Design Standards. (City of Davenport, petitioner; Case No. ORD18-01, 6th Ward)

NOW, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1: Chapter 17.41 of the Davenport Municipal Code is hereby amended to read as follows:

Chapter 17.41 HCOD HIGHWAY CORRIDOR AND ELMORE CORNERS OVERLAY DISTRICT

Sections:

- 17.41.010 Intent.
- 17.41.020 Applicability.
- 17.41.030 Use regulations.
- 17.41.040 Height, yard, lot width and area regulations.
- 17.41.045 Design review.
- 17.41.050 Performance standards.
- 17.41.060 ECOD Elmore Corners Overlay District

17.41.010 Intent.

This district is intended to establish a physically attractive pattern of development on certain major entrance corridors into the city of Davenport, to protect these areas from the negative effects of incompatible development and to protect the traffic carrying of important highways within the city. (Ord. 2011-471 § 6 (part)).

17.41.020 Applicability.

The regulations set forth in this chapter, or set forth elsewhere in this title when referred to in this chapter, are the regulations in the "HCOD" highway corridor overlay district. (Ord. 2011-471 § 6 (part)).

17.41.030 Use regulations.

Permitted uses shall be all uses allowed in the underlying zoning districts. All future rezonings in the "HCOD" highway corridor overlay district other than single-family residential shall be limited to "PUD" planned development district, "PCP" planned commerce park district, and "M-3" planned industrial district, as these districts allow the degree of review and control necessary to achieve the goals of the "HCOD" highway corridor overlay district and allow a complete range of allowable uses for low density residential to retail to industrial.

This chapter shall not apply to single-family detached homes or single-family subdivisions. (Ord. 2011-471 § 6 (part)).

17.41.040 Height, yard, lot width and area regulations.

All requirements of the underlying zoning districts concerning building height, lot area, and yard depths shall remain applicable with the following exceptions:

A. A twenty-five foot landscape buffer shall be required on all major arterial or minor arterial streets. Parking lot circulation may cross the landscape buffer area but parking may not be developed within the required setback. On all other streets a similar ten foot landscape buffer shall be required. In cases where other provisions of the zoning ordinance requires more restrictive standards, the more restrictive standards shall apply.

B. All immediate structures for non-residential uses shall be set back from any immediately contiguous property used for residential development a minimum of twenty-five feet for a one and one-half story building (maximum height fifteen feet) and forty feet for a two story building (maximum height twenty-five feet). Structures shall be set back an additional one foot for each foot of building height over twenty-five feet to a maximum setback of seventy feet from any immediately contiguous residential property line or residential zone. Property separated by public rights-of-way shall not be considered immediately contiguous property.

The zoning board of adjustment may grant variances in cases where the above setback regulations (subsections A and B) unduly impact the developability of any lot subdivided for development prior to the passage of this chapter. The Board may consider the feasibility of complying with the additional setback requirements based upon all of the following:

1. Existing lot size.
2. Compatibility with adjacent development.
3. Locational and topographical factors. (Ord. 2011-471 § 6 (part)).

17.41.045 Design review.

Prior to the issuance of a building permit for the construction of a building, structure, or sign, as defined in Chapter 17.04, the plans shall be administratively reviewed and approved by the planning and economic director or his/her designee, to ensure that the building, structure, or sign complies with the performance standards and guidelines established in, and pursuant to, Section 17.41.050, Performance Standards (HCOD) and Section 17.41.055, Performance Standards (ECOD).

A. Exceptions.

1. Single-family dwellings and accessory structures thereto are not subject to review.
2. The review of public utility structures (except for public utility buildings which are subject to architectural review) shall be limited to requirements for berming and landscaping. Requirements may be extensive and shall include a mix of plant materials having year round effectiveness.
3. Exempted signs, as enumerated in Section 17.45.025 of the zoning ordinance.
4. Temporary signs, which are in compliance with the regulations enumerated Section 17.45.050 of the zoning ordinance.

Notwithstanding the above, the development official, may require the replacement of any of the above signs listed in subsection A, 4 above after one year, if in his or her opinion the sign has become unattractive or deteriorated. Appeals of such administrative decisions shall be made to the zoning board of adjustment within ten days of receipt of the notification of any defect.

B. Authority.

1. As part of the review by the commission of a final development plan, as required by the provisions of Chapter 17.32, "PDD" planned development district, Chapter 17.40, "M-3" planned industrial district, or Chapter 17.50, "PUD" planned unit development, the commission shall review the materials referenced in subsection C, 1 of this section and make recommendations to the commission and the city council relative to the commission and the city council relative to the compliance of the application with the criteria set forth in Section 17.41.050.

2. For other construction subject to the provisions of this chapter but not subject to final development plan approval, the community planning and economic director or his/her designee shall review the materials referenced in subsection C, 1 of this section and approve, conditionally approve, continue or deny any application, basing its decisions on the criteria set forth in Section 17.14.050. Approvals shall be valid for a period of one year from the date of approval. If no building permit has been issued pursuant to the development of the approved project within one year of approval, the approval shall expire.

C. Procedure. In the interests of neighborhood harmony and courtesy, a meeting with adjacent property owners and neighbors is strongly encouraged.

1. Prior to the preparation of final architectural drawings and prior to the issuance of any building permit for any proposal, the applicant shall submit the following information and materials:

- a. The completed application form;
- b. A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels, if the buildings are within one hundred feet of the subject parcel;
- c. A verifiable legal description, or a land survey, where deemed necessary by the development official;
- d. A map showing the existing topography of the subject parcel and the topography of other properties at two foot contour intervals, extending one hundred feet from the subject parcel;
- e. A preliminary grading plan showing before and after grades at two foot contour intervals;
- f. A landscape plan (although the authority of staff to approve site plans under Section 17.56 of the Zoning Ordinance remains in effect).
- g. Elevation drawings, in color and drawn to scale, of the front, sides, rear, and roof lines of all proposed buildings or structures, illustrating the appearance and treatment of required screening elements for roof-mounted equipment. Outdoor storage areas that are part of any submittal shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the material and treatment proposed that would accurately reflect the screening of the storage areas. A second set of elevations (not colored) shall be submitted on eight and one-half by eleven inch paper.
- h. Samples of each type of exterior building materials, including the color.
- i. Samples of the materials, including the color, along with scaled, accurately colored elevations, of any proposed sign and/or sign package.

2. Prior to issuance of a building permit, the development official shall determine that the submitted plans for the building permit are in substantial conformance with those approved as part of the final development plan, as stated in subsection B, 1 of this section, or by the community planning and economic development director or his/her designee, as stated in subsection B, 2 of this section, and that the time period for approvals has not expired. The stamping of the plans and the signature of the development official, and the date of the signature shall indicate that the plans are in conformance.

3. Prior to any external change, including, but not limited to, a remodeling or elevation alteration which includes changes in materials or colors, the property owner or his or her designated representative shall present the change for review to the development official. The development official may approve a sign, a change to the color scheme or an existing building, a building addition or structure, or a revised landscape plan based upon the following criteria:

a. Building addition or structure:

The addition of accessory structure shall not substantially alter the appearance of the site as viewed from off the site; or be visually incompatible with the existing building or structure.

(1) An addition to an existing building or accessory structure of one thousand square feet or less or;

(2) Which shall not increase the area of coverage by more than fifteen percent increase the number of stories or propose substantial changes to building materials. In no case shall increases greater than fifteen percent of the area of the building coverage, increases in the number of stories in a building, or substantial changes in exterior building materials be considered minor.

b. Landscaping:

(1) The quantity, density, and quality of the plant material is increased and upgraded; and

(2) The changes reflect a substantial improvement of the plan.

Exterior changes not meeting the criteria of subsection C, 3a. and b. shall be reviewed pursuant to the provisions of subsection B of this section.

4. Any conditions prescribed through the approval of the final development plan or by the community planning and economic development director or his/her designee shall be considered an integral part of the construction plans. The conditions shall be noted on all plans as may be required to applicable city departments.

5. Any building, structure, or sign which has been approved, constructed, or installed in accordance with the approval of a final development plan or of the community planning and economic development director or his/her designee may be removed. However, it shall not be modified, altered, or changed in any manner without additional review by the development official, who shall decide whether the proposed change shall be reviewed pursuant to the provisions of subsection C of this section.

6. Initiating construction or development prior to the issuance of building permits or noncompliance with approved plans and conditions shall be grounds for either stopping work on the project or denial of a certificate of occupancy.

7. Upon completion, prior to issuance of a certificate of occupancy, the property owner or general contractor shall certify in writing that, to the best of his or her knowledge, the building, structure, and site detail have been completed in accordance with the approved design and applicable codes.

8. Lack of maintenance of any portion of an approved project approved through the approval of a final development plan or by the community planning and economic development director or his/her designee of this code.

D. Appeal.

1. The applicant for design review, may appeal any decision of the community planning and economic development director or his/her designee to the design review board by filing written notice of appeal to the community planning and economic development department within ten working days of the date of the decision. Notice of such appeal and the date for its consideration.

2. The design review board shall base its decision to affirm, modify, or reverse the decision of the community planning and economic development director or his/her designee based on the information and materials previously submitted to the community planning and economic development director or his/her designee.

E. Violations and penalties. It shall be unlawful to construct, erect, install, alter, change, maintain, or permit the construction, erection, installation, alteration, change, maintenance of any building, structure, sign, wall, or landscaping, or use or permit the use of any lot or other land contrary to, or in violation of, any of the provisions of this chapter, and is punishable as set forth in Chapter 17.62 of this code. (Ord. 2011-471 § 6 (part)).

17.41.050 Performance standards.

All uses and buildings permitted within the "HCOD" highway corridor overlay district shall comply in total with the following performance standards:

A. Open space and landscaping requirements. The total ground area devoted to open space for natural landscape and landscape beautification shall not be less than twenty percent on any development site within the "HCOD" highway corridor overlay district. Such open spaces will be free of all drives, parking areas, structures, buildings, except for those walkways, monuments, and ornamental features considered to be necessary and essential to the central landscape theme. In the case of underlying zones which require more restrictive standards, the more restrictive standard shall apply.

The minimum site landscaping requirement shall be as required in Chapter 17.56 entitled "Site Plans." Additional plantings, and larger caliper sizes and heights may be required by the

development official to achieve the goals of this chapter. This landscaping shall be designed to minimize the adverse effects of long expanses of wall, exposed parking, and service areas.

Tree planting shall include a combination of evergreen and deciduous trees and shrubs. In the required front yard, canopy trees shall have a minimum caliper of two and one-half inches, multi-stem clumps shall have a minimum height of ten feet, understory trees shall have a minimum height of five feet, deciduous shrubs shall have a minimum height of twenty-four inches, and evergreen shrubs shall have a minimum height of eighteen inches.

"Caliper" shall be defined according to the standards of the American Association of Nurserymen.

Where fences are necessary for commercial projects, masonry, wrought iron/aluminum, moisture resistant wood (other than stockade) and hedges are encouraged. If visible from a public street, galvanized chain link fences are not to be allowed unless complemented by continuous tall shrubbery completely obscuring the fence.

B. Architectural standards. Buildings within the "HCOD" highway corridor overlay district shall be constructed of quality materials that have strength and permanence. Permanence means that buildings will age without deteriorating, given a minimum level of maintenance. The development shall recognize the strength and permanency of stone, brick, concrete, and steel as opposed to the frailty of light gauge sheet metal and constant maintenance of wood veneer. While no specific materials are disallowed, certain materials will be approved for exterior use only if they are an integral part of a design of unusual merit. Among those materials are architectural metal wall panels, plywood and composition siding such as hardboard. Other materials may be appropriate in one use or situation but be totally inappropriate in another.

The city council shall establish design guidelines to help guide the decisions by the design review board, city staff and to aid petitioners with design considerations.

C. Restricted uses. There are some uses that require additional restrictions within the "HCOD" highway corridor overlay district to lessen their negative impact and make them more compatible with the goals of this chapter. The following uses are restricted:

1. Automobile salesroom or showroom, or new or used car sales or vehicle storage lots. Design principles shall be incorporated into the design of auto dealerships which minimize the unattractive aspects of large areas of parked cars. One-car-deep display areas along arterial and collector streets and freeways shall be permitted. Display rows shall be screened from public rights-of-way with an eighteen inch earth berm. Additional rows of cars shall be separated from the initial row by a shrubbery hedge that completely conceals the view of these additional rows of cars from the public right-of-way. Five percent of the balance of the parking lot shall be landscaped and permeable in the form of islands and peninsulas. Signs applied to, located in, or painted onto vehicle bodies or windshields on cars in the display area are prohibited with the exception of factory invoices. The use of pennants and tinsel are prohibited. Elevated or tilted vehicle display platforms are prohibited. An earth berm or other form of

landscape buffer shall be located around the sides and rear of the property to shield the view of stored cars from adjoining residences and streets, if any. Berming and landscaping may be required to shield the view from commercial areas depending on sight lines. Lighting design shall be integrated with the design of the dealership. Non-glare, cut off luminaries shall be required so that lighting does not spill over onto adjacent properties. The leasing or renting of trucks intended for short term lease of less than seven days shall be prohibited either as a primary or an accessory use.

2. Public garages, service stations, car washes, repair shops, auto parts installation shops, auto service malls, and other similar uses. Building forms and materials shall emphasize masonry and be compatible with nearby retail buildings. Canopies over pumps and their supports shall have no lettering, logos, or striping, and shall be integrated with the building design. The use of pennants and tinsel are prohibited. Car wash structures shall be a minimum of fifty feet from any residential property line or residential zone. Outdoor storage shall be confined to areas enclosed by masonry walls. Stacks of tires, oil cans, and promotional items are not permitted. Garage bays shall be concealed from view from adjacent streets and parking lots whenever possible. The leasing or renting of trucks intended for short term lease of less than seven days shall be prohibited either as a primary or an accessory use.

3. Outdoor retailing. Outdoor retailing areas, such as garden centers, shall be orderly and attractive, with low screening walls concealing merchandise, except plant materials, from view. Additional landscaping similar to at least a "G" buffer as shown in Chapter 17.56 entitled "Site Plans" and berming may be required with such uses.

4. Contractor's yards and other similar uses involving the outside storage of materials and/or vehicles and equipment. Contractor's yards and other similar uses shall be orderly with screening walls, berms, and landscape buffers similar to at least a "G" buffer as shown in Chapter 17.56 entitled "Site Plans" to completely screen them from adjacent properties and public roads.

5. Outdoor vending machines. For the purposes of this chapter, outdoor vending machines shall also be considered outdoor retailing. Such vending machines shall be screened from public rights-of-way.

D. Environmental performance standards. Complete abatement, elimination, or reduction of all generally offensive characteristics such as odors, gases, noise, vibration, pollution of air or water or soil, excessive lighting intensity, hazardous activity, etc. which may be detrimental to the general welfare of the community shall be accomplished. The standards for compliance with this paragraph shall be as follows:

1. Air pollution. The use shall not emit any smoke, dust, odorous gases, or other matter in such quantities as to be readily detectable at any point beyond the perimeter of the site area.

2. Noise. Davenport Municipal Code, Chapter 8.16, "Noise Abatement," shall be used to regulate noise within the "HCOD" highway corridor overlay district.

3. Vibration. The use shall not include vibration which is discernible without instruments on any adjoining lot or property.

4. Site lighting and glare. All lights, other than street lights, shall be so situated and installed as to reflect away from adjacent streets and residential areas. Light and pole designs shall be compatible with the overall design of the building(s) and site. In large parking lots, poles are to be located within the landscape islands. The scale of the parking area shall be considered in the selection of pole height and spacing. Pole height shall decrease, where possible, near property lines and in low intensity use areas to further reduce glare. Uplighting trees and fountains, accent lighting on shrubs and entrances, and silhouette lighting may be used to create special effects.

5. Traffic hazard. The use shall not involve any activity substantially increasing the movement of traffic on public streets to a point that capacity and safety limitations are exceeded unless procedures are instituted to limit traffic hazards and congestion.

6. Storm water detention. Davenport Municipal Code, Chapter 13.34, "Storm Water Management" shall be used to regulate storm water run-off and provide detention where required.

7. Erosion control. Davenport Municipal Code 13.34.310–360, "Erosion Control" shall be used to regulate erosion on development sites. All development with a disturbed site in excess of five acres shall submit a copy of State of Iowa Department of Natural Resources Permit Number 2 with accompanying plans. Similarly, sites less than five acres shall submit a copy of the permit and plans if they are part of a larger development, the whole of which exceeds five acres. On sites less than five acres, an erosion control plan shall be required if, in the opinion of the city engineer, it is necessary to protect off-site properties. An approved grading plan shall be required prior to the commencement of any grading.

8. Overtax public utilities and facilities. The use shall not involve any activity substantially increasing the burden on any public facilities or utilities, unless provisions are made for necessary adjustments.

9. All utilities provided as new installation shall be underground and comply in full with the regulations set forth in Section 16.24.110 of the city of Davenport's Municipal Code entitled "Subdivision."

E. Off-street parking and loading. The required number of spaces shall remain the same as that of the underlying zoning districts. In all cases, parking lots created in the "HCOD" highway corridor overlay district shall be constructed with concrete or asphalt curbing. In all cases parking areas shall be screened from any public right-of-way or adjacent residential area by proper siting, the use of earth berms and vegetation. Earth berms shall be a minimum of three

feet in height (with the exception of those on automobile sales display rows) and shall be supplemented with substantially mature trees and shrubs which have year-round effectiveness. Service areas, loading docks, and garbage facilities shall be located properly and screened as well. Landscaped parking islands and peninsulas shall be included in lot layout to reduce the visual impact and produce shade. In parking lots of twenty or more spaces, an area equal to five percent of the total parking lot area must be landscaped and permeable. This shall not include perimeter plantings. This requirement may be waived in the case of industrial properties where interior landscaping may interfere with the necessary movement of trucks and other equipment.

F. Signage requirements. Signage shall be consistent with the central aesthetic theme of the "HCOD" highway corridor overlay district; sign materials shall be permanent or long lasting in quality. The lighting of signs shall be non-intrusive with back lighting or other methods of indirect lighting required.

Refer to Chapter 17.45 of the city of Davenport's zoning ordinance entitled, "Sign Regulations" Section 17.45.090 K. for a complete description of sign regulations in the "HCOD" highway corridor overlay district.

17.41.060 Elmore Corners Overlay District (ECOD)

A. Administration

1. Purpose. The purpose of the Elmore Corners Overlay District is to establish high quality design standards and coordination for new development to ensure implementation of the Elmore Corners Area Plan, an element of the Davenport Comprehensive Plan.

2. Subject Area. Attached Exhibit "A" depicts the area subject to the ECOD standards.

3. Process. The review process shall follow the process outlined in Title 17.41.045.

4. Design Standards. Prior to issuance of a building or development permit involving site alterations, new construction, or exterior change to a building or sign, the Highway Corridor Overlay (HCOD) standards and the following standards must be met. Unless otherwise noted, the standards contained herein are mandatory.

a. Use. Permitted uses are dictated based on the underlying zoning district. The following uses are prohibited anywhere within the ECOD: Single Family Detached Residential, Warehouse and Distribution Facilities, Self Storage Facilities, Outdoor Storage, and Billboards.

b. Building Composition

(1) Guideline: Buildings shall be of a quality design that contribute to the Elmore Corners destination appearance.

(2) Base, Middle, Top

Building facades shall be composed to define base, middle and top elements. The base of the building anchors it to the ground and is the interface between the building and people. This element shall be the most articulated. The transition between the middle of the building and the base and top shall be varied by use of materials, composition, repetition or ornamental features. The top terminates the building against the sky and provides an opportunity to create an interesting silhouette.

(3) Rhythm

Rhythm refers to the regular or harmonious recurrence of building elements. Rhythmic elements need not be boring, but can provide the visual “glue” that links together various buildings on a street. These patterns commonly reflect the building’s repetitive structural bays, often with the end bays given special identity. This articulation of the facade helps provide scale by comprising the facade into smaller visual parts. The variation of rhythm from building to building reaffirms the individuality of each building, while the recurrence of an overall rhythm helps unify the facade. The building’s structural column lines shall in some way be evident or expressed on its facade.

(4) Scale

In general, distinctive compositional elements of buildings (entries, structural bays, roof elements, windows) shall be distinguishable from both near and far distances. The size and shape of these elements shall give the building scale to relate to pedestrians as well as surrounding buildings. Special attention shall be paid to overall building height and massing in order to maintain a scale and character compatible with the area.

(5) Massing

Large buildings shall be comprised of a hierarchy of masses and forms to give the building a more human scale and visual richness. Techniques include using designed recesses or projections, creating distinct building components, and varying occasional roof forms according to individual building components. However, excessive use of changes in form can create a decidedly confused street façade and disharmony.

(6) Proportion

Building massing and components shall demonstrate consistent proportional harmonies. Typically, pedestrian friendly streets have building elements that rely more on vertically proportioned elements than horizontally proportioned elements. While no architectural rule is always valid, the use of vertically proportioned facade components seems to offer a traditionally street-friendly composition (regardless of specific architectural styles). The use of proportion is intended to provide a sense of visual harmony among elements of a building.

(7) Architectural Form

- Buildings shall be designed to create a pedestrian friendly and scale neighborhood
- Buildings shall be primarily rectangular in form and sited parallel to public streets
- Buildings are encouraged to have a mix of tenants and uses
- Entrances shall be provided at public streets and on parking sides
- Connect building entrances to public sidewalks and pedestrian pathways
- Articulate building shapes with window bays, cornices, parapets, and towers
- Buildings shall have primarily flat roofs with varied or broken lines
- Roof mechanicals shall be screened
- Locate service areas away from public streets and provide architectural screening
- Drive through facilities shall be located on rear building façades as to not dominate the streetscape
- Modify franchise architecture to fit the desired Elmore Corners character

(8) Inappropriate Design

- Flat, massive, monolithic geometric shapes
- Plain, undersigned buildings with large blank spaces
- Small buildings with single occupants
- Gabled, hipped, or steeply pitched roofs
- Large, monotonous roof forms
- Visible building mechanicals
- Faux-historic buildings

b. Building Facade

- (1) Guideline: Buildings shall have varied facades composed of high quality lasting materials as described under (3) below.

- Façades shall be articulated on all sides to provide visual interest.
- Break up façades and create visual interest and pedestrian scale by:
 - Varying materials and colors
 - Varying façade vertical and horizontal setbacks
 - Incorporate architectural reveals or floor step backs
 - Vary window styles and moldings
 - Design enhanced architectural details on the ground level
- Façades on multiple-tenant buildings shall be broken into design elements that reflect individual tenant spaces through vertical façade plain staggering, window/door groupings, and awnings
- Differentiate ground and above floors through horizontal banding, signage bands, and windows
- First floor façades shall be transparent to allow retail uses to interact with the street and parking-side entrances
- Commercial and retail façades shall have at least 40% transparency on the street façade
- Secondary façades that do not face the public street or parking areas are encouraged to have transparent windows. If

this is not possible, then façades shall contain architectural features that provide interest

- Building at corners shall contain interesting architectural features that address the corner such as towers, entrances, and metal or cloth awnings
- Identify building entrances through permanent awnings, overhangs, or signage

(2) Inappropriate Façade Treatment

- Large unarticulated wall planes
- Large expanses of walls without windows
- Projecting wall-mounted mechanical units
- Vinyl awnings

- Buildings with no pedestrian scale or defined entryways

(3) Materials

- High quality materials shall be installed on buildings to promote Elmore Corners
- Long lasting materials such as brick and stone shall be used to withstand weather and provide a feeling of permanence
- Primary building materials shall be natural stone, masonry, brick, and glass and be of natural earth tone colors
- Secondary materials such as decorative metal, wood, stucco, and cement board may be incorporated
- Using a mix of materials is recommended to create visual diversity on the building façade
- Enrichment of the pedestrian realm requires building materials at the street level to be of high quality:
 - These could include items such as brick, stone, decorative concrete masonry units, metal panel systems, or other creatively used high quality and durable building materials
 - Decorative finished block systems can be used along the base of the buildings, and as an accent, but are not recommended as the dominant building material on the entire building
 - Utility grade materials shall only be used on facades of the building not visible from publicly accessible areas
- Freestanding commercial structures shall be designed as four-sided architecture with finish grade materials used consistently on all façades:
 - Recommended primary materials include brick, stone and glass
 - Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture
 - Metal and finished wood may be used as accents, but generally shall not be the primary material for any façade

(4) Inappropriate Materials

- Unfinished concrete, unless integral to the design of the building

- Corrugated metal typically found in 'pole buildings', vinyl, or aluminum siding
- Plywood siding panels
- Exposed treated lumber
- EIFS as a primary material or located on the first floor
- Windows
- Moderate to highly reflective glazing
- Strongly colored or darkly-tinted glazing
- Colors
- Predominant use of bright, high intensity colors
- Predominant use of metallic and neon colors

c. Setbacks

(1) Guideline: To provide a continuous street edge along the Elmore Corners District, buildings shall be sited within setback areas unless not possible due to affecting business operations.

- Along Elmore Avenue and Veterans Memorial Parkway, the primary building façade shall be located within 20-40 feet from the property line
- Along secondary streets, the primary building façade shall be located 0-10 feet from the property line
- To maintain an urban edge that is pedestrian friendly, areas adjacent to parking lots shall be screened with enhanced landscaping

(2) Inappropriate design

- Buildings set back over 40 feet from public streets
- Parking lots between public streets and the primary façade of a building

d. Density

(1) Guideline: Develop land as densely as possible to increase tax base while providing adequate landscaping, stormwater management, and connections to public ways.

- Development shall be designed to an urban density with minimal spaces between buildings
- Install advanced stormwater management practices to increase density
- Density may increase through vertical mixed-use and shared parking arrangements

e. Signage

(1) Guideline: Signage shall function as a marketing device, complement building architecture and materials, and not dominate the site. All signs must meet City Sign Codes.

- Appropriate and attractively designed site signage is an important component of the overall aesthetic appeal of any commercial or mixed-use area. Good signage based on design and graphic quality is encouraged throughout Elmore Corners.
- Business signage shall be wall mounted (projecting or flat), monument (if located away from the building), and window, canopy or awning style
- Similar materials, colors and styles shall be used to ensure the signage is consistent with the building design
- Signs shall reflect and enhance the nature and appeal of the retail and commercial experience and not be just a list of tenants
- Materials shall be of high quality to prevent premature weathering of the sign
- Signs shall fit within and not overwhelm the architectural features of the buildings
- Signs shall harmonize with their surroundings in terms of size, shape, color, texture, and lighting so that they complement the character of the neighborhood
- Signs shall be professionally constructed using high quality materials such as metal, stone, tile, composites, brass/metal plated, hardwood, and glass
- The creative use of materials, lettering, and interesting use of graphics is allowed and encouraged if the signs work well and complement the overall building and street design
- Signs shall be designed with the purpose of promoting retail and street activity while enhancing the pedestrian experience
- Addresses shall be clearly visible from the public right-of-way
- The use of tastefully designed pedestrian scale directories is encouraged for multi-tenant buildings

- Monument signs shall contain a base and not be pole-mounted
- Monument signs shall contain landscaping at the base that will not grow to cover the sign message
- Lighting shall be designed carefully to avoid excessive glare or over illumination:
- Letters can be illuminated internally or externally
- External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path
- Fixtures shall be simple but attractive
- Lighting signs and letters shall be done in an attractive and subtle technique
- Individual letters that are backlit, halo-lit, reverse illumination channel letters, and neon are encouraged

(2) Inappropriate Signage

- Pole signs, billboard style wall-mounted and roof mounted signs are not allowed
- without special permission from the City Plan Commission
- Monument signs advertising individual businesses
- Tall mast signs
- Large temporary signs that impede pedestrian traffic
- Inflatable signs
- Overly illuminated signs
- Unshielded sign light sources, allowing upward transmission of light
- LED, animated, flashing, blinking, and video signs
- Plastic box signs
- Generic, un-stylized signs
- Large temporary signage located in windows that reduces transparency
- Large-scale street-level signage that overwhelms the pedestrian environment

- Signage that obscures architectural details
- Glaring and directed spotlights that affects neighboring properties

(3) Entertainment District Signage

Since the area around the Rhythm City Casino is planned for entertainment purposes, sign design and guidelines may be relaxed to create an exciting sense of place. Signs in this area may be taller along the interstate corridors, contain additional illumination, and may have moving components to advertise this district and its activities.

f. Site Design Guidelines

(1) Parking Lots – Design and Location Guideline: Parking lots shall be located behind buildings or interior of sites whenever possible and contain landscaping to buffer views from public ways.

- Parking lots shall be designed to allow for ease of vehicular circulation and meet all parking lot requirements set in this Title
- Locating parking lots at corners shall be avoided, when possible
- Safe pedestrian ways shall be provided between parking spaces and building entrances
- Canopy trees shall be planted at a minimum of every 12 parking stalls to reduce heat islands
- Edge landscaping shall be installed to screen parking lots from public streets
- Planting areas shall be incorporated into landscape islands and planting areas between parking bays
- Bio-swales and stormwater best management practices shall be used to collect and infiltrate stormwater run off
- Parking lot lights shall be 18-25 feet in height along pedestrian ways and edges
- Tall pole lights may be installed in parking lot internal bays with a maximum height of 30 feet
- Site lighting along pedestrian walkways is encouraged in bollards to provide safe lighting, but not over-illumination
- Lighting shall cast downward and be full cut-off
- Illumination levels shall not exceed 0.5 foot candles at the property line

- Businesses shall provide bicycle parking
- Short-term bicycle parking areas shall be provided within 20 feet of each commercial primary building entrance when possible
- Long-term bicycle parking areas shall be provided within 100 feet of each commercial primary building entrance when possible
- One bicycle parking space per 2,000 gross square feet shall be provided for retail uses. A minimum of two spaces is required
- One bicycle parking space per 10,000 gross square feet shall be provided for office. A minimum of two spaces is required
- A minimum of one bicycle parking spaces per residential unit shall be provided. In-building or covered bicycle parking is encouraged

(2) Inappropriate Parking Lot Design

- Parking lots located between buildings and public streets
- Parking areas located on corners
- Individual parking lots for each development/business
- Numerous access drives into disconnected parking areas
- No parking lot landscaping
- No bicycle parking

(3) Parking Management Guideline: Connect parking lots between developments and share parking between uses to minimize large parking lots and automobile traffic on public streets.

- Parking management shall promote effective economic activity, maximize the sharing of parking areas for commercial activity, and avoid inefficiencies in parking in which parking occupancy patterns discourage higher density and compact development
- Shared parking strategies are encouraged to eliminate redundant and unnecessarily large parking areas and to provide more land for taxable development. Parking lots are encouraged to be shared between building uses that require parking at separate times such as office parking during the day and residential parking at night
- New uses shall be required to produce a parking design and management study which documents the level of use at regular and peak times, the degree of sharing for parking with

nearby users, the way in which the owner/user intends to maximize efficient use, and sharing of the parking

- Cross access and/or joint parking easements may need to be developed in the event of the parcel being subdivided.
- Shared driveways shall be used to serve groups of buildings with shared parking courts between buildings
- Sharing arrangements shall be codified in covenants, deed restrictions, and developer agreements
- Connecting parking lots between development lots is encouraged to reduce traffic congestion on public streets

(4) Inappropriate Parking Management

- Individual parking lots by building, use, or development project
- Parking lots that are overbuilt and unused

(5) Site Circulation Guideline: A pedestrian friendly environment is encouraged to provide safe circulation within the site and between sites. Private development shall connect into existing public infrastructure.

- Concrete or similar material pedestrian walkways shall connect parking areas to building entrances
- Pedestrian walkways shall connect development sites to existing public sidewalks and paths such as the Urban Greenway
- Walkways shall be located outside of vehicle parking areas
- Walkways shall be safely illuminated

(6) Inappropriate Site Circulation

- Unpaved pedestrian walkways
- Parking lots with no pedestrian walkways
- Dark, unlit walkways

(7) Drive-Through and Service Guideline: Drive-throughs shall be located at the rear or side of buildings and shall not be placed between a public street/easement and the main building structure.

- Every effort shall be made to coordinate and integrate drive-through facilities into the overall architectural treatment of the main building
- Creative design solutions such as remote kiosks are encouraged to minimize the impact of the drive-through facility on the overall site design
- Clearly defined pedestrian crossings shall be provided where walkways intersect drive-through access lanes. In all cases drive-through facilities shall be designed to operate without endangering the public safety

(8) Inappropriate Drive-Through

- Drive-through window and service line visible from public streets

(9) Service, Storage, and Utility Areas Guideline: Service, loading, and utility areas, while necessary for business operation, shall be located away from the public view.

- Refuse and recycling areas shall be integrated into the building architecture with high quality design and/or screened with similar building materials to the main architecture. The areas shall be kept clean and avoid accumulation of excess disposal materials and the enclosure shall be locked
- When possible, service and utility areas shall be inside the building or integrated into the architecture of the building
- Loading areas shall be located behind buildings, away from parking areas and public streets
- Loading doors shall not be visible from public streets
- To reduce the amount of area dedicated to these needs, shared service areas between adjacent users and buildings shall be allowed and encouraged
- If indoor reuse is not possible, outdoor refuse areas shall be enclosed with attractive design and materials that match building architecture. Recommended enclosures would be of masonry or stone with gated access and surrounding landscaping. The gate and enclosure opening shall not be visible from public ways
- Rooftop mechanicals shall be screened with materials that match the building architecture

(10) Inappropriate Service Area

- Service areas and utility equipment along public streets
- Prefabricated storage sheds

- Visible garbage dumpsters
- Unscreened service, storage, or utility areas

(11) Landscaping Guideline: Create pedestrian-friendly landscapes that are functional, visually appealing, and relate to building activities and architecture. Use landscaping to screen undesirable views.

- Incorporate landscape elements that complement the character of the building and provide a pleasing relationship with adjoining properties, the public sidewalk, and the street
- Use appropriate landscape elements to establish continuity between buildings and to define the block face where there are no buildings
- Plant shade trees in surface parking lots to reduce heat islands
- Incorporate mid-level plantings and ground covers into parking planting areas
- Native plants shall be installed whenever possible
- Consider prairie plantings instead of turf to minimize maintenance and establish animal and insect habitat
- Use plant materials that provide year-round interest, add desirable color, texture, and smells to a site's experience
- Install plants to screen parking areas from public streets.
- Install plants to screen building mechanicals
- Incorporate rain gardens and bioretention basins to collect runoff and filter pollutants
- Install bioretention areas in surface parking lots for stormwater infiltration
- Use plant materials that are compatible with urban environments and will maintain their health with the expected amount of care
- Use salt tolerant plants due to the urban pedestrian environment

(12) Inappropriate Site Landscaping

- Single species planting schemes
- Residential or suburban landscape treatment such as boulders, bark chips, plastic edging, railroad ties, etc.

- Chain link, metal mesh, wire or barbed wire fencing
- Site furnishings not located adjacent to common spaces

(13) Urban Greenway Guideline: An urban greenway shall be established on the west edge of the planning area to both buffer new development from existing neighborhoods and provide an open space corridor for recreation and natural habitat.

- The urban greenway corridor shall be a 100 foot wide minimum public corridor
- Naturalized landscaping shall be installed to establish the natural space and buffer
- Low-maintenance native species including trees, shrubs and grasses shall be planted
- A 10 foot wide asphalt path may be constructed to provide an alternative transportation route and recreation trail
- The path shall connect to private development, public streets, and sidewalks

(14) Site Features and Urban Spaces Guideline: Private development is encouraged to establish urban spaces and install site features to enhance the Elmore Corners District and contribute to a pedestrian friendly streetscape.

- Commercial uses are encouraged to have public plaza spaces to provide space for activities such as outdoor dining or seating areas
- Commercial urban spaces shall be accessible from public ways
- Any security fencing shall consist of decorative materials (such as wrought iron, brick or stone)
- Select and locate site furnishings (benches, trash receptacles, bicycle racks, etc.) to unify the Elmore Corners District and provide a pleasing relationship with adjoining properties, the public sidewalk, and street
- Site furnishings shall be of high-quality materials that last in all-weather environments

(15) Inappropriate Site Features & Urban Spaces

- Urban gathering spaces that are closed off from public ways
- Site features of low quality that do not complement building architecture

(16) Public Streets and Streetscaping Guideline: Public streets shall be designed as complete streets serving all modes of transportation users including vehicles, bicycles, and pedestrians.

Streets shall contain streetscape elements to enhance the visual aesthetics of these public spaces.

- Primary public streets shall contain streetscape elements of a vehicular scale including:
 - Street lights – tall poles to safely illuminate the street
 - Sidewalk on one side and bicycle path on the other side
 - Turf terraces
 - District gateway features
 - Wayfinding sign directing visitors to district destinations
 - Light pole banners advertising special events
- Secondary streets shall contain streetscape elements of a pedestrian scale including:
 - Street lights – pedestrian scale with decorative fixtures
 - Concrete sidewalks on both sides of the street
 - Decorative brick, paver, or stamped concrete terraces
 - Wayfinding signs or kiosks directing visitors to district locations
 - Light pole banners advertising locations, uses, or events
 - Landscape planters with flowers and grasses
 - All street lights shall contain LED energy efficient fixtures
 - Street lights shall contain decorative poles and bases
 - Street lights shall be down casting to reduce light pollution
 - Stormwater management could be incorporated into the street terrace through stormwater planters, inlets, and swales
- Secondary streets may designate bicycle access through painted sharrows on street lanes

(17) Stormwater Management Guideline: All future developments must meet City Stormwater Ordinance requirements. In general, stormwater best management practices are encouraged and shall be incorporated into site designs, limiting large, monolithic retention ponds.

- Incorporate stormwater systems into development site plans and landscape plans
- Encourage regional ponds or ponds that serve multiple developments to density development and allow development to occur in urban form
- Utilize stormwater management techniques that maximize infiltration and filter runoff
- Incorporate bio-swales into parking lots to collect surface water and infiltrate on-site
- Install urban stormwater management systems where appropriate such as stormwater planters, rain gardens, underground cisterns and cells, porous pavement, and green street terraces
- Green roofs are encouraged to aid in reducing the amount of impervious surfaces
- Collect roof water into “purple pipe” grey water systems to reuse for irrigation, toilets or other non-potable uses
- If water does run off buildings, direct it into planting areas and rain barrels
- Include stormwater pond aeration systems and fountains to improve water quality and appearance
- Inappropriate Stormwater Management
- Direct stormwater runoff into the Pheasant Creek
- Large, unnaturally shaped stormwater detention ponds with no landscaping or aeration

B. Appeals. Appeals of any administrative decision made under this section shall be made in writing by the owner(s) of record of the property to the City Design Review Board no less than thirty (30) days prior to any rescheduled meeting of the Board. Appeals of any decision of the Design Review Board shall be made in writing by the owner(s) of record of the property to the City Council no less than thirty (30) days prior to the scheduled Council meeting.

Section 2. That the ECOD, Elmore Corners Overlay District is hereby created and encompasses the property described as follows:

Part of Sections 5, 6, 7 and 8 of Township 78 North, Range 4 East of the 5th P.M. being more particularly described as follows: River 80 First Addition; Jersey Farms Commercial Park First Addition; Jersey Farms Commercial Park Second Addition; and Parcel No. Y0801-02A being a 15.43 acre, more or less, tract of land owned by Schaefer Living Trust as general partner of the V & T Schaefer Family Partnership LP and described as Tract A in the following documents filed for record in Scott County as Trustee’s Quit Claim Deed document No. 2006-4757, Plat of Survey document No. 2001-37358. Boundary of the property contains 342 acres, more or less (area includes rights-of-way).

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective upon final passage and publication as by law provided.

First Consideration _____

Second Consideration _____

Approved _____

Frank Klipsch, Mayor

Attest: _____

Jackie Holecek, MMC
Deputy City Clerk

Published in the *Quad City Times* on _____



*Community Planning and Economic Development Department
City Hall - 226 West Fourth Street - Davenport, Iowa 52801
Telephone: 563-326-7765
www.cityofdavenportiowa.com*

April 4, 2018

Honorable Mayor and City Council
City Hall
Davenport IA 52801

Honorable Mayor and City Council:

At its regular meeting of April 3, 2018, the City Plan and Zoning Commission considered Case No. ORD18-01: Request of the City of Davenport to create an ECOD, Elmore Corners Overlay District and to establish design standards for said district.

The Commission recommends approval of the ordinance deleting the property owned and developed by THF development from the overlay and corresponding design standards.

Finding:

- 1) Proposed ordinance will serve as an effective tool in the implementation of the Elmore Corners Master Plan

Conditions:

None.

The Plan and Zoning Commission accepts the finding and forwards Case No. ORD18-01 to the City Council for approval. The vote to approve was 5 – yes and 1 – no (Reinartz).

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Inghram', written over a light gray rectangular background.

Robert Inghram, Chairperson
City Plan and Zoning Commission



PLAN AND ZONING COMMISSION

Meeting Date: April 3, 2018
Request: Proposed Zoning Ordinance Text Amendment adopting Design Standards for Elmore Corners.
Ward: 6th
Case No.: ORD18-01
Applicant: City of Davenport

Contact: Matthew G. Flynn, AICP
Senior Planning Manager
matt.flynn@ci.davenport.ia.us
563-888-2286

Recommendation:

Staff recommends the Plan and Zoning Commission forward Case No. ORD18-01 to the City Council for approval.

Introduction:

Case No. ORD18-01: Zoning Ordinance Text Amendment adopting Design Standards for Elmore Corners and creating the Elmore Corners Overlay District (ECOD).

Background:

Commercial Corridor Revitalization is a major goal of the City Council.

The Elmore Corners Plan and Design Standards project was authorized by City Council. Following a national search, Vandewalle Associates of Madison Wisconsin was selected to lead the City through the process.

The study area of the Plan closely matches the area proposed to be the overlay district.

The preliminary draft of the design standards is attached. Changes suggested the Plan and Zoning Commission at the Public Hearing are in blue type.

The design standards are intended to ensure a high quality level of coordinated development within the area designed to attract quality national and local retailers while protecting investment.

Following adoption, the new regulations will be incorporated into the new zoning ordinance as well.

Public Input:

Public input has been sought throughout the process.

There was a kick off meeting on July 18, 2017, where key stakeholders were interviewed and provided an overview of the project.

On October 25, 2017, the draft plan was presented to the steering committee. Comments were incorporated into the final draft.

On January 22, 2018, a public meeting was held to review the draft plan. Approximately 80 people attended.

On January 29, 2018, the draft plan was discussed at a 6th Ward meeting.

On February 22, 2018, a follow up public meeting was held.

A public hearing was held by the Plan and Zoning Commission at its March 20, 2018 meeting. No one from the public spoke.

Notices of this public hearing were sent to properties within and adjacent to the Proposed Overlay Area. Signs were posted and an ad run in the Quad City Times. As of this writing, no comments have been received.

Discussion:

These proposed regulations are an important implementation tool of the Comprehensive Plan and more specifically, the Elmore Corners Area Plan. The vision of the Area Plan cannot be reasonably expected to be achieved without the zoning changes.

Like any major zoning change (which would include the future complete zoning ordinance revamp) amendments may be necessary to repair errors and omissions from the current draft under consideration.

Recommendation:

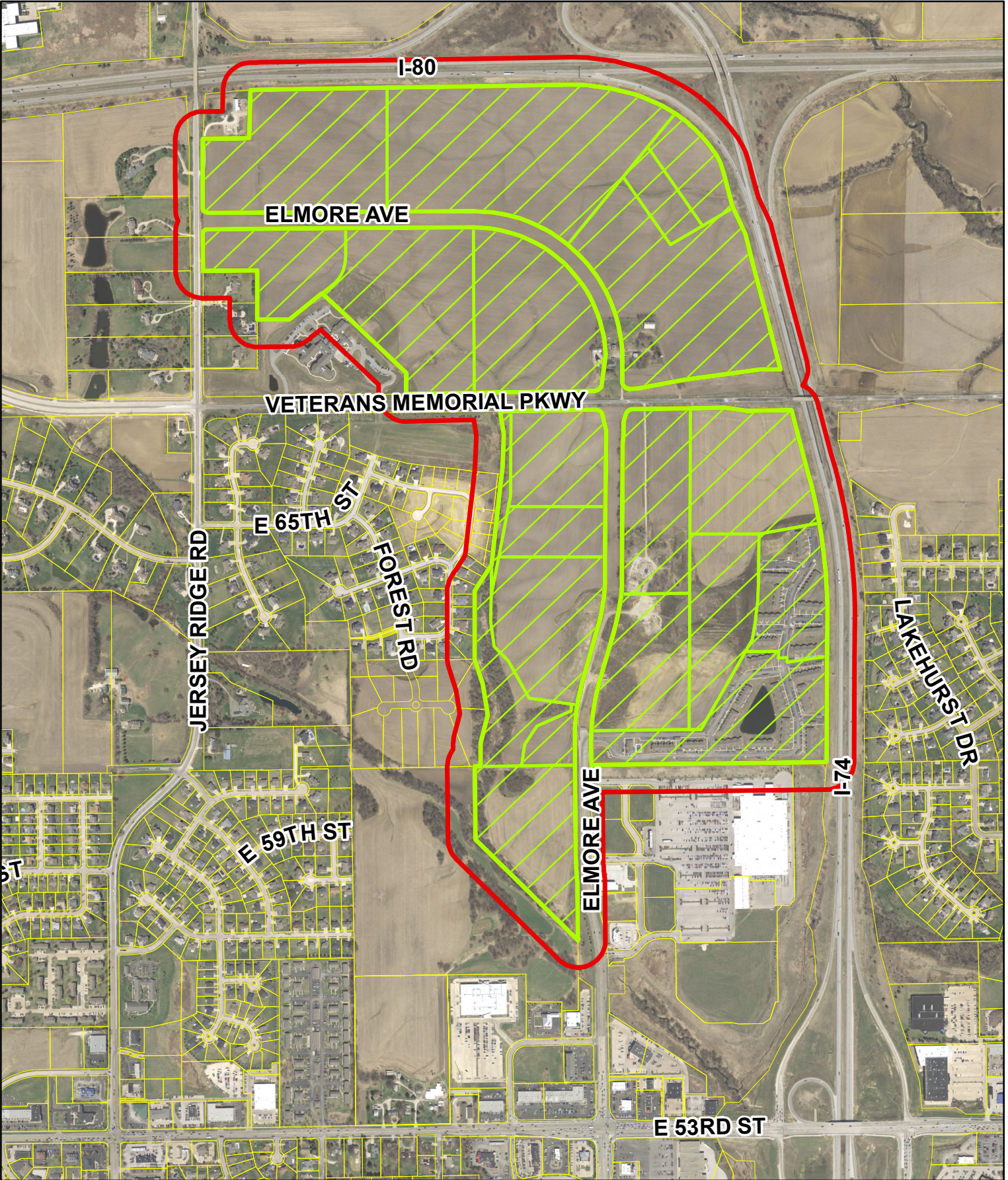
Findings:



Proposed ordinance will serve as an effective tool in the implementation of the Elmore Corners Master Plan

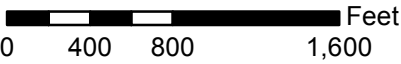
Recommendation:

Staff recommends the Plan and Zoning Commission forward Case No. ORD18-01 to the City Council for approval.

Plan & Zoning Commission: Adjacent Property Owner Notice Area



-  Adjacent Owner Notice Boundary
-  Elmore Corners Overlay Area



Elmore Corners Notice List - Mailing List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
Petitioner:	City of Davenport			
P&Z Chair:	Bob Inghram		binghram@activethermal.net	
Council Clerk:	Tiffany Hickman		tiffanyh@ci.davenport.ia.us	
Neighborhood:	Jersey Farms NA	Tom Jacobson (563) 343-4352	tljacobson@mediacommbb.net ; tomjacobson52@gmail.com	
Ward/Ald:	6th Ward	Alderman Clewell	rclewell@ci.davenport.ia.us	39 Notices Sent
Ward/Ald:	8th Ward	Alderman Tompkins	ktompkins@ci.davenport.ia.us	
Ward/Ald:	At-Large	Alderman Condon		
Ward/Ald:	At-Large	Alderman Gripp	kgripp@ci.davenport.ia.us	
Y0655-08A	2913 E 63RD ST	A.J. MURPHY	2913 E 63RD ST	DAVENPORT IA 52807
Y0533B01	6600 ELMORE AV	ARROWHEAD LLC	6600 ELMORE AV	DAVENPORT IA 52807
Y0533B02	6500 ELMORE AV	ARROWHEAD LLC		
Y0501A03A		BAXTER CONSTRUCTION CO LLC	3225 AVE N	FORT MADISON IA 52627
Y0801-11	5701 ELMORE AV	BEATON HOLDING COMPANY LC	5805 COUNCIL ST NE STE D	CEDAR RAPIDS IA 52402
Y0655-05A	6315 FAIRHAVEN RD	BRETT L FELS LIVING TRUST	6315 FAIRHAVEN RD	DAVENPORT IA 52807
Y0639-01A	6403 FAIRHAVEN RD	BRIAN S SMITH	6403 FAIRHAVEN RD	DAVENPORT IA 52807
Y0549-01A		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
Y0533BOLA		CITY OF DAVENPORT		
Y0501A03B		CITY OF DAVENPORT		
Y0639-19F		CITY OF DAVENPORT IOWA		
Y0655A11	10 WOODVIEW WAY	DOUGLAS N WATTERS	10 WOODVIEW WAY	DAVENPORT IA 52807
Y0655-07A	6301 FAIRHAVEN RD	DUEKER LIVING TRUST	C/O A DUEKER	DAVENPORT IA 52807
Y0551A04	6403 ELMORE AV	ELMORE STORAGE LLC	3245 E. 35TH ST CT	DAVENPORT IA 52807
Y0621-25	6901 JERSEY RIDGE RD	ERIC G VANSEVEREN	6901 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0801-09	5705 ELMORE AV	HALLE PROPERTIES LLC	20225 N SCOTTSDALE RD	SCOTTSDALE AZ 85255
Y0639-03A	6329 FAIRHAVEN RD	JAMES M SULLIVAN	6329 FAIRHAVEN RD	DAVENPORT IA 52807
Y0549A03		JCO PROPERTIES INC	3885 ELMORE AV STE 100	DAVENPORT IA 52807
Y0655-06A	6307 FAIRHAVEN RD	JEFF M HYLAND	6307 FAIRHAVEN RD	DAVENPORT IA 52807
Y0535A06	6551 ELMORE AV	JJO LLC	6215 UTICA RIDGE RD	DAVENPORT IA 52807
Y0621A01		KAHL HOME FOR AGED AND INFIRM	6701 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0623A06		KAHL HOME FOR AGED AND INFIRM		
Y0605-25B	7403 JERSEY RIDGE RD	KARLL FARM L C	3211 E 35TH CT	DAVENPORT IA 52807
Y0639-05F	6455 FAIRHAVEN RD	LAURIE A DOBESH	6455 FAIRHAVEN RD	DAVENPORT IA 52807
Y0639-QLF		LAURIE A DOBESH		
Y0621-01		LEON S ERNESTO	2921 E 46TH ST	DAVENPORT IA 52807
Y0605-01	7400 JERSEY RIDGE RD	LINDA R DUFFY REV TRUST	7400 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0655A09		MCCARTNEY IMPROVEMENT CO	5715 NW BD	DAVENPORT IA 52806
Y0639-QLC		MEADOW BUILDERS INC	4929 UTICA RIDGE RD	DAVENPORT IA 52807
Y0655-04A	6321 FAIRHAVEN RD	MICHAEL A INGLEBY	6321 FAIRHAVEN RD	DAVENPORT IA 52807
Y0655A12		MINH B LAI	921 W 66TH ST	DAVENPORT IA 52806
Y0605-02	7200 JERSEY RIDGE RD	NARIDER KUMAR	7200 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0621-02	7000 JERSEY RIDGE RD	NIDAL H HARB TRUST	7000 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0639-08F	6435 FAIRHAVEN RD	NORTHWEST BANK & TRUST COMPANY	100 E KIMBERLY RD	DAVENPORT IA 52806
Y0535A05	3250 VETERANS MEM PARKWAY	O'BROS L.L.C.	3885 ELMORE AVE	DAVENPORT IA 52807
Y0500-01B		PEDCOR INVESTMENTS	PO BOX 574	CARMEL IN 46082
Y0535-01N		PEDCOR INVESTMENTS		
Y0605A01		QC EQUITY INVESTMENTS LLC	201 HARRISON ST STE 402	DAVENPORT IA 52801
Y0621A07		QC EQUITY INVESTMENTS LLC		
Y0501A04		QC EQUITY INVESTMENTS LLC		
Y0517A05		QC EQUITY INVESTMENTS LLC		
Y0533B03	6300 ELMORE AV	QC SOUTH LANDS EQUITY INVESTMENTS LLC		
Y0549A02		QC SOUTH LANDS EQUITY INVESTMENTS LLC		
Y0639-02A	6335 FAIRHAVEN RD	RANDALL E BOLDT	6335 FAIRHAVEN RD	DAVENPORT IA 52807
Y0621-26	6801 JERSEY RIDGE RD	RICK W HOLLINGSWORTH	6801 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0607A02	7077 ELMORE AV	RYTHYM CITY CASINO LLC	7077 ELMORE AVE	DAVENPORT IA 52807
Y0707-01C		WEBBER LIVING TRUST	19134 246TH AVE	BETTENDORF IA 52722
Y0801-06		THF DAVENPORT NORTH DEVELOPMEN	211 N STADIUM BD STE 201	COLUMBIA MO 65203
Y0801-07		THF DAVENPORT NORTH DEVELOPMEN		
Y0801-08		THF DAVENPORT NORTH DEVELOPMEN		
Y0801-10		THF DAVENPORT NORTH DEVELOPMEN		
Y0801-OLC		THF DAVENPORT NORTH DEVELOPMEN		
Y0803-01	5811 ELMORE AV	THF DAVENPORT NORTH DEVELOPMEN		
Y0819AOLA1		THF DAVENPORT NORTH DEVELOPMENT		
Y0639-09F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP	2660 E 53RD ST STE 7	DAVENPORT IA 52807
Y0639-OLE		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-OLD		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-OLB		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-OLA		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-10F	6411 FAIRHAVEN RD	TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-07F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-06F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0639-04F		TOWNE & COUNTRY MANOR DEVELOPMENT CORP		
Y0801-02A		VTS FARM PARCEL A LLC	19134 246TH AV	BETTENDORF IA 52722
Y0621-24	7001 JERSEY RIDGE RD	WALTER J BRADLEY	7001 JERSEY RIDGE RD	DAVENPORT IA 52807
Y0655A10	9 WOODVIEW WAY	WOOD TRUST CMA	2805 E 43RD ST	DAVENPORT IA 52807

		APPROVED	APPROVED	APPROVED	FAILED	APPROVED	APPROVED		
Name:	Roll Call	CP18-01 Elmore Corners Plan	Amend ORD18-01 Amend 17.41 Elmore Corners Overlay District	ORD18-01 Amend 17.41 Elmore Corners Overlay District	Table ORD18-03 Amend 17.36 M-1 Uses	ORD18-03 Amend 17.36 M-1 Uses	F18-02 Bett's Corporation 2nd Add'n		
Connell	EX								
Hepner	P	Y	Y	Y	N	Y	Y		
Inghram	P								
Kelling	P	Y	Y	Y	Y	N	Y		
Lammers	P	Y	Y	Y	Y	N	Y		
Maness	EX								
Martinez	A								
Medd	P	Y	Y	Y	N	Y	Y		
Quinn	A								
Reinartz	P	Y	N	N	N	Y	Y		
Tallman	P	Y	Y	Y	N	Y	Y		
	7	6-YES 0-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	2-YES 4-NO 0-ABSTAIN	4-YES 2-NO 0-ABSTAIN	6-YES 0-NO 0-ABSTAIN		

PASTRNAK LAW FIRM, P.C.

Attorneys at Law

313 W. 3rd Street

Davenport IA 52801

Phone: (563) 323-7737, Ext. 230

Fax: (563) 323-7739

E-mail: gjager@pastrnak.com

Thomas J. Pastrnak*
Candy K. Pastrnak*

Troy D. Venner*

ILLINOIS OFFICE:
6300 75th Ave., Suite A
Milan, IL 61264

Thomas R. Schulz – Of Counsel *
Gregory S. Jager – Of Counsel**
Dee Runnells – Of Counsel*

* Admitted in Iowa and Illinois

** Admitted in Iowa Only

Planning and Zoning Commission

C/o Matt Flynn

City of Davenport

226 W. 4th St

Davenport, Iowa 52801

March 30, 2018

Re: Elmore Corridor Overlay District and
Design Standards

Dear members of the Commission:

We represent THF Davenport North Development, L.L.C., the owner of the Walmart, Dick's, Golf Galaxy and other vacant parcels referred to as Lots 1,4,5,6,7,8, and 10 in the THF First Addition to the City of Davenport, and on behalf of the owner, we object to any rezoning of these parcels or zoning overlay districts being added thereto.

We have thoroughly reviewed the proposed design standards and building restrictions proposed for the Elmore Corners Overlay District and believe they will make it more difficult to market and find tenants or purchasers of the remaining vacant parcels.

The Walmart store was constructed at a time when no one was considering developing Elmore Ave. Recently there has been more than 160,000 sq. ft. of commercial use added to the site with the location/expansion of Dick's Sporting Goods, Golf Galaxy, Field and Stream, and Hobby Lobby. The owner's investment in this area has totaled \$43,158,467. We have worked with Davenport councils and staff for over 17 years to make development on this site possible.

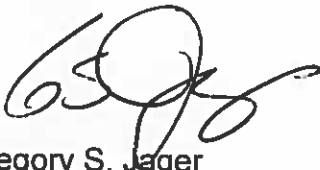
PASTRNAK LAW FIRM, P.C.

Gregory S. Jager
March 30, 2018
Page 2

When Walmart first located in Davenport, the City Council established numerous conditions upon the ultimate development of the site. (ordinances #94-644, 2001-229. 2001-230) with which we have complied. Those conditions were in response to concerns of the Council and neighbors regarding the development, and time has shown that we have not had the adverse impact that some had feared. We consider our development to be a main destination for many shoppers in Davenport and throughout the Quad City area. To impose additional regulations on property which is in the process of development and already subject to council review via the planned development district process is unnecessarily expensive and burdensome.

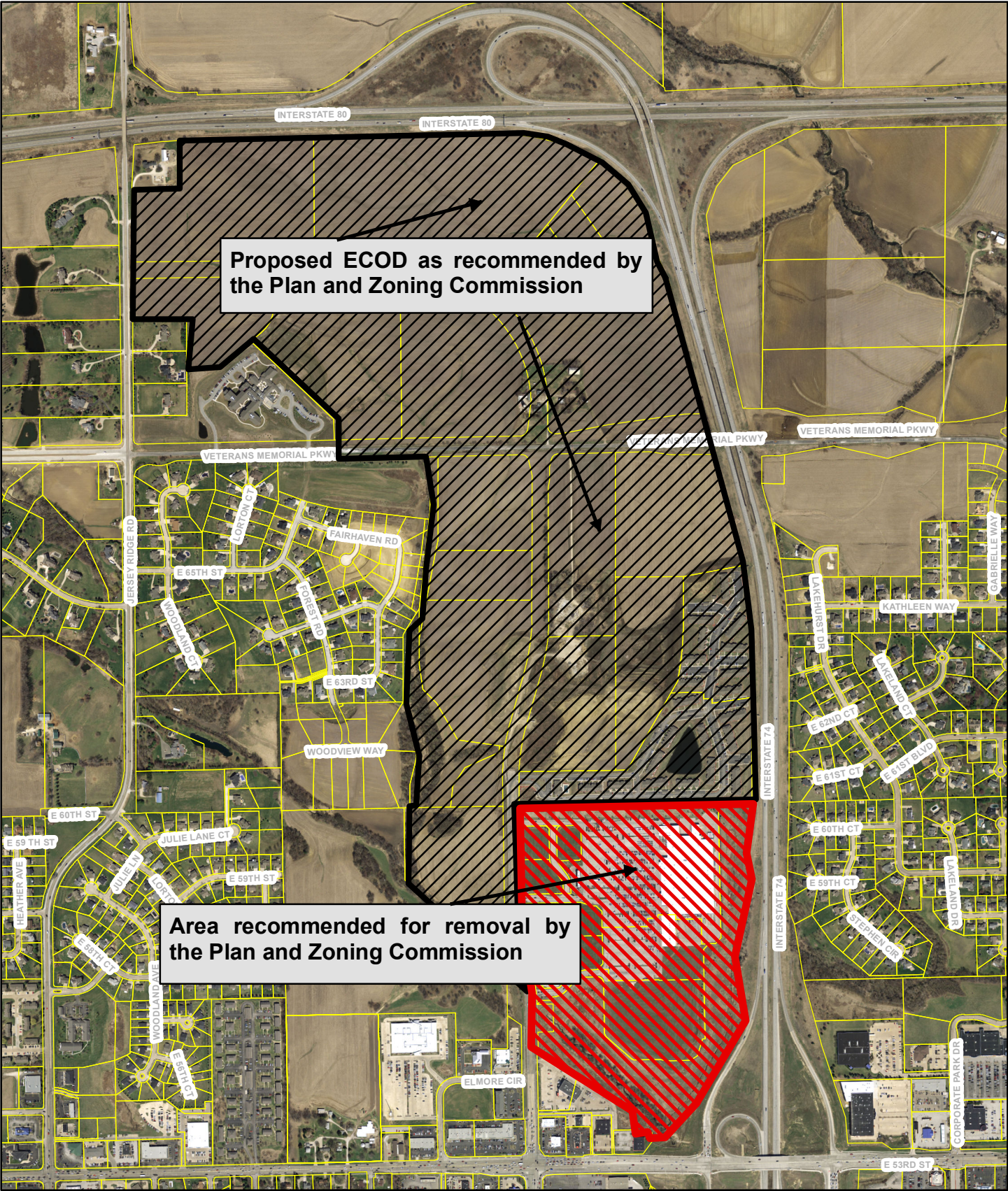
If the council must impose zoning restrictions beyond those already established by law on properties within the area, we ask that our ground be removed from the overlay district. Otherwise, we are opposed to the ECOD Elmore Corners Overlay District, and ask our objection be placed of record.

Sincerely,

A handwritten signature in black ink, appearing to read 'G. Jager', with a large circular flourish at the end.

Gregory S. Jager
Attorney at Law
For: Pastrnak Law Firm
On Behalf of: THF Davenport North Development, L.L.C.

ORD18-01: Proposed ECOD, Elmore Corners Overlay District



0 220 440 880 1,320 1,760 Feet



City of Davenport

Agenda Group: Committee of the Whole
Department: Legal
Contact Info: Brian Heyer
Wards: 5

Action / Date
4/4/2018

Subject:

Resolution authorizing the conveyance of vacated public right of way, that being part of East 10th Street lying north of the sidewalk at 1002 Bridge Avenue, Juan Goitia, Petitioner [Ward 5].

Recommendation:

Consider the resolution.

Relationship to Goals:

Revitalized neighborhoods.

Background:

The subject right of way was vacated by Ordinance No. 2017-25 with the intention that Juan Goitia would request that it be conveyed to him as the abutting property owner. A public hearing was held as required by law on April 4, 2018.

REVIEWERS:

Department	Reviewer	Action	Date
Legal	Admin, Default	Approved	3/13/2018 - 11:03 AM

City of Davenport

Agenda Group: Community Development
Department: Community Development Committee
Contact Info: Matt Flynn, 888-2286
Wards: 6

Action / Date
COW4/11/2018

Subject:

Resolution adopting the Elmore Corners Plan as an element of the Davenport Comprehensive Plan [Ward 6]

Recommendation:

Adopt the Resolution to reflect original boundaries.

Relationship to Goals:

Fiscal Vitality

Background:

The Elmore Corners Plan is the culmination of a public process that establishes a vision and set of Design Standards for the North Elmore Corridor.

The Plan documents articulates the vision through illustrations and photographs of comparative development while the Design Standards provide the regulatory tools to achieve the vision.

Please see attachments for additional information.

ATTACHMENTS:

Type	Description
▣ Backup Material	P&Z Staff Report
▣ Resolution Letter	Resolution
▣ Backup Material	Plan Document
▣ Backup Material	P&Z Letter

REVIEWERS:

Department	Reviewer	Action	Date
Community Development Committee	Berger, Bruce	Approved	4/12/2018 - 3:40 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 3:52 PM



PLAN AND ZONING COMMISSION

Meeting Date: April 3, 2018
Request: Case No. CP18-01: Adoption of the Elmore Corners Area Plan as an Element of the Davenport Comprehensive Plan.
Ward: 6th
Case #: CP18-01
Applicant: City of Davenport

Contact: Matthew G. Flynn, AICP
Senior Planning Manager
matt.flynn@ci.davenport.ia.us
563-888-2286

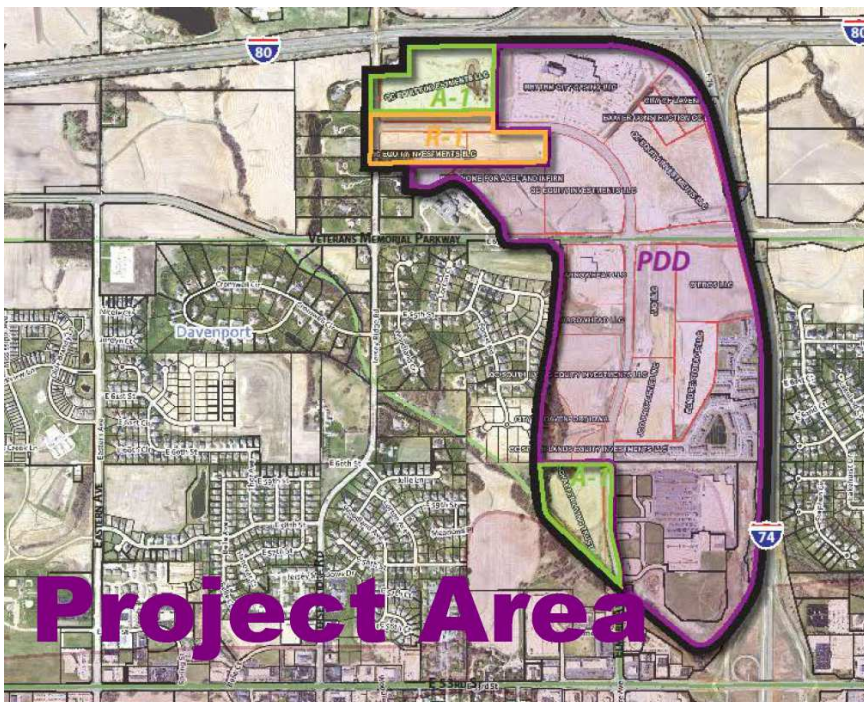
Recommendation:

Staff recommends Case No. CP18-01 be forwarded to the City Council with a recommendation for approval.

Introduction:

Case No. CP18-01: Adoption of the Elmore Corners Area Plan as an Element of the Davenport Comprehensive Plan.

Background:



The purpose of this effort is to capitalize on the most visible, strategic and desirable location for commercial development serving the entire Quad Cities Region. The plan seeks to articulate a coordinated vision between different parcels and land owners and establishing high-quality design standards intended to attract investors committed for the long term.

Also attached is the Draft Plan Document, which contains additional information.

Public Input:

Public input has been sought throughout the process.

There was a kick off meeting on July 18, 2017, where key stakeholders were interviewed and provided an overview of the project.

On October 25, 2017, the draft plan was presented to the steering committee. Comments were incorporated into the final draft.

On January 22, 2018, a public meeting was held to review the draft plan. Approximately 80 people attended.

On January 29, 2018, the draft plan was discussed at a 6th Ward meeting.

On February 22, 2018, a follow up public meeting was held.

At the public hearing held on March 20, 2018, no one from the public spoke.

Discussion:

Recommendation:

Findings:

The Elmore Corners Areas presents a unique opportunity to create a special place by promoting high quality design standards in a well-coordinated development pattern.

The Comprehensive Plan encourages the creation of sub area plans when the need and opportunity arises.

Recommendation:

Staff recommends Case No. CP18-01 be forwarded to the City Council with a recommendation for approval.

Resolution No. _____

Resolution offered by

RESOLVED by the City Council of the City of Davenport.

Resolution Approving Case No. CP18-01: Adopting the Elmore Corners Plan as an element of the Davenport Comprehensive Plan. [6th Ward]

WHEREAS, in accordance with Title 2.64.130 of the Davenport Municipal Code, the City Plan and Zoning Commission has approved and recommends to the City Council adoption of the Elmore Corners Plan as an element of the Davenport Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the Elmore Corners Plan is hereby approved and is incorporated as an element of the Davenport Comprehensive Plan and the Mayor and City Clerk be, and they are hereby authorized and instructed to certify to the adoption of this resolution as required by law.

Approved:

Attest:

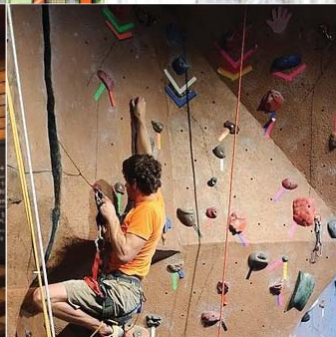
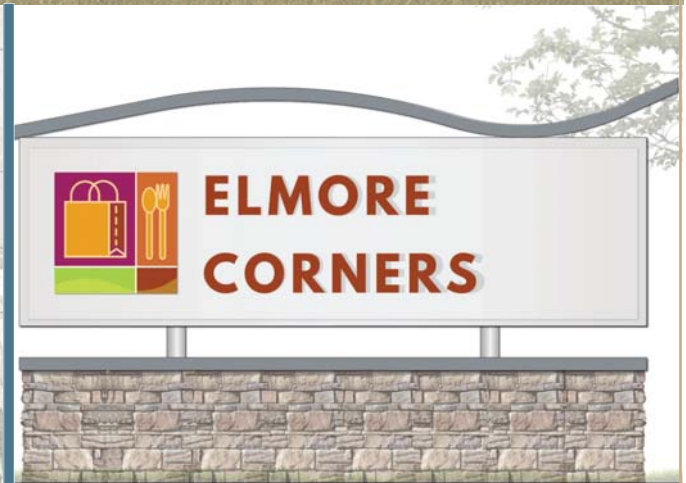
Frank Klipsch, Mayor

Jackie E. Holecek, City Clerk



Elmore Corners Plan

Davenport, Iowa



Draft: November 3, 2017

Planning assistance by:

Vandewalle & Associates, Inc.
120 East Lakeside Street
Madison, WI 53715
(608) 255-3988

247 Freshwater Way, Suite 530
Milwaukee, WI 53204
(414) 988-8631
www.vandewalle.com



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Urban Greenway	p5
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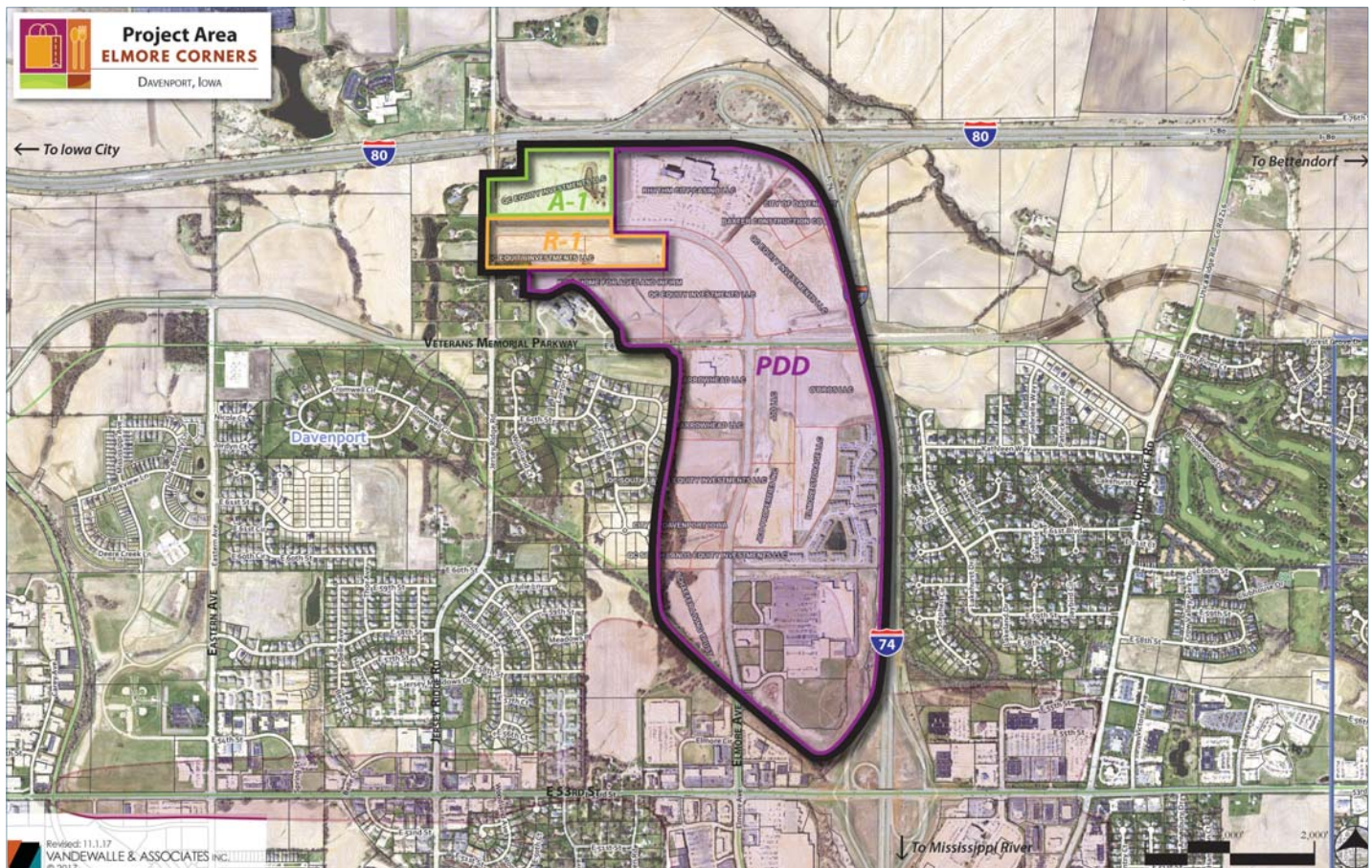
I. Introduction

PROJECT AREA

Located on the northeast side of Davenport, Iowa, at the intersection of Interstate 80 and Interstate 74, the approximately 264-acre project area is sited at a strategic community location. The project area serves as a community gateway from the Interstate 80 corridor. Generally, surrounding land uses include Interstate 80 and agricultural land to the north, single-family homes to the west, retail and commercial to the south, and Interstate 74 and single-family homes to the east.

As shown on Map 1, the majority of the planning area is currently zoned Planned Development District (PDD) with a few R-1 and A-1 parcels, and eight property owners control the majority of the properties. The entire project area falls within the Highway Corridor Overlay Zoning District. Current uses in the project area include a casino, automobile sales lot, apartments, retail, warehouse storage, senior living, and agriculture.

Map 1. Project Area



PROCESS

The planning process took place from July to October of 2017 and the City of Davenport Staff served as the project steering committee. Staff provided guidance throughout the planning process and approved all plans, drawings and recommendations. The steering committee reviewed draft plans two times throughout the project before deliverables were finalized.

Project Kick Off Meeting and Stakeholder Interviews – July 18, 2017

Vandewalle & Associates traveled to Davenport to meet with City Staff, City Officials and project stakeholders. During these meetings, stakeholders provided initial project input and suggestions. Property owners provided plans for their properties and future land uses and improvements were brainstormed. Additional stakeholder input was provided via teleconferences throughout the planning process.

Draft Presentation – October 25, 2017

Vandewalle & Associates presented the draft Site Layout Plan, Pedestrian Circulation and Streetscape Concept, Public Street Network, Landscape Concept, Wayfinding Concept, Branding Concept, and Design Development Standards via a web conference. The steering committee provided feedback and asked questions during the meeting. After the presentation, Vandewalle & Associates finalized all drawings and summarized them into this document, *Elmore Corners Plan*.



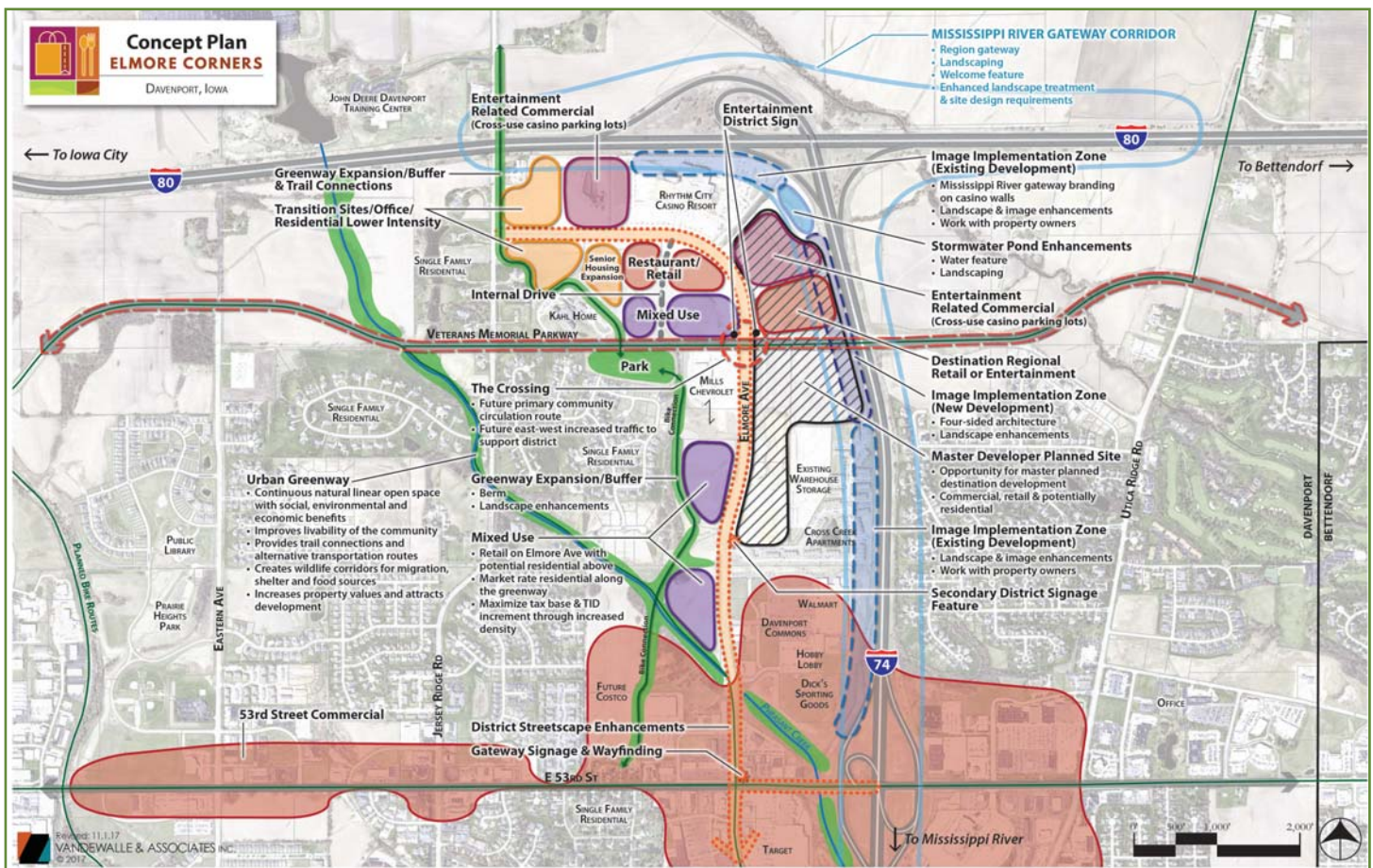
Elmore Corridor



II. Concept Plan

As seen in Map 2, the Concept Plan establishes the planning and development vision for Elmore Corners in the context of adjacent neighborhoods and existing land uses. The map highlights proposed future land uses and public infrastructure. The illustration also identifies important design issues to be considered for a successful development. These are explained further below and in the Design Development Standards section.

Map 2. Concept Plan



POTENTIAL FUTURE DEVELOPMENT

Future development should be a sustainable mix of land uses that are market feasible, serve current community needs, maximize tax base, and support the success of the Rhythm City Casino. Visual access from two interstate highways and traffic generation from the casino create a strong market for retail. While the current retail market is in transition from “brick and mortar” to “on-line” shopping, future development around the casino should be tailored toward experiences and entertainment. Uses that complement the casino should be encouraged in the northern planning area.

An opportunity exists to create a mixed-use neighborhood through a master planned site located between Interstate 74 and Elmore Avenue. This area is sufficient in size to develop retail, commercial, office and residential development along a secondary street system. Lands between the senior housing project and Elmore Avenue should be a mix of commercial related to the casino and residential uses. This large block should be broken up with additional public streets to provide access into the site. Land uses along Jersey Ridge Road should decrease in scale, massing, and vehicular trip generation to create a transition in development intensity between the casino entertainment area and existing single-family neighborhoods to the west.

Along Elmore Avenue, north of the Pheasant Creek corridor, provides a natural break in land use and an opportunity to transition from strictly retail/commercial uses located along 53rd Street to a more integrated neighborhood. These sites should contain mixed-use buildings along Elmore Avenue and around the intersection of Elmore Avenue and Veterans Memorial Parkway. First floor commercial uses will maintain the Elmore Avenue commercial street edge while residential or office above increases development density and tax base. The area between these mixed-use buildings and the proposed greenway is suitable for multi-family residential development. Density could be increased since the residents will have access to the greenway for alternative transportation to public streets.

Potential land uses are further explained in the following Site Layout Plan section of this document.

THE CROSSING

The intersection of Elmore Avenue and Veterans Memorial Parkway will be a major community intersection in the near future. With the completion of Veterans Memorial Parkway construction, a new east/west corridor will run through Davenport, providing vehicles with a new transportation route. These automobile trips will create a commercial market at this intersection and along the parkway. The intersection also becomes an important wayfinding point, identifying the Elmore Corners Entertainment District to the north and retail and commercial to the south.



Example Potential Future Development Uses



IMAGE IMPLEMENTATION ZONES

These areas along the interstate are highly visible and are often the first image of Davenport for visitors. The quality of development along the corridor is important to best represent the City. For this reason, development within the area should be of high quality architecture and site design. Buildings should have four-sided architecture, meaning quality design and materials on all sides of the building. Sites should contain aesthetically pleasing landscaping and storm-water management areas. Parking lots should be screened from the interstate and stormwater detention ponds should be naturalized in shape and landscaping.

MISSISSIPPI RIVER GATEWAY CORRIDOR

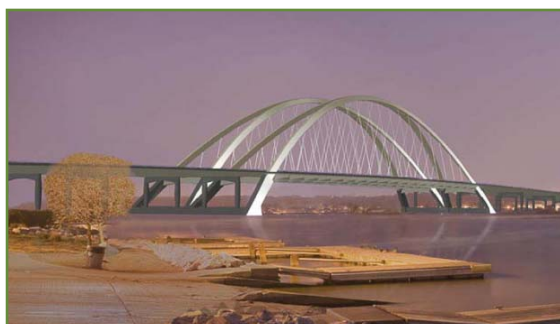
The Image Implementation Zones fall within a larger initiative to unify the image of the Interstate 74 corridor under the Q2030 Regional Plan, specifically the I-74 Gateway Corridor, part of the Prosperous Economy theme/pillar. Projects that fall within this area should highlight the community gateway through both high-quality architecture and community gateway signage. The region may work with the casino operators to use the blank casino walls to highlight region heritage, the Mississippi River, community events, etc. The space should be a lively welcome to visitors.

URBAN GREENWAY

A greenway system would provide numerous benefits to future residents and visitors of Elmore Corners. A greenway is a continuous and linear natural open space with environmental, social and economic roles. The natural role is to provide animals with a natural habitat for nesting, migration and food sources. Greenways can also be used for storm water infiltration and conveyance. The social role is to improve urban recreation opportunities, encourage community interaction, and provide an alternative transportation mode. Greenways also have economic benefits by increasing land values. Businesses located near greenways highlight this feature as an employee amenity and greenways aid in workforce retention and attraction. The greenway is proposed as a 100-foot wide corridor which will provide a buffer space between existing neighborhoods and new development. The public space can also be used to organize development by providing an off-street path accessible from new buildings.



Example Image Implementation Zone



Mississippi Gateway Corridor



Urban Greenway

NEIGHBORHOOD CONTEXT

Established single-family neighborhoods border the Elmore Corners planning area to the west. As development occurs, design attention must be paid to building placement, massing, design, setbacks, and lighting to ensure future development does not negatively impact these neighborhoods. The proposed Urban Greenway along the western project boundary will provide a natural buffer between established and proposed neighborhoods.



Neighborhood Context

STREETSCAPE AND WAYFINDING

The district public space image and signage will be as important as architecture in establishing a high-quality development. Public streets should contain decorative street lights, banners, and plantings. A consistent district wayfinding system should be installed to direct visitors to destinations and activities.



Example Wayfinding Signage

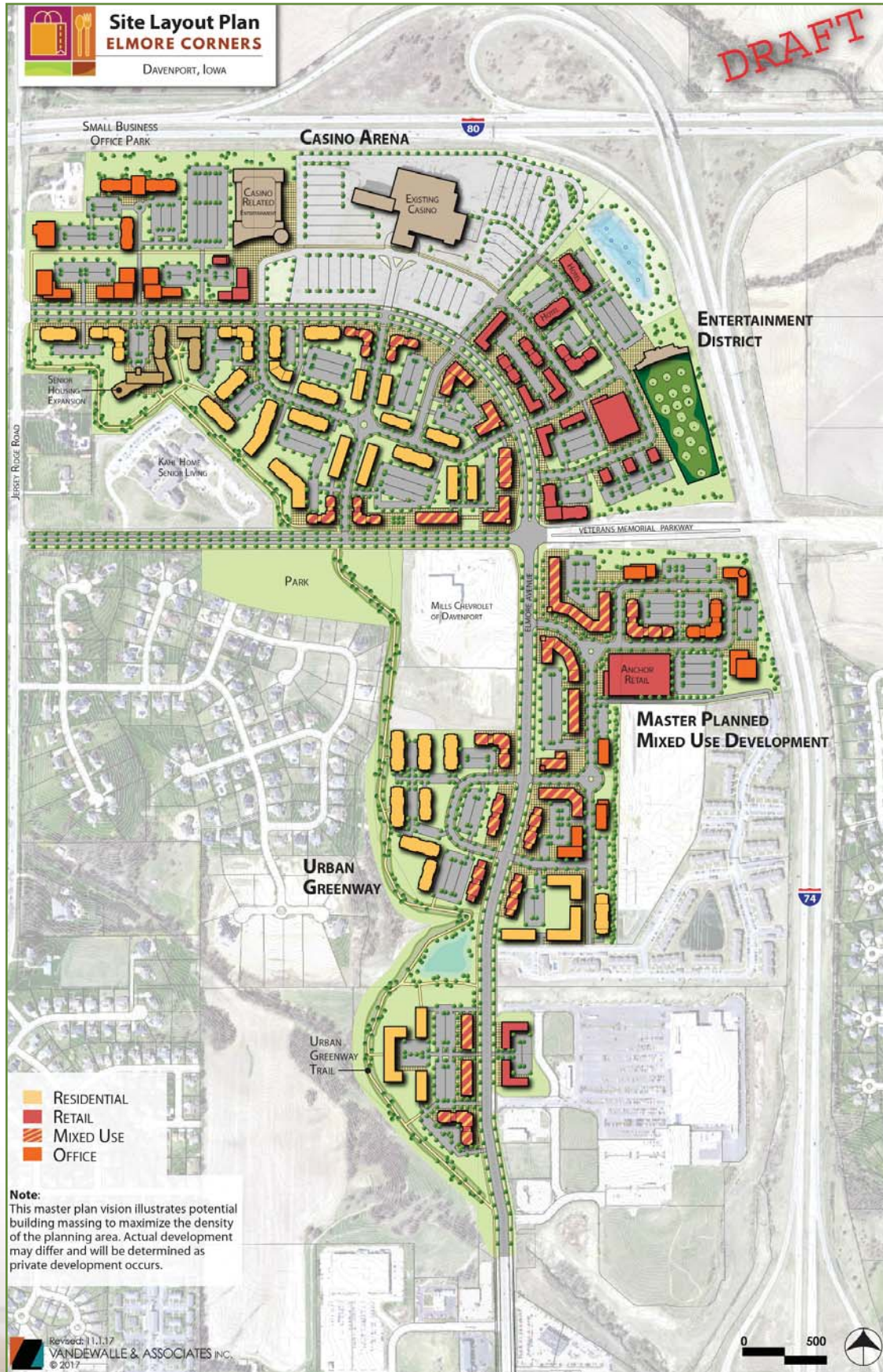


III. Site Layout Plan

The Site Layout Plan provides a vision for how Elmore Corners could develop to provide a community gateway development, maximize tax base, and create walkable and sustainable neighborhoods. The plan illustrates potential building massing, locations, and density, though actual development proposed by private developers will vary from this vision. The plan represents the steering committee desired development pattern.

In addition to future building locations, the Site Layout Plan also contains suggested marketable future land uses. This information is provided by project sub areas for ease of describing potential future development. The subareas are not intended to be branding names. These subareas are described in the following text and summarized on Map 4. Sub Areas on page 19.





ELMORE CORNERS ENTERTAINMENT DISTRICT

Being adjacent to the Rhythm City Casino and highly visible from the junction of two interstate highways, this area has the market potential to become a destination entertainment district. The area is envisioned as an active district providing visitors with numerous activities in a walkable environment. Future streets and walkways connect new development to the casino entrance. Future uses could be a mix of entertainment anchor uses for people of all ages. Parking should be shared between uses to maximize developable area and minimize parking lots and distances between uses. Buildings near the casino may be able to share parking with the casino.

Potential uses could include:

- Hospitality
- Regional retail
- Sports arena
- Sports training facilities
- Sports entertainment
- Indoor activity center of children and/or adults
- Music venue
- Restaurants
- Brew pub/micro brewery
- Health and wellness facility
- Water park resort

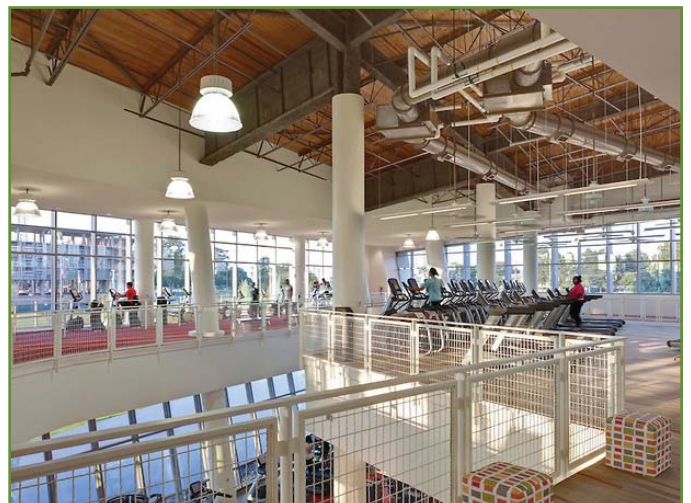
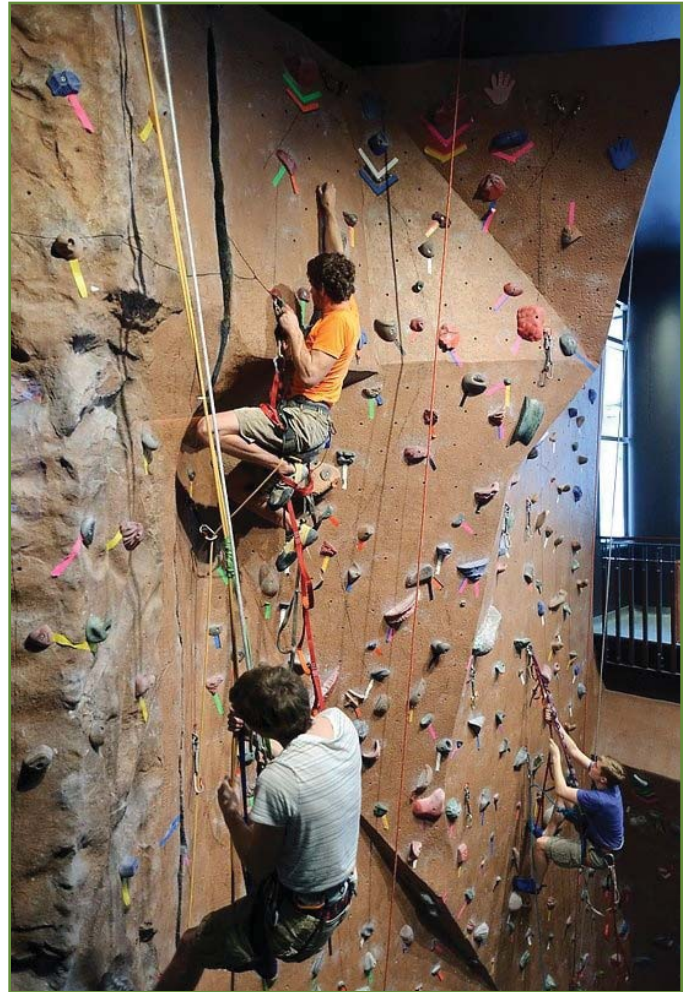
Quality four-sided architectural standards and enhanced landscaping will be especially important within this area, since it is highly visible from the interstate highways and falls within the I-74 Gateway Corridor, as identified in the Q2030 Regional Plan. Buildings in this area are anticipated to be one to five stories in height. The site layout plan shows the following approximate square footage at one story for retail and five stories for hospitality:

Retail/Commercial – 140,000 sf

Entertainment Anchors – 70,000 sf

Hospitality – 300 rooms





MASTER PLANNED DEVELOPMENT

This area provides an opportunity for a large-scale master planned development. With three property owners, the land may be developed jointly into a dense, mixed-use neighborhood. Anchored by a destination retail use, the neighborhood is envisioned to be urban in design with buildings located along new public streets providing pedestrians with an enjoyable and walkable connection between uses. First floor buildings should be commercial with office and residential on above floors. An area along Interstate 74 should be reserved for office sites providing employers with great highway visibility.

Potential uses may include:

- Mixed-use buildings with retail or services on ground floors and residential or offices above
- Retail - destination branded, i.e. "Shops at Elmore Corners"
- Restaurants
- Anchor retail – potential grocery store
- Office sites along Interstate 74 and Veteran's Memorial Parkway
- Structured parking to achieve critical density to create a walkable district

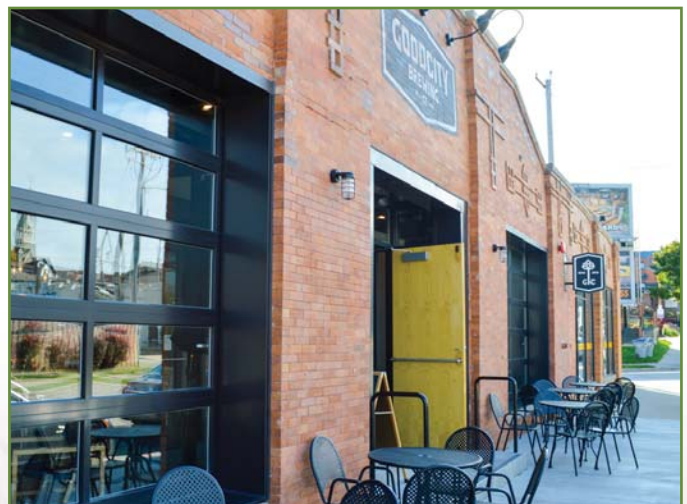
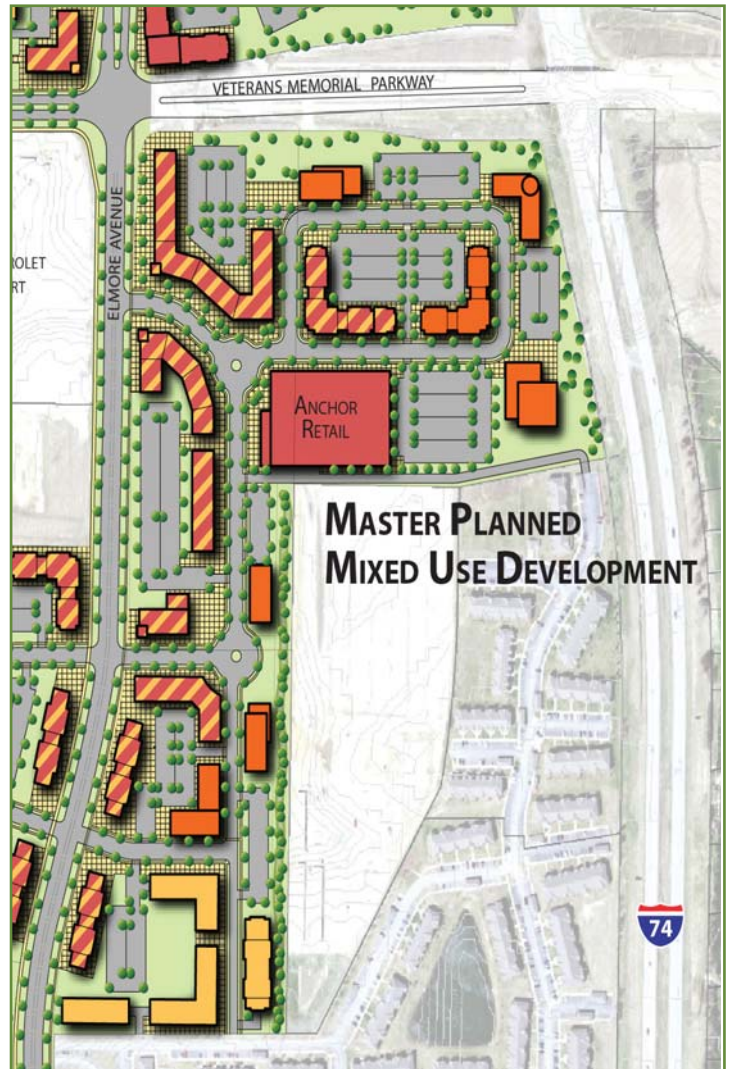
Surface parking lots could be initially constructed and be phased into structured parking as the site densifies. Buildings in this area are anticipated to be one to four stories in height. The site layout plan shows the following approximate square footage/residential units at three stories for office and mixed-use buildings and one story for the anchor retail:

Retail/Commercial – 290,000 sf

Anchor Retail – 95,000 sf

Office – 350,000 sf

Residential – 450 units





ELMORE CORNERS MIXED-USE NEIGHBORHOOD

This area, located between the Rhythm City Casino and senior housing along Veterans Memorial Parkway, should be developed into a residential neighborhood with commercial along the major streets. A future public street connecting the casino entrance to Veterans Memorial Parkway extends the commercial market from the Elmore Avenue/Veterans Memorial Parkway intersection west to the two new intersections. Mixed-use buildings are suggested along the primary streets to serve both district visitors, neighborhood residents, and citizens commuting along Veterans Memorial Parkway. These buildings provide excellent ground floor spaces for local retailers and service providers.

Residential is envisioned as the primary land use west of the casino and proposed north/south street. Future development could be a combination of multi-family housing and an expansion of the senior housing development. All buildings should have trail access to the greenway. The proposed north/south public street also provides a controlled crossing of Veterans Memorial Parkway, connecting the greenway across the street. Buildings in this area are anticipated to be three to four stories in height. The site layout plan shows the following approximate square footage/residential units at three stories:

Retail/Commercial – 140,000 sf

Senior Housing – 150,000 to 200,000 sf

Residential – 1,100 units





NORTH END

This area, located between Jersey Ridge Road and Rhythm City Casino, has excellent visibility from Interstate 80. While retail may not be suitable due to distance away from the intersection of Elmore Avenue and Veterans Memorial Parkway, the area may be attractive for companies to locate an office or headquarters. The master plan shows a large office building along the interstate with smaller office sites to the south, along Elmore Avenue. A small business office park could be established providing employees with access to retail and commercial, as well as, nearby housing. Users are anticipated to be in the 10,000 to 40,000 sf range, providing owner occupied opportunities.

The eastern edge of the area may be developed with a casino-related destination use such as an entertainment facility, arena, or indoor/outdoor water park which would generate traffic and provide market for support retail or restaurants. A destination use could utilize existing parking lots at the casino to reduce the need for additional paved area. A pedestrian connection should be constructed between this area, the casino, and the Elmore Corners Entertainment District. The connection could also extend to the west connecting office and commercial uses to the greenway.

Buildings in this area are anticipated to be one to four stories in height, though a corporate user along the interstate may be taller. Office buildings on the west end should be one to two stories to transition to the existing single-family neighborhood to the west. The site layout plan shows the following approximate square footage at three stories for office use and one story for retail and casino-related destination uses:

Retail/Commercial – 25,000 sf

Office – 420,000 sf

Casino-Related Destination – 60,000 to 120,000 sf





ELMORE CORRIDOR

Uses along Elmore Avenue are currently retail and commercial. As Elmore Corners develops into a sustainable neighborhood with a mix of uses, this area should be reserved for mixed-use buildings along Elmore Avenue and multi-family residential to the west. Mixed-use buildings may contain retail, commercial, or service uses on the ground floors with parking to the rear of buildings. Above floors may be residential or office. All buildings have walkway connections to both sidewalks along Elmore Avenue and the pathway in the proposed Urban Greenway. The latter offers an alternative transportation route, exercise area, and access to the natural environment.

This plan recommends removing the berm, located along the western edge of Elmore Avenue, across from Davenport Commons commercial development. This will allow future buildings along the street to have commercial ground floor uses. If the berm remains, then the uses on the site would be residential as the berm would block views of commercial properties. Buildings in this area are anticipated to be three to four stories in height. The site layout plan shows the following approximate square footage/residential units at three stories:

Retail/Commercial – 100,000 sf

Residential – 600 units



RETAIL INFILL

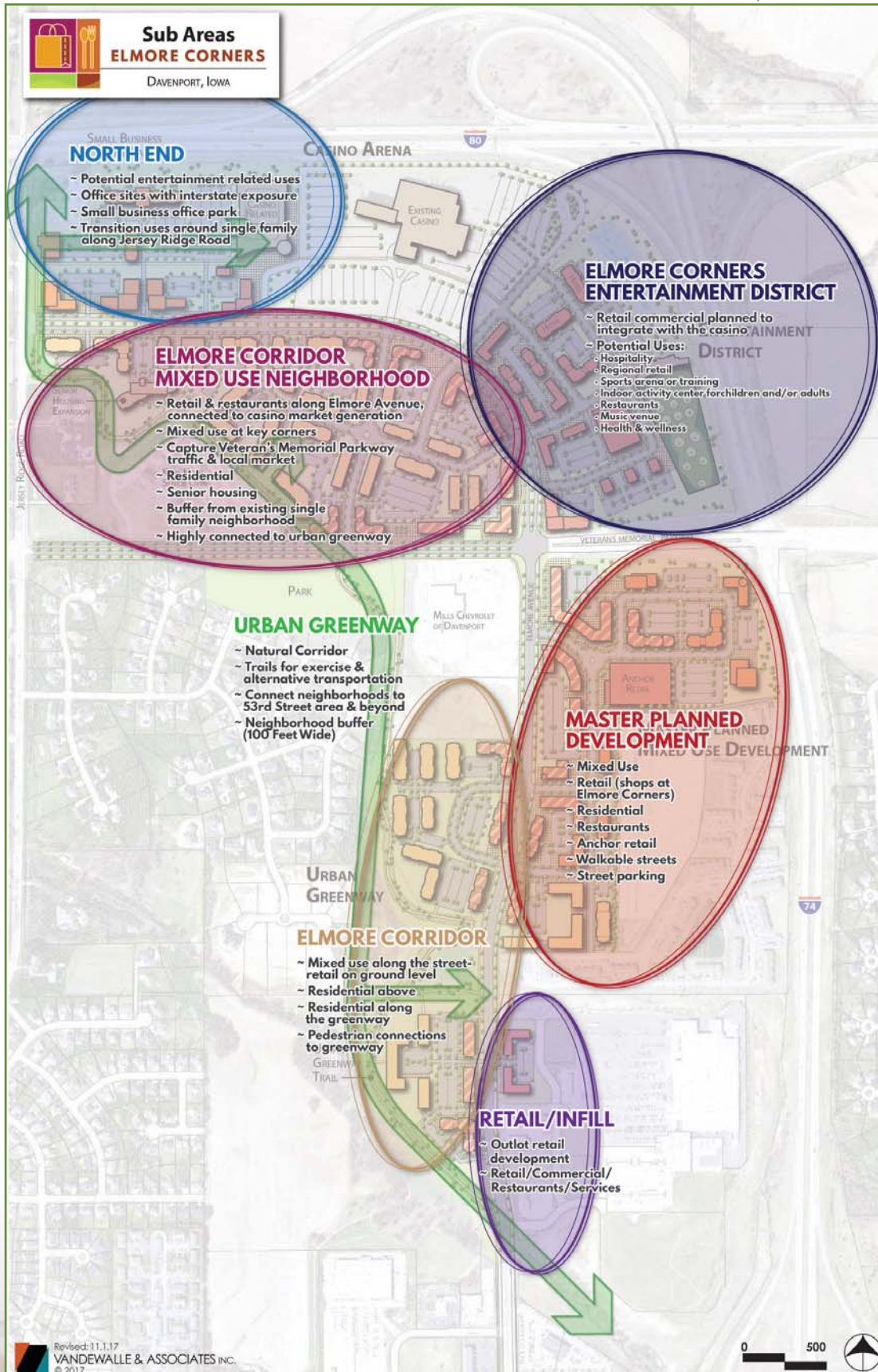
The final area of the Elmore Corners Plan is the out-lot sites along Elmore Avenue within Davenport Commons. These sites will most likely remain as sites for retail, commercial, service, or restaurants. Parking is encouraged to the rear to maintain a building face streetscape along Elmore Avenue. Locating the buildings near the public street will also announce Davenport Commons for visitors.

Buildings in this area are anticipated to be one to two story. The site layout plan shows the following approximate square footage at one story:

Retail/Commercial – 26,000 sf

The development areas and projects identified within the Site Layout Plan are not dependent upon each other to develop. Each project can stand on its own and could be a separate developer and/or phase.

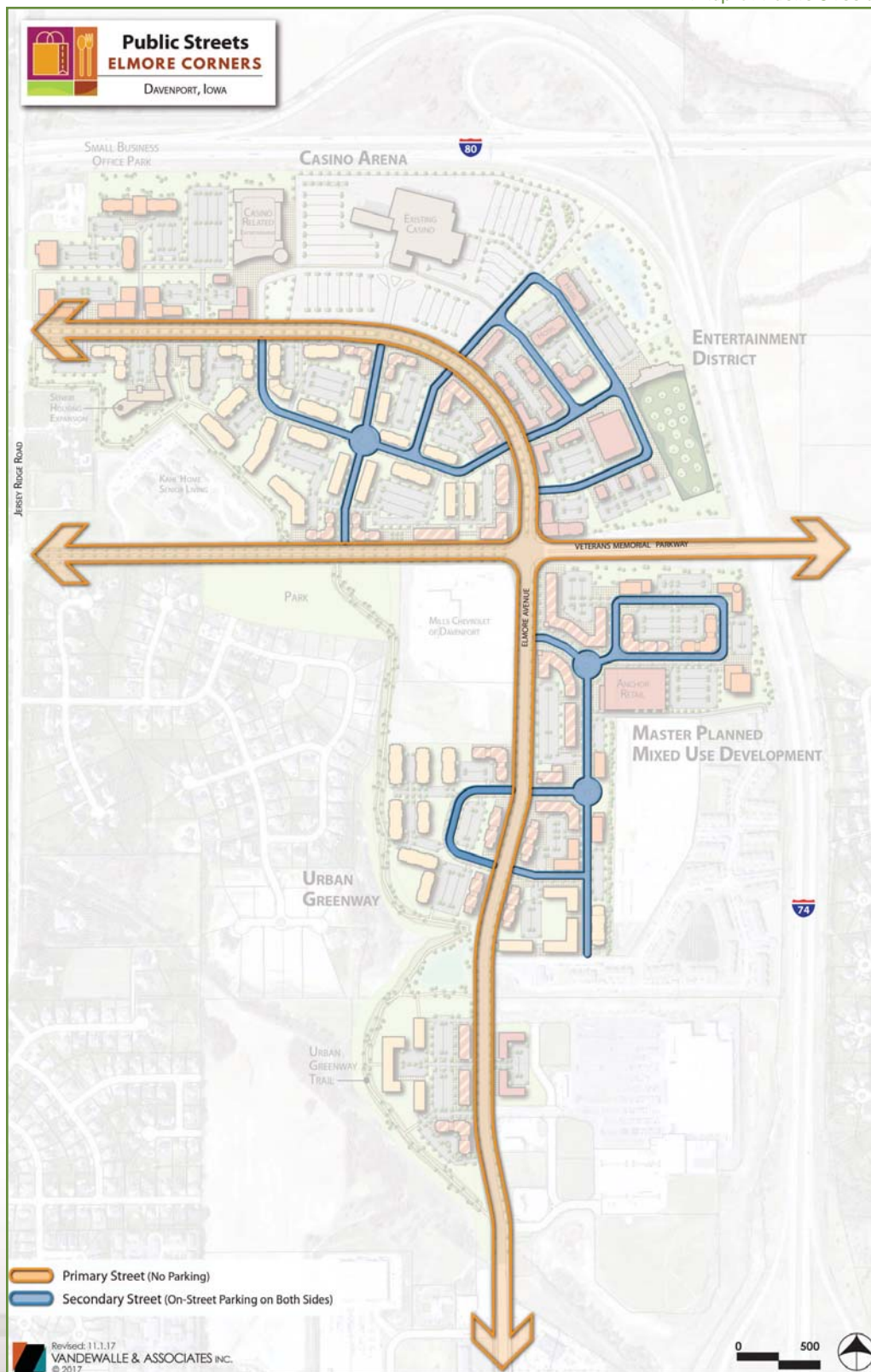




CIRCULATION

Maps 5 & 6 illustrate the circulation vision for Elmore Corners. Map 5 highlights public street types, while Map 6 illustrated pedestrian circulation and streetscape areas.

Map 5. Public Streets



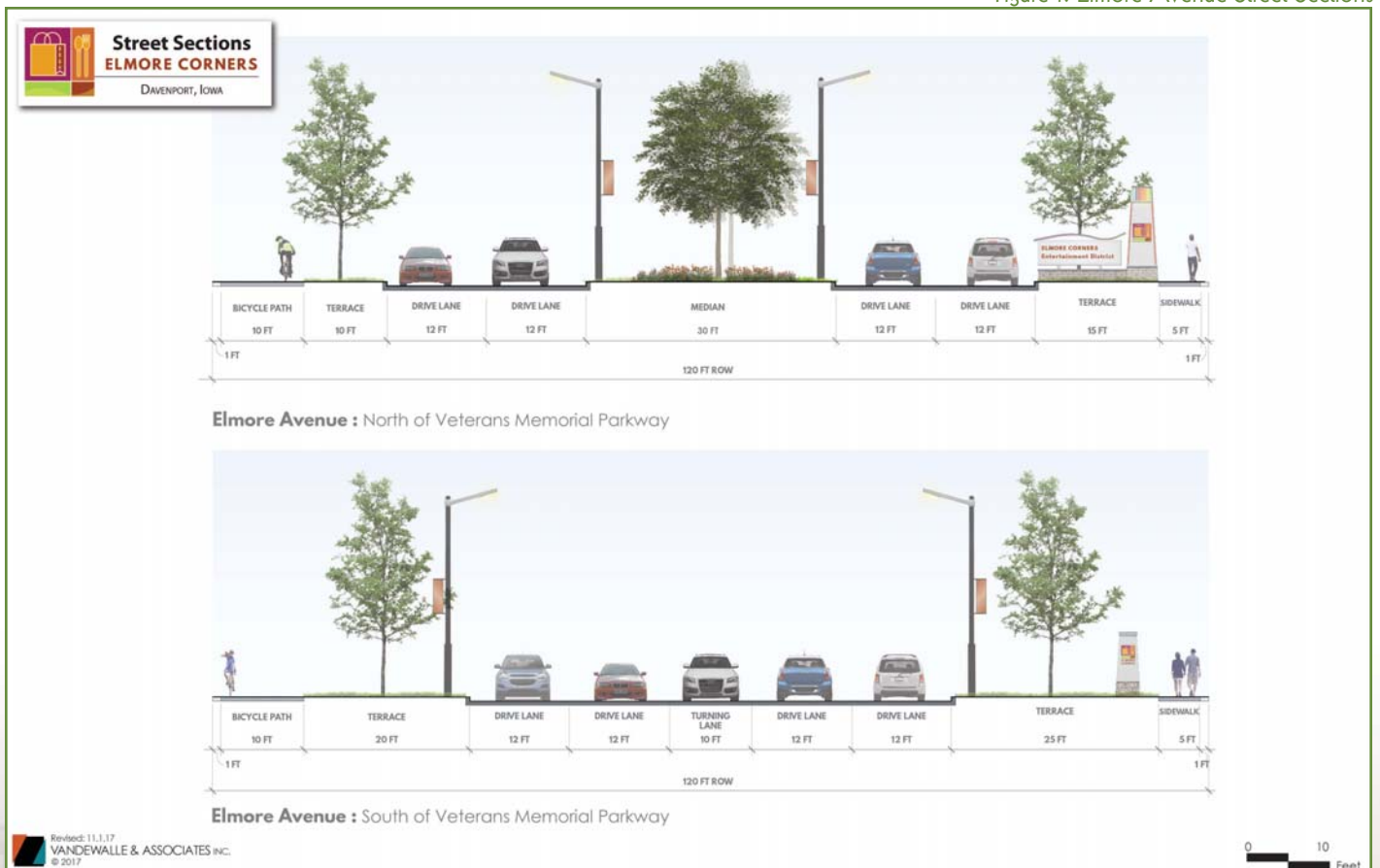
AUTOMOBILE CIRCULATION

The planning area contains two existing public streets, Elmore Avenue running north/south and Veterans Memorial Parkway running east/west. During this planning process, Veterans Memorial Parkway was under construction within the planning area. These streets are designated as Primary Streets on Map 5. Both streets are four-lane streets with two travel lanes in each direction and no on-street parking. To reduce traffic on these two streets, better connect future uses, reduce block size, and provide pedestrian scale streets, additional public streets are proposed. These streets are designated as Secondary Streets. These streets allow access into the existing large blocks, which can increase development intensity and tax base. Secondary streets should have parking on both sides to serve commercial and residential uses, as well as, calm traffic speeds. Terraces in these areas should be considered for stormwater management in the form of stormwater planters and rain gardens.

Figure 1 provides a streetscape vision for Elmore Avenue. The street section north of Veterans Memorial Parkway contains a median, allowing for landscaping. This space could be a combination of climax trees to provide street shade, ornamental trees to provide spring and fall interest, native grasses to provide fauna habitat, and potentially rain gardens to collect and infiltrate street stormwater runoff. The medians may also contain street lights to illuminate the road surface. Median street lights are often found in special districts, highlighting the unique Entertainment District. These tall-mast lights should contain large banners celebrating the Entertainment District and special events. Terraces are proposed as turf grass with shade trees and space for wayfinding.

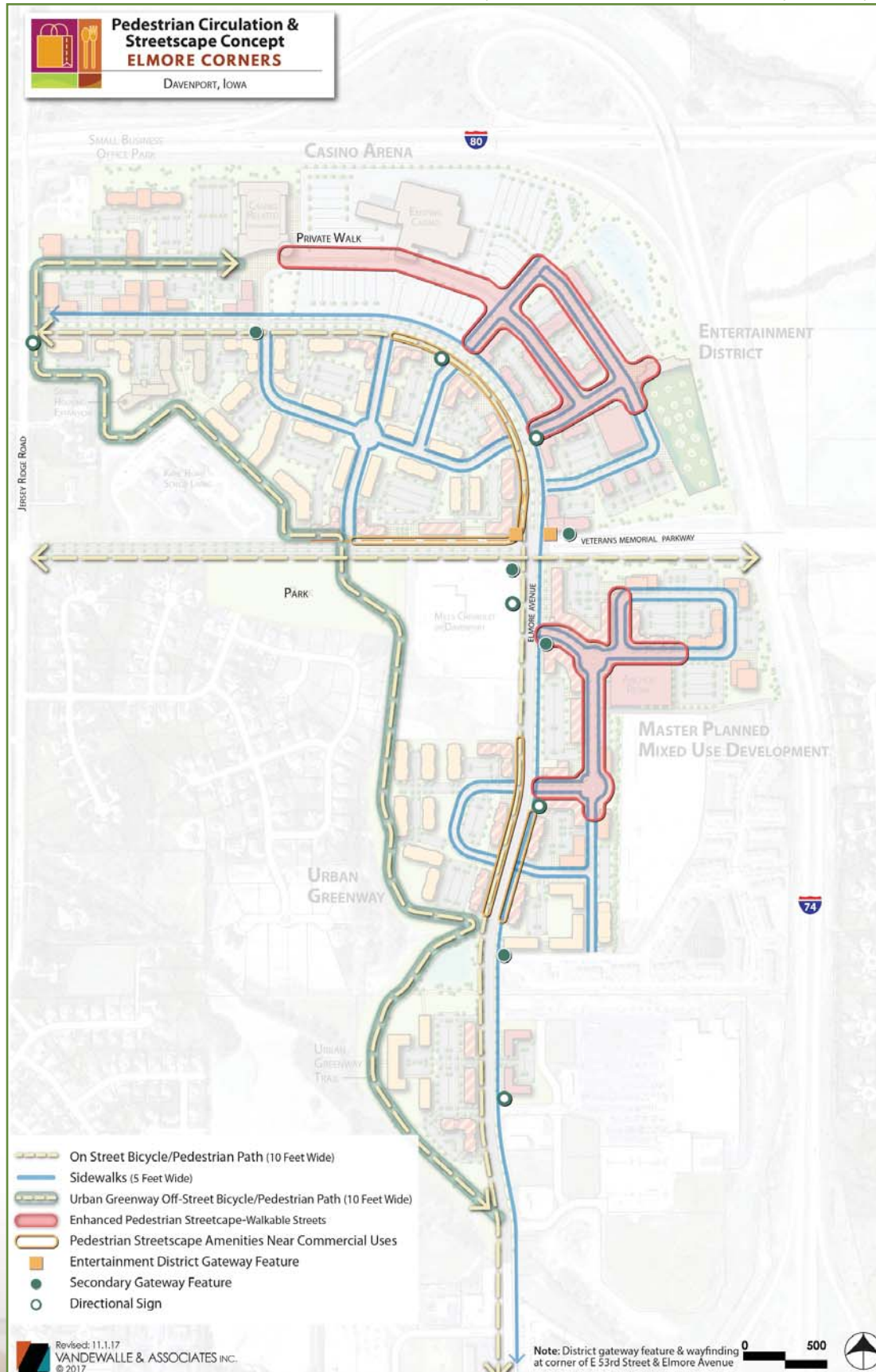


Figure 1. Elmore Avenue Street Sections



BICYCLE/PEDESTRIAN CIRCULATION

Map 6. Pedestrian Circulation & Streetscape Concept

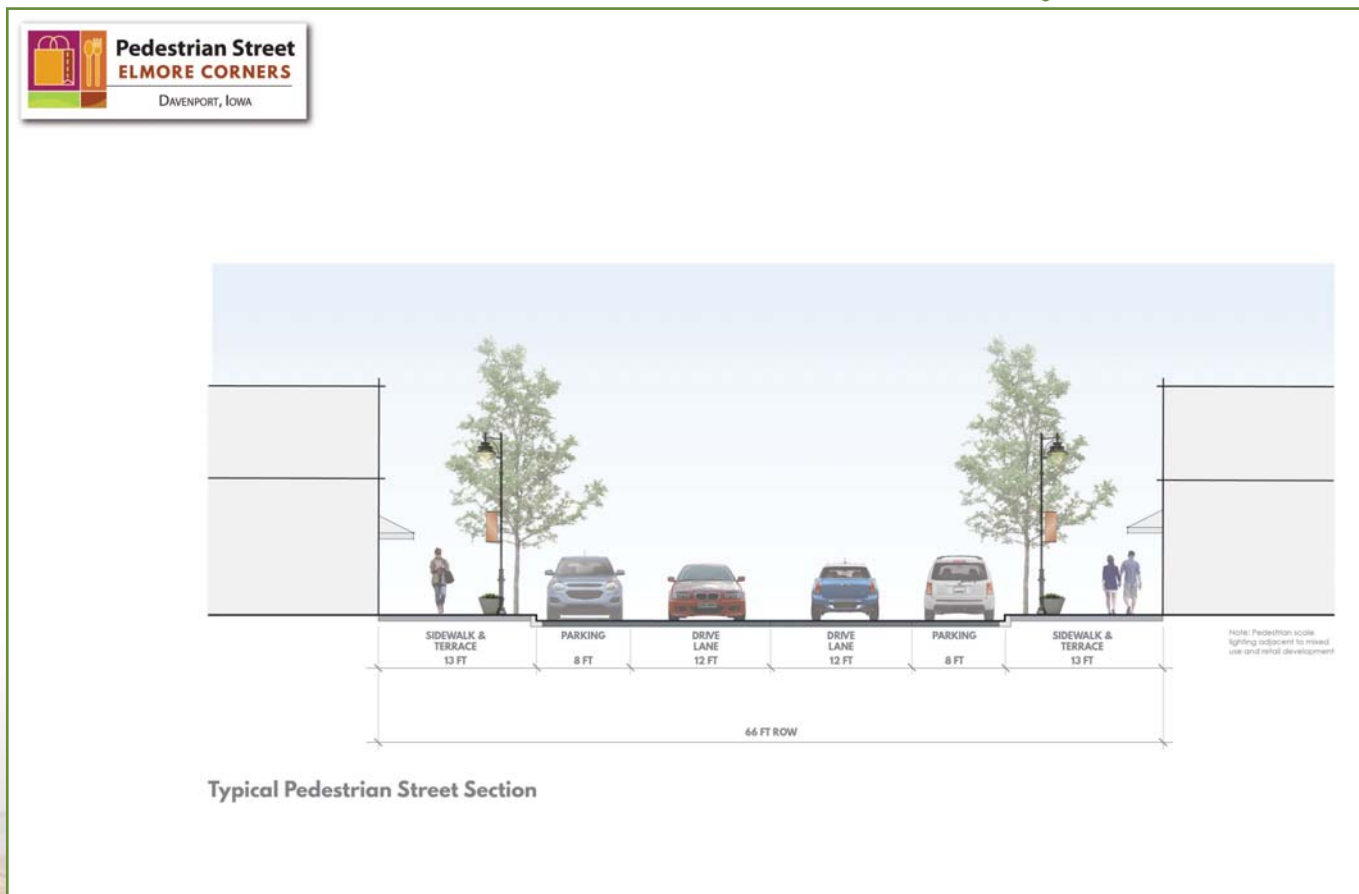


BICYCLE/PEDESTRIAN CIRCULATION

The existing two public streets both contain a sidewalk on one side and a bicycle/pedestrian path on the other side, providing non-motorized circulation options within the planning area. In addition to these facilities, sidewalks are proposed on future streets and a path is proposed within the Urban Greenway, creating a connected pedestrian network. Map 6 illustrates locations for enhanced streetscape areas to create Walkable Streets. These spaces are along secondary streets and have urban cross sections with combined, paved sidewalks and terraces. Figure 2 illustrates a typical street section for these pedestrian streets. The drawing highlights pedestrian scale street lights to illuminate sidewalks, planters, and banners to announce events or destinations. Buildings in these areas are encouraged to interact with the public streetscape by providing outdoor seating and entryways that integrate into the public rights-of-way. Map 6 also suggests location for a wayfinding system, which is explained in the next document section.



Figure 2. Pedestrian Street Section

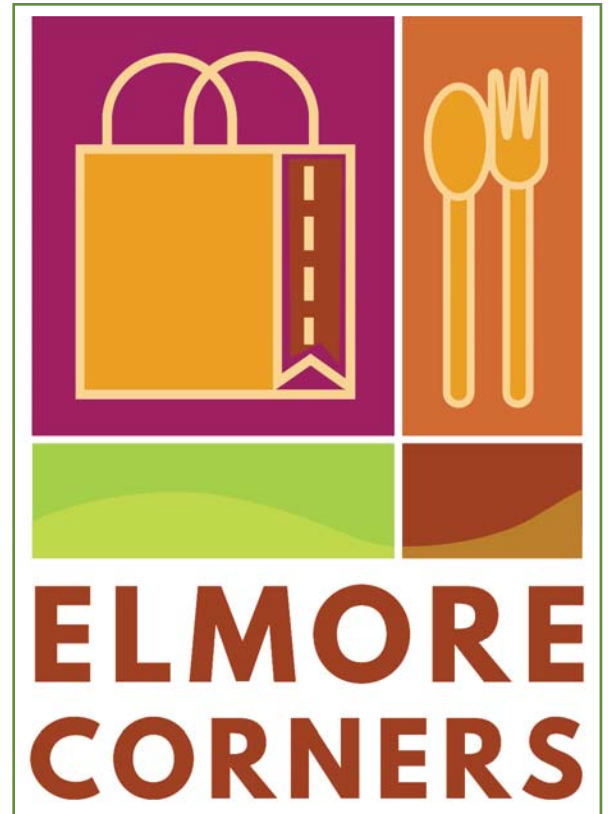


IV. Branding Concept

LOGO

The City created a logo to brand and celebrate the Elmore Corners district. The logo is a graphic representation of an energetic new destination with a range of amenities to attract visitors and serve residents. The following describes the logo design in more detail.

- The four quadrants and the white lines that define them represent the urban corners created by the intersection of two arteries—Elmore Avenue and Veterans Memorial Parkway. The lines are offset to add a dynamic quality
- The upper left corner shows a shopping bag representing retail services
- Upper right bears a fork & spoon representing food and dining—suggesting this is a family-friendly place to spend time, and more than a one-stop destination
- The lower two quadrants show a rolling topography representing the nearby greenspace and path amenities available, and suggesting this will be an attractive place that integrates into its environment. The curving line is also reflective of the casino roof
- Colors were chosen to be fresh and modern while relating to food, nature, and quality built environments. Specifically, berry and pumpkin evoke appetite and foodstuffs; green evokes healthful foods and nature; and terra cotta suggests earth and brick. The split-complementary color scheme (berry-orange-green) adds pop and vibrancy



SIGNAGE

A wayfinding package was developed to celebrate Elmore Corners and direct visitors to destinations. These series of signs identify both the district and destinations within the area.

Gateway Sign

This monument sign is proposed at the intersection of E. 53rd Street and Elmore Avenue to announce the district to the north. The design takes design cues from the Rhythm City Casino. The base is proposed to have stone matching the casino building base material. The top is a curved metal band similar to the casino roofline. The sign materials are primarily stone and metal to reflect the modern Elmore Corners District.

Entertainment District Sign

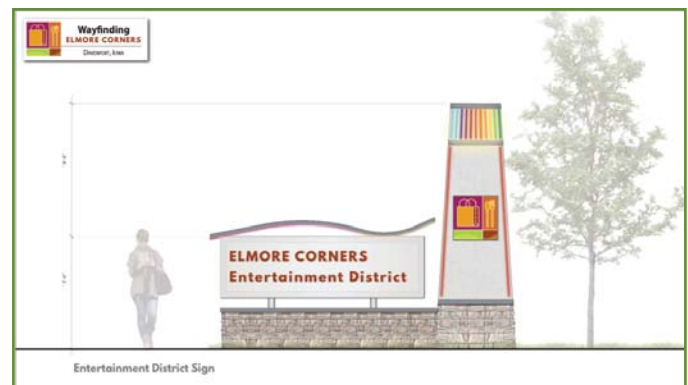
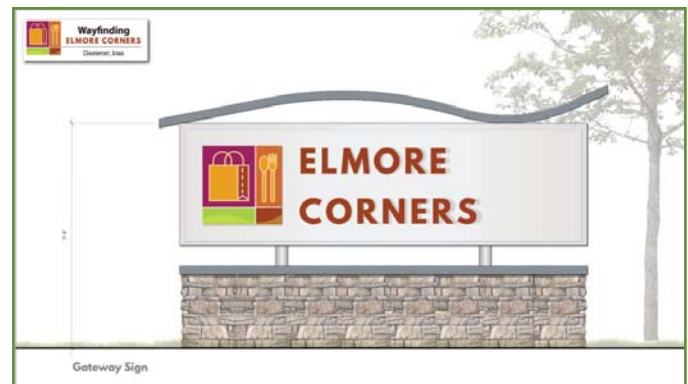
This monument sign is proposed at the intersection of Veterans Memorial Parkway and Elmore Avenue to announce the proposed entertainment district around the casino. The design takes further design cues from the Rhythm City Casino. The left half contains a stone base and curved metal top, similar to the gateway sign, though a band of neon light highlights this curve. The right side of the sign is a pillar of similar materials with the district logo and bands of neon light, matching the casino entrance.

Secondary Sign

Due to the large size of the Elmore Corners District, additional identification signs are recommended throughout the area. These smaller, columnar signs should be located at entryways from all directions along Elmore Avenue and Veterans Memorial Parkway. The design uses similar materials to the other gateway signs.

Directional Sign

The final sign type within the wayfinding package is a pole mounted metal sign directing visitors to specific destination within the district. The sign contains the district logo and a list of destinations with arrows pointing the travel direction. Examples of potential destinations may be buildings such as the Rhythm City Casino, wellness center, or water park resort, or may be a larger development project such as a shopping destination or business park.



V. Design Development Standards

BUILDING DESIGN GUIDELINES

BUILDING COMPOSITION

Guideline: Buildings shall be of a quality design that contribute to the Elmore Corners destination appearance.

Base, Middle, Top

Building facades shall be composed to define base, middle and top elements. The base of the building anchors it to the ground and is the interface between the building and people. This element shall be the most articulated. The transition between the middle of the building and the base and top shall be varied by use of materials, composition, repetition or ornamental features. The top terminates the building against the sky and provides an opportunity to create an interesting silhouette.

Rhythm

Rhythm refers to the regular or harmonious recurrence of building elements. Rhythmic elements need not be boring, but can provide the visual “glue” that links together various buildings on a street. These patterns commonly reflect the building’s repetitive structural bays, often with the end bays given special identity. This articulation of the facade helps provide scale by comprising the facade into smaller visual parts. The variation of rhythm from building to building reaffirms the individuality of each building, while the recurrence of an overall rhythm helps unify the facade. The building’s structural column lines shall in some way be evident or expressed on its facade.

Scale

In general, distinctive compositional elements of buildings (entries, structural bays, roof elements, windows) shall be distinguishable from both near and far distances. The size and shape of these elements shall give the building scale to relate to pedestrians as well as surrounding buildings. Special attention shall be paid to overall building height and massing in order to maintain a scale and character compatible with the area.

Massing

Large buildings shall be comprised of a hierarchy of masses and forms to give the building a more human scale and visual richness. Techniques include using designed recesses or projections, creating distinct building components, and varying occasional roof forms according to individual building components. However, excessive use of changes in form can create a decidedly confused street façade and disharmony.



Proportion

Building massing and components shall demonstrate consistent proportional harmonies. Typically, pedestrian friendly streets have building elements that rely more on vertically proportioned elements than horizontally proportioned elements. While no architectural rule is always valid, the use of vertically proportioned facade components seems to offer a traditionally street-friendly composition (regardless of specific architectural styles). The use of proportion is intended to provide a sense of visual harmony among elements of a building.

Architectural Form

- Buildings shall be designed to create a pedestrian friendly and scale neighborhood
- Buildings shall be primarily rectangular in form and sited parallel to public streets
- Buildings are encouraged to have a mix of tenants and uses
- Entrances shall be provided at public streets and on parking sides
- Connect building entrances to public sidewalks and pedestrian pathways
- Articulate building shapes with window bays, cornices, parapets, and towers
- Buildings shall have primarily flat roofs with varied or broken lines
- Roof mechanicals shall be screened
- Locate service areas away from public streets and provide architectural screening
- Drive through facilities shall be located on rear building façades as to not dominate the streetscape
- Modify franchise architecture to fit the desired Elmore Corners character

Inappropriate Design

- Flat, massive, monolithic geometric shapes
- Plain, undersigned buildings with large blank spaces
- Small buildings with single occupants
- Gabled, hipped, or steeply pitched roofs
- Large, monotonous roof forms
- Visible building mechanicals
- Faux-historic buildings

Building Composition



BUILDING FAÇADE

Guideline: Buildings shall have varied facades composed of high quality lasting materials.

- Façades shall be articulated on all sides to provide visual interest.
- Break up façades and create visual interest and pedestrian scale by:
 - Varying materials and colors
 - Varying façade vertical and horizontal setbacks
 - Incorporate architectural reveals or floor step backs
 - Vary window styles and moldings
 - Design enhanced architectural details on the ground level
- Façades on multiple-tenant buildings shall be broken into design elements that reflect individual tenant spaces through vertical façade plain staggering, window/door groupings, and awnings
- Differentiate ground and above floors through horizontal banding, signage bands, and windows
- First floor façades shall be transparent to allow retail uses to interact with the street and parking-side entrances
- Commercial and retail façades shall have at least 40% transparency on the street façade
- Secondary façades that do not face the public street or parking areas are encouraged to have transparent windows. If this is not possible, then façades shall contain architectural features that provide interest
- Building at corners shall contain interesting architectural features that address the corner such as towers, entrances, and metal or cloth awnings
- Identify building entrances through permanent awnings, overhangs, or signage

Example Façade Design



Inappropriate Façade Treatment

- Large unarticulated wall planes
- Large expanses of walls without windows
- Projecting wall-mounted mechanical units
- Vinyl awnings
- Buildings with no pedestrian scale or defined entryways



Materials

- High quality materials shall be installed on buildings to promote Elmore Corners
- Long lasting materials such as brick and stone shall be used to withstand weather and provide a feeling of permanence
- Primary building materials shall be natural stone, masonry, brick, and glass and be of natural earth tone colors
- Secondary materials such as decorative metal, wood, stucco, and cement board may be incorporated
- Using a mix of materials is recommended to create visual diversity on the building façade
- Enrichment of the pedestrian realm requires building materials at the street level to be of high quality:
 - These could include items such as brick, stone, decorative concrete masonry units, metal panel systems, or other creatively used high quality and durable building materials
 - Decorative finished block systems can be used along the base of the buildings, and as an accent, but are not recommended as the dominant building material on the entire building
 - Utility grade materials shall only be used on facades of the building not visible from publicly accessible areas
- Freestanding commercial structures shall be designed as four-sided architecture with finish grade materials used consistently on all façades:
 - Recommended primary materials include brick, stone and glass
 - Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture
 - Metal and finished wood may be used as accents, but shall not be the primary material for any façade

Example Materials



Inappropriate Materials

- Unfinished exposed concrete block
- Large, unfinished, pre-cast concrete panels
- Unfinished poured-in-place concrete
- Corrugated metal, vinyl, or aluminum siding
- Plywood siding panels
- Exposed treated lumber
- EIFS as a primary material or located on the first floor
- Windows
 - Moderate to highly reflective glazing
 - Strongly colored or darkly-tinted glazing
- Colors
 - Predominant use of bright, high intensity colors
 - Predominant use of metallic and neon colors



SETBACKS

Guideline: To provide a continuous street edge along the Elmore Corners District, buildings shall be sited within setback areas unless not possible due to affecting business operations.

- Along Elmore Avenue and Veterans Memorial Parkway, the primary building façade shall be located within 20-40 feet from the property line
- Along secondary streets, the primary building façade shall be located 0-10 feet from the property line
- To maintain an urban edge that is pedestrian friendly, areas adjacent to parking lots shall be screened with enhanced landscaping

Inappropriate

- Buildings set back over 40 feet from public streets
- Parking lots between public streets and the primary façade of a building



DENSITY

Guideline: Develop land as densely as possible to increase tax base while providing adequate landscaping, stormwater management, and connections to public ways.

- Development shall be designed to an urban density with minimal spaces between buildings
- Install advanced stormwater management practices to increase density
- Density may increase through vertical mixed-use and shared parking arrangements



SIGNAGE

Guideline: Signage shall function as a marketing device, complement building architecture and materials, and not dominate the site. All signs must meet City Sign Codes.

Appropriate and attractively designed site signage is an important component of the overall aesthetic appeal of any commercial or mixed-use area. Good signage based on design and graphic quality is encouraged throughout Elmore Corners.

- Business signage shall be wall mounted (projecting or flat), monument (if located away from the building), and window, canopy or awning style
- Similar materials, colors and styles shall be used to ensure the signage is consistent with the building design
- Signs shall reflect and enhance the nature and appeal of the retail and commercial experience and not be just a list of tenants
- Materials shall be of high quality to prevent premature weathering of the sign
- Signs shall fit within and not overwhelm the architectural features of the buildings
- Signs shall harmonize with their surroundings in terms of size, shape, color, texture, and lighting so that they complement the character of the neighborhood
- Signs shall be professionally constructed using high quality materials such as metal, stone, tile, composites, brass/metal plated, hardwood, and glass
- The creative use of materials, lettering, and interesting use of graphics is allowed and encouraged if the signs work well and complement the overall building and street design
- Signs shall be designed with the purpose of promoting retail and street activity while enhancing the pedestrian experience
- Addresses shall be clearly visible from the public right-of-way
- The use of tastefully designed pedestrian scale directories is encouraged for multi-tenant buildings
- Monument signs shall contain a base and not be pole-mounted
- Monument signs shall contain landscaping at the base that will not grow to cover the sign message
- Lighting shall be designed carefully to avoid excessive glare or over illumination:
 - Letters can be illuminated internally or externally
 - External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path
 - Fixtures shall be simple but attractive
 - Lighting signs and letters shall be done in an attractive and subtle technique
 - Individual letters that are backlit, halo-lit, reverse illumination channel letters, and neon are encouraged



Example Signage

Inappropriate Signage

- Pole signs, billboard style wall-mounted and roof mounted signs are not allowed without special permission from the City Plan Commission
- Monument signs advertising individual businesses
- Tall mast signs
- Large temporary signs that impede pedestrian traffic
- Inflatable signs
- Overly illuminated signs
- Unshielded sign light sources, allowing upward transmission of light
- LED, animated, flashing, blinking, and video signs
- Plastic box signs
- Generic, un-stylized signs
- Large temporary signage located in windows that reduces transparency
- Large-scale street-level signage that overwhelms the pedestrian environment
- Signage that obscures architectural details
- Glaring and directed spotlights that affects neighboring properties

ENTERTAINMENT DISTRICT SIGNAGE

Since the area around the Rhythm City Casino is planned for entertainment purposes, sign design and guidelines may be relaxed to create an exciting sense of place. Signs in this area may be taller along the interstate corridors, contain additional illumination, and may have moving components to advertise this district and its activities.

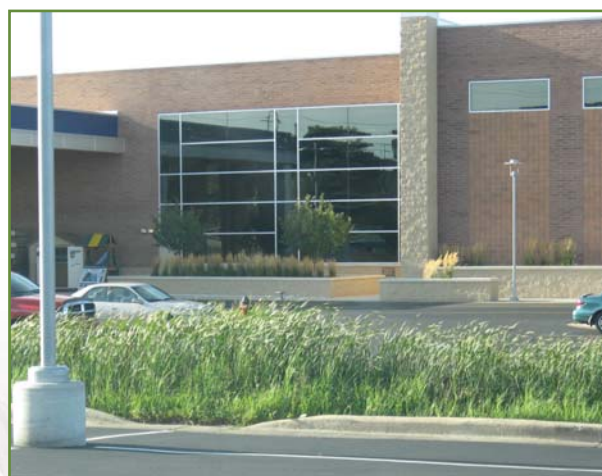


SITE DESIGN GUIDELINES

PARKING LOTS - DESIGN AND LOCATION

Guideline: Parking lots shall be located behind buildings or interior of sites whenever possible and contain landscaping to buffer views from public ways.

- Parking lots shall be designed to allow for ease of vehicular circulation and meet all parking lot requirements set in the City Zoning Code
- Locating parking lots at corners shall be avoided, when possible
- Safe pedestrian ways shall be provided between parking spaces and building entrances
- Canopy trees shall be planted at a minimum of every 12 parking stalls to reduce heat islands
- Edge landscaping shall be installed to screen parking lots from public streets
- Planting areas shall be incorporated into landscape islands and planting areas between parking bays
- Bio-swales and stormwater best management practices shall be used to collect and infiltrate stormwater run off
- Parking lot lights shall be 18-25 feet in height along pedestrian ways and edges
- Tall pole lights may be installed in parking lot internal bays with a maximum height of 30 feet
- Site lighting along pedestrian walkways is encouraged in bollards to provide safe lighting, but not over-illumination
- Lighting shall cast downward and be full cut-off
- Illumination levels shall not exceed 0.5 foot candles at the property line
- Businesses shall provide bicycle parking
- Short-term bicycle parking areas shall be provided within 20 feet of each commercial primary building entrance when possible
- Long-term bicycle parking areas shall be provided within 100 feet of each commercial primary building entrance when possible
- One bicycle parking space per 2,000 gross square feet shall be provided for retail uses. A minimum of two spaces is required
- One bicycle parking space per 10,000 gross square feet shall be provided for office. A minimum of two spaces is required
- A minimum of one bicycle parking spaces per unit shall be provided. In-building or covered bicycle parking is encouraged



Inappropriate Parking Lot Design

- Parking lots located between buildings and public streets
- Parking areas located on corners
- Individual parking lots for each development/business
- Numerous access drives into disconnected parking areas
- No parking lot landscaping
- No bicycle parking

PARKING MANAGEMENT

Guideline: Connect parking lots between developments and share parking between uses to minimize large parking lots and automobile traffic on public streets.

- Parking management shall promote effective economic activity, maximize the sharing of parking areas for commercial activity, and avoid inefficiencies in parking in which parking occupancy patterns discourage higher density and compact development
- Shared parking strategies are encouraged to eliminate redundant and unnecessarily large parking areas and to provide more land for taxable development. Parking lots are encouraged to be shared between building uses that require parking at separate times such as office parking during the day and residential parking at night
- New uses shall be required to produce a parking design and management study which documents the level of use at regular and peak times, the degree of sharing for parking with nearby users, the way in which the owner/user intends to maximize efficient use, and sharing of the parking
- Cross access and/or joint parking easements may need to be developed in the event of the parcel being subdivided.
- Shared driveways shall be used to serve groups of buildings with shared parking courts between buildings
- Sharing arrangements shall be codified in covenants, deed restrictions, and developer agreements
- Connecting parking lots between development lots is encouraged to reduce traffic congestion on public streets

Inappropriate Parking Management

- Individual parking lots by building, use, or development project
- Parking lots that are overbuilt and unused



SITE CIRCULATION

Guideline: A pedestrian friendly environment is encouraged to provide safe circulation within the site and between sites. Private development shall connect into existing public infrastructure.

- Concrete pedestrian walkways shall connect parking areas to building entrances
- Pedestrian walkways shall connect development sites to existing public sidewalks and paths such as the Urban Greenway
- Walkways shall be located outside of vehicle parking areas
- Walkways shall be safely illuminated

Inappropriate Site Circulation

- Unpaved pedestrian walkways
- Parking lots with no pedestrian walkways
- Dark, unlit walkways



DRIVE-THROUGH AND SERVICE

Guideline: Drive-throughs shall be located at the rear or side of buildings and shall not be placed between a public street/easement and the main building structure.

- Every effort shall be made to coordinate and integrate drive-through facilities into the overall architectural treatment of the main building
- Creative design solutions such as remote kiosks are encouraged to minimize the impact of the drive-through facility on the overall site design
- Clearly defined pedestrian crossings shall be provided where walkways intersect drive-through access lanes. In all cases drive-through facilities shall be designed to operate without endangering the public safety

Inappropriate Drive-Through

- Drive-through window and service line visible from public streets



SERVICE, STORAGE, AND UTILITY AREAS

Guideline: Service, loading, and utility areas, while necessary for business operation, shall be located away from the public view.

- Refuse and recycling areas shall be integrated into the building architecture with high quality design and/or screened with similar building materials to the main architecture. The areas shall be kept clean and avoid accumulation of excess disposal materials and the enclosure shall be locked
- When possible, service and utility areas shall be inside the building or integrated into the architecture of the building
- Loading areas shall be located behind buildings, away from parking areas and public streets
- Loading doors shall not be visible from public streets
- To reduce the amount of area dedicated to these needs, shared service areas between adjacent users and buildings shall be allowed and encouraged
- If indoor reuse is not possible, outdoor refuse areas shall be enclosed with attractive design and materials that match building architecture. Recommended enclosures would be of masonry or stone with gated access and surrounding landscaping. The gate and enclosure opening shall not be visible from public ways
- Rooftop mechanicals shall be screened with materials that match the building architecture

Inappropriate Service Area

- Service areas and utility equipment along public streets
- Prefabricated storage sheds
- Visible garbage dumpsters
- Unscreened service, storage, or utility areas



LANDSCAPING

Guideline: Create pedestrian-friendly landscapes that are functional, visually appealing, and relate to building activities and architecture. Use landscaping to screen undesirable views.

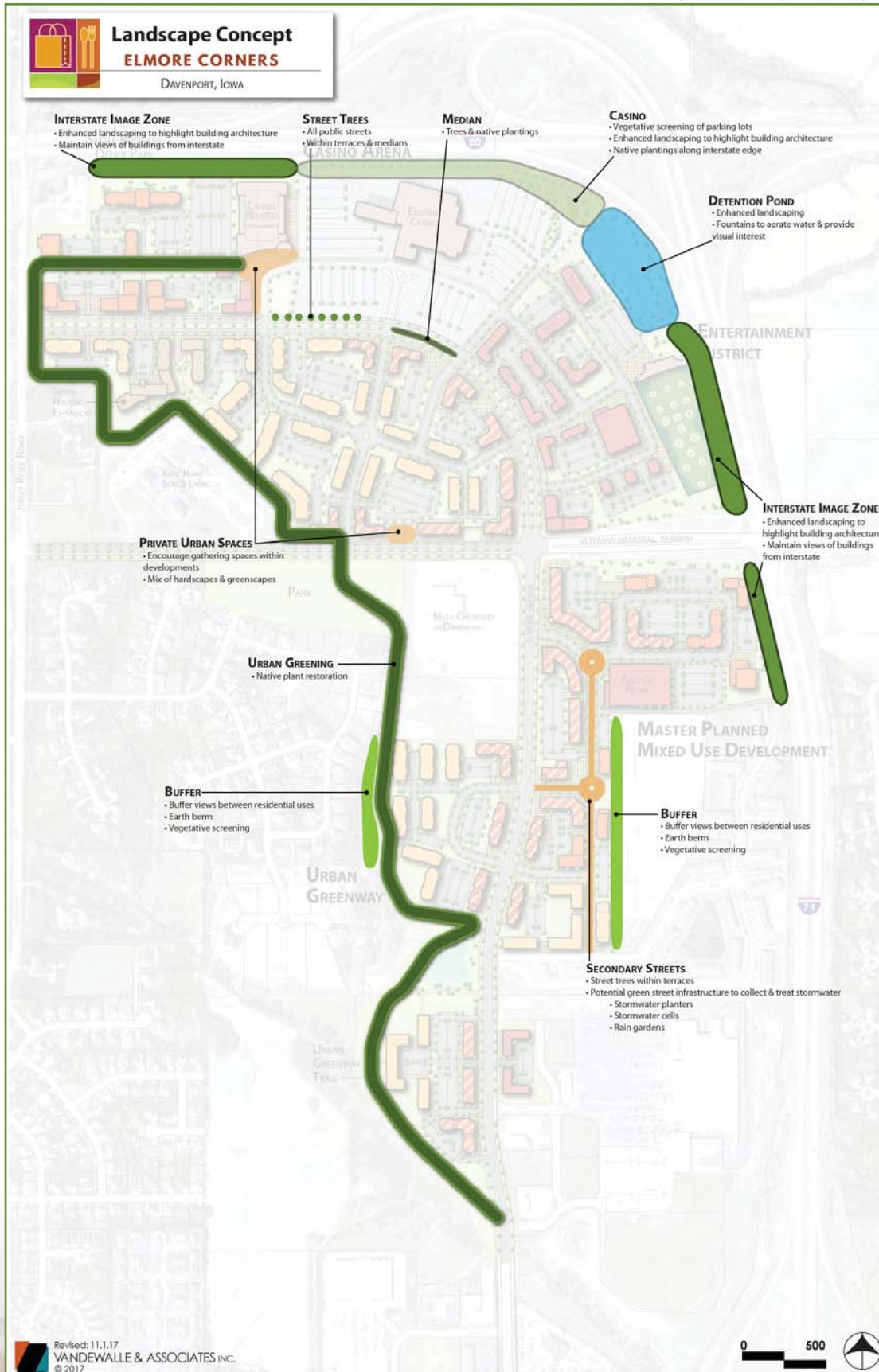
- Incorporate landscape elements that complement the character of the building and provide a pleasing relationship with adjoining properties, the public sidewalk, and the street
- Use appropriate landscape elements to establish continuity between buildings and to define the block face where there are no buildings
- Plant shade trees in surface parking lots to reduce heat islands
- Incorporate mid-level plantings and ground covers into parking planting areas
- Native plants shall be installed whenever possible
- Consider prairie plantings instead of turf to minimize maintenance and establish animal and insect habitat
- Use plant materials that provide year-round interest, add desirable color, texture, and smells to a site's experience
- Install plants to screen parking areas from public streets.
- Install plants to screen building mechanicals
- Incorporate rain gardens and bioretention basins to collect runoff and filter pollutants
- Install bioretention areas in surface parking lots for stormwater infiltration
- Use plant materials that are compatible with urban environments and will maintain their health with the expected amount of care
- Use salt tolerant plants due to the urban pedestrian environment
- See Map 7 for a district-wide landscape concept

Inappropriate Site Landscaping

- Single species planting schemes
- Residential or suburban landscape treatment such as boulders, bark chips, plastic edging, railroad ties, etc.
- Chain link, metal mesh, wire or barbed wire fencing
- Site furnishings located adjacent to common spaces



Map 7. Landscape Concept



URBAN GREENWAY

Guideline: An urban greenway shall be established on the west edge of the planning area to both buffer new development from existing neighborhoods and provide an open space corridor for recreation and natural habitat.

- The greenway corridor shall be a 100 foot wide minimum public corridor
- Naturalized landscaping shall be installed to establish the natural space and buffer
- Low-maintenance native species including trees, shrubs and grasses shall be planted
- A 10 foot wide asphalt path shall be constructed to provide an alternative transportation route and recreation trail
- The path shall connect to private development, public streets, and sidewalks



SITE FEATURES & URBAN SPACES

Guideline: Private development is encouraged to establish urban spaces and install site features to enhance the Elmore Corners District and contribute to a pedestrian friendly streetscape.

- Commercial uses are encouraged to have public plaza spaces to provide space for activities such as outdoor dining or seating areas
- Commercial urban spaces shall be accessible from public ways
- Any security fencing shall consist of decorative materials (such as wrought iron, brick or stone)
- Select and locate site furnishings (benches, trash receptacles, bicycle racks, etc.) to unify the Elmore Corners District and provide a pleasing relationship with adjoining properties, the public sidewalk, and street
- Site furnishings shall be of high-quality materials that last in all weather environments

Inappropriate Site Features & Urban Spaces

- Urban gathering spaces that are closed off from public ways
- Site features of low quality that do not complement building architecture



PUBLIC STREETS AND STREETSCAPING

Guideline: Public streets shall be designed as complete streets serving all modes of transportation users including vehicles, bicycles, and pedestrians. Streets shall contain streetscape elements to enhance the visual aesthetics of these public spaces.

- Primary public streets shall contain streetscape elements of a vehicular scale including:
 - Street lights – tall poles to safely illuminate the street
 - Sidewalk on one side and bicycle path on the other side
 - Turf terraces
 - District gateway features
 - Wayfinding sign directing visitors to district destinations
 - Light pole banners advertising special events
- Secondary streets shall contain streetscape elements of a pedestrian scale including:
 - Street lights – pedestrian scale with decorative fixtures
 - Concrete sidewalks on both sides of the street
 - Decorative brick, paver, or stamped concrete terraces
 - Wayfinding signs or kiosks directing visitors to district locations
 - Light pole banners advertising locations, uses, or events
 - Landscape planters with flowers and grasses
- All street lights shall contain LED energy efficient fixtures
- Street lights shall contain decorative poles and bases
- Street lights shall be down casting to reduce light pollution
- Stormwater management could be incorporated into the street terrace through stormwater planters, inlets, and swales
- Secondary streets may designate bicycle access through painted sharrows on street lanes



STORMWATER MANAGEMENT

Guideline: All future developments must meet City Stormwater Ordinance requirements. In general, stormwater best management practices are encouraged and shall be incorporated into site designs, limiting large, monolithic retention ponds.

- Incorporate stormwater systems into development site plans and landscape plans
- Encourage regional ponds or ponds that serve multiple developments to density development and allow development to occur in urban form
- Utilize stormwater management techniques that maximize infiltration and filter runoff
- Incorporate bio-swales into parking lots to collect surface water and infiltrate on-site
- Install urban stormwater management systems where appropriate such as stormwater planters, rain gardens, underground cisterns and cells, porous pavement, and green street terraces
- Green roofs are encouraged to aid in reducing the amount of impervious surfaces
- Collect roof water into “purple pipe” grey water systems to reuse for irrigation, toilets or other non-potable uses
- If water does run off buildings, direct it into planting areas and rain barrels
- Include stormwater pond aeration systems and fountains to improve water quality and appearance

Inappropriate Stormwater Management

- Direct stormwater runoff into the Pheasant Creek
- Large, unnaturally shaped stormwater detention ponds with no landscaping or aeration



HIGHWAY CORRIDOR OVERLAY DISTRICT

This planning area lies within the City of Davenport Highway Corridor Overlay District. Project proposed within this area must meet the requirements set in the City Zoning Code.

PREFERRED LAND USES

Table 1: Elmore Corners Preferred Land Uses lists the currently allowable uses within the planning area based on the underlying Planned Development District Zoning. The chart indicates the preferred uses by area based on the Elmore Corners Site Layout Plan vision. The area numbers correspond with the following subareas (see Map 4. Sub Areas on page 19).

- Area 1 - North End
- Area 2 - Elmore Corners Mixed-Use Neighborhood
- Area 3 - Elmore Corners Entertainment District
- Area 4 - Master Planned Development
- Area 5 - Elmore Corridor

Table 1. Elmore Corners Preferred Land Uses

Elmore Corners Preferred Land Uses					
Area	1	2	3	4	5
Planned Development District					
Principal Uses					
Banking facilities	Y	Y	Y	Y	Y
Business parks	Y	N	N	N	N
Hotel and motels	Y	N	Y	Y	N
Indoor recreation uses	Y	N	Y	N	N
Indoor recreation uses and outdoor uses that relate to other activities developed on the site	Y	N	Y	N	N
Medical, dental, research testing, and experimental laboratories	Y	Y	N	Y	Y
Offices	Y	Y	N	Y	Y
Restaurants and food services	Y	Y	Y	Y	Y
Retail sales of merchandise	Y	Y	Y	Y	Y
Retail sales that do not include vehicle sales or rental, or public garages	Y	Y	Y	Y	Y
Condominiums	Y	Y	N	Y	Y
Independent, assisted and congregate care elderly housing	Y	Y	N	N	Y
Apartments	Y	Y	N	Y	Y
Row houses	Y	Y	N	Y	Y
Single-family attached	Y	Y	N	Y	Y
Single-family detached	N	N	N	N	N
Warehouse distribution uses (provided that all storage activities are carried out completely within building)	N	N	N	N	N
Other Uses Not Listed in Planned Development Districts					
Grocery store and supermarkets	N	N	N	Y	N
Outdoor storage	N	N	N	N	N
Large format retail over 40,000 square feet	N	N	Y	Y	N
Legend					
Y	Preferred				
N	Discouraged				





Community Planning and Economic Development Department
City Hall - 226 West Fourth Street - Davenport, Iowa 52801
Telephone: 563-326-7765
www.cityofdavenportiowa.com

April 5, 2018

Honorable Mayor and City Council
City Hall
Davenport IA 52801

Honorable Mayor and City Council:

At its regular meeting of April 3, 2018, the City Plan and Zoning Commission considered Case No. CP18-01 and ORD18-01, regarding the Elmore Corners Area Plan and Design Standards.

On unanimous votes 8-0, the Plan and Zoning Commission recommends passage of both items by the City Council.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'R. Inghram', written over a light gray rectangular background.

Robert Inghram, Chairperson
City Plan and Zoning Commission

City of Davenport

Agenda Group: Community Development
Department: City Clerk
Contact Info: Matt Flynn, 888-2286
Wards: 1st and 3rd

Action / Date
COW4/18/2018

Subject:

Resolution approving a 90-day extension of the moratorium on changes in business licenses in the Rockingham Road Corridor between Division and S. Concord Streets where the new license represents a substantial change from the previous use (City of Davenport, Petitioner). [Wards 1 & 3]

Recommendation:

Approve the resolution.

Relationship to Goals:

Welcoming Neighborhoods

Background:

With the nearing completion of the long-awaited road improvements to Rockingham and the pending Zoning Code re-write slated for final consideration in mid-2018, it is proposed that any applications for changes in business license uses (where it represents a change in the previous use of the property) not be approved pending upcoming potential changes in the Zoning Code in this corridor.

Approval of this action would authorize staff to proceed accordingly.

ATTACHMENTS:

Type	Description
▣ Exhibit	RES Only Rockingham 90-day Extension

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Koops, Scott	Approved	4/9/2018 - 12:05 PM

Resolution No. _____

Resolution offered by Alderman Gripp.

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving a 90-day extension of the moratorium on changes in business licenses in the Rockingham Road Corridor between Division and S. Concord Streets. (City of Davenport, Petitioner)

WHEREAS, long awaited for improvements to Rockingham Road are nearing completion; and

WHEREAS, an economic revitalization of the corridor is envisioned; and

WHEREAS, an update to the City's Zoning Code is expected to be discussed by late summer, 2018 and could involve new design standards and zoning district changes; and

WHEREAS, a moratorium extension on changes or new business licenses that entail a use substantially different from the previous use is appropriate in light of upcoming discussion and potential changes to the zoning and/or design standards in that corridor.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport, that the City Council does hereby approve an extension on the moratorium on the changes or new business licenses that represent a substantial change in the previous use of the property in

the Rockingham Road corridor between Division and South Concord Streets, and immediately authorize staff to proceed accordingly.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, Deputy City Clerk

City of Davenport

Agenda Group: Community Development
Department: Community Planning & Economic Development
Contact Info: Matt Flynn 888-2286
Wards: 7

Action / Date
COW4/18/2018

Subject:

Resolution for Case No. F18-02 being the final plat of Bett's Corporation 2nd Addition on 7.94 acres, more or less, located abutting to the east of 741 West 53rd Street and between 53rd Street and Colony Drive containing three (3) lots. The property is zoned "R-1" Low Density Dwelling District. [Ward 7]

Recommendation:

Adopt the Resolution.

Findings:

- The plat conforms to the requirements of Title 16 "Subdivisions".
- The plat conforms to the comprehensive plan.

Recommendation:

The City Plan and Zoning Commission accepted the findings and forwards Case No. F18-02 to the City Council for approval to the following condition:

1. That a north arrow be added to the plat.

The Commission vote was 6-yes, 0-no and 0-abstention.

Relationship to Goals:

Welcoming Neighborhoods

Background:

The apparent reason for the plat is for the owner at 741 West 53rd Street (abutting to the west) to obtain additional land area.

The owner has platted three lots:

- Lot 1 being the portion to be transferred to the abutting owner at 741 West 53rd Street.
- Lot 2 is a remaining portion of the parcel.
- Outlot A will only be conveyed to an adjacent property or remain with Lot 2.

For further information please refer to the Commission's letter and background report.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	RES F18-02
▣ Backup Material	F18-02 Background

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Berger, Bruce	Approved	4/12/2018 - 3:37 PM

Community Development
Committee

Berger, Bruce

Approved

4/12/2018 - 3:38 PM

City Clerk

Admin, Default

Approved

4/12/2018 - 3:52 PM

Resolution No. _____

Resolution offered by Alderman Gripp

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving F18-02 being the final plat of Bett's Corporation 2nd Addition on 7.94 acres, more or less, located abutting to the east of 741 West 53rd Street and between 53rd Street and Colony Drive containing three (3) lots. Property is zoned "R-1" Low Density Dwelling District. [Ward 7]

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the final plat of Bett's Corporation 2nd Addition to the City of Davenport, Iowa, be the same and is hereby approved and accepted subject to all the conditions as stated in the Commission's letter dated April 05, 2018 and as follows:

1. That a north arrow be added to the plat.

and the Mayor and City Clerk be, and they are hereby authorized and instructed to certify to the adoption of this resolution upon said plat as required by law.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, Deputy City Clerk



226 West Fourth Street • Davenport, Iowa 52801
Telephone: 563-326-7711 TDD: 563-326-6145
www.cityofdavenportiowa.com

April 05, 2018

Honorable Mayor and City Council
City Hall
Davenport IA 52801

Honorable Mayor and City Council:

At its regular meeting of April 03, 2018, the City Plan and Zoning Commission considered Case No. F18-02 being the final plat of Bett's Corporation 2nd Addition on 7.94 acres, more or less, located abutting to the east of 741 West 53rd Street and between 53rd Street and Colony Drive containing three (3) lots. The property is zoned "R-1" Low Density Dwelling District. [Ward 7]

Findings:

The plat conforms to the requirements of the Title 16 "Subdivisions".
The plat conforms to the comprehensive plan.

Recommendation:

The City Plan and Zoning Commission accepts the findings and forwards Case No. F18-02 to the City Council for approval subject to the following condition:

1. That a north arrow be added to the plat

Respectfully submitted,

Robert Inghram, Chairperson
City Plan & Zoning Commission



		APPROVED	APPROVED	APPROVED	FAILED	APPROVED	APPROVED		
Name:	Roll Call	CP18-01 Elmore Corners Plan	Amend ORD18-01 Amend 17.41 Elmore Corners Overlay District	ORD18-01 Amend 17.41 Elmore Corners Overlay District	Table ORD18-03 Amend 17.36 M-1 Uses	ORD18-03 Amend 17.36 M-1 Uses	F18-02 Bett's Corporation 2nd Add'n		
Connell	EX								
Hepner	P	Y	Y	Y	N	Y	Y		
Inghram	P								
Kelling	P	Y	Y	Y	Y	N	Y		
Lammers	P	Y	Y	Y	Y	N	Y		
Maness	EX								
Martinez	A								
Medd	P	Y	Y	Y	N	Y	Y		
Quinn	A								
Reinartz	P	Y	N	N	N	Y	Y		
Tallman	P	Y	Y	Y	N	Y	Y		
	7	6-YES 0-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	5-YES 1-NO 0-ABSTAIN	2-YES 4-NO 0-ABSTAIN	4-YES 2-NO 0-ABSTAIN	6-YES 0-NO 0-ABSTAIN		



City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

PLAN AND ZONING COMMISSION

Preview Date: April 03, 2018
Request: F18-02 Final Plat – Bett's Corporation 2nd Addition
Address: Abutting to the East of 741 West 53rd Street
Applicant: Charles Easton

INTRODUCTION

Request of Charles Easton for a final plat on 7.94 acres, more or less, located abutting to the east of 741 West 53rd Street and between 53rd Street and Colony Drive containing three (3) lots. The property is zoned "R-1" Low Density Dwelling District. [Ward 7]

Recommendation:

Staff recommends City Plan and Zoning Commission accept the finding and forward Case No. F18-02 to the City Council for approval subject to the listed condition.

Aerial Photo:



0 100 200 400
Feet



Zoning (R-1 Low Density Dwelling)



Land Use 2035 (Residential General)



FINAL PLAT
BETTS CORPORATION 2ND ADDITION
 To the City of Davenport, Iowa,
 Being part of the Southwest Quarter of
 Section 11, Township 78 North, Range 3
 East of the 9th Principal Meridian, Scott
 County, Iowa.

Lot 1

Lot 2

Outlot A

NOTICE

SOAKWAYS SHALL BE CONSTRUCTED ALONG STREET RIGHTS
 OF WAY WITHIN 10 FEET OF THE CITY.
 STORM WATER DETENTION IS REQUIRED WITH THIS
 SUBDIVISION. DETENTION FACILITIES SHALL BE
 CONSTRUCTED WITHIN A REQUIRED EASEMENT DEDICATED
 SPECIFICALLY FOR STORM WATER MANAGEMENT.
 OUTLOT A AND OUTLOT B SHALL NOT BE CONSIDERED
 TO AN ADJACENT PROPERTY OR NEIGHBOR WITHIN THE LOT
 NUMBER THE STRUCTURE IS LOCATED.

NOTES

1. ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS
 OF PUBLIC RIGHT-OF-WAY.
 THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S
 ORIGINAL SIGNATURE AND SEAL.
 BLANKET UNDERGROUND EASEMENTS GRANTED FOR
 WATER, WASTE, GAS, ELECTRIC, TELEPHONE, AND CABLE TV
 SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT
 NUMBER THE STRUCTURE IS LOCATED.

RECORDING INFORMATION

DATE	PLAT
CITY PLANS COMMISSION	DATE
SECTION	DATE
LOCAL AMERICAN WATER COMPANY	DATE
CONVEYANCE	DATE
RECORDING OFFICE	DATE

APPROVED SUBJECT TO DECLARATIONS OF RECORD BY NEIGHBORHOOD

TOWNSEND
 1000 1st Street, N.E.
 Des Moines, IA 50319
 515-281-1111
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 515-281-1302

Comprehensive Plan:

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

1. *Strengthen the existing built environment.*
 - b. *Reduce the number of underoccupied, abandoned, or vacant buildings / properties through adaptive reuse and infill.*
2. *Identify and reserve land for future development*

Technical Review:

Streets. No new streets are proposed with this request. Eventually with the replatting and development of Lot 2 the right-of-way for Northbrook Drive will need to be dedicated.

Storm Water. The property is surrounded by developed area which contains stormwater infrastructure. Drainage on this lot is overland to the east to Candlelight Creek.

Sanitary Sewer. Sanitary sewer service is located along the east property line.

Other Utilities. This is an urban area and normal utility services are available.

Parks/Open Space. The proposed plat does not impact any existing or planned parks or public open spaces.

PUBLIC INPUT This is a subdivision plat. No notification is required.

DISCUSSION

The apparent reason for the plat is for the owner at 741 West 53rd Street (abutting to the west of the plat) to obtain additional land area.

The owner has platted three lots:

- Lot 1 being the portion to be transferred to the adjacent owner to the west;
- Lot 2 a remainder portion ; and
- Outlot A will only be conveyed to an adjacent property or remain with Lot 2.

There is a significant drainage way (Candlelight Creek) located on the property abutting to the east. Due to the topographic differences on the two sides of this creek the impact of flooding from this creek will likely be directed to the east. The only exception will be in the extreme southeast corner of the plat when the creek does meander into the area of the plat.

No development is being proposed on Lot 2 at this time. Any development, other than one single family home will require Lot 2 to be replatted. The owner should be made aware that the following will be required at that time:

Section 13.34.160 of the Davenport City Code entitled "Stormwater Management – Easements" states:

B. Whenever any stream or water course is located in an area that is being subdivided, the subdivider shall dedicate a public right-of-way or drainage easement conforming substantially with the lines of such stream or water course and shall include such additional area adjoining both edges of such stream or water course that has been affected by damaging flood waters and/or inundated by the one hundred-year flood waters, as determined by the city engineer. This easement area shall also contain a minimum thirty foot vegetated buffer area on both sides of the stream as measured landward horizontally on a line perpendicular to a vertical line marking the top of the existing banks of the stream or drainage way. This buffer shall be planted with vegetation native to the mid-west region of the United States and maintained as a prairie as outlined in the Davenport Stormwater Manual.

C. Unless deeded to the city of Davenport, maintenance of the stream, streambanks and easement areas described in Section 13.34.160B shall be the responsibility of the landowners upon which the stream is located. This maintenance responsibility shall be clearly defined in a recorded document. The subdivider shall also provide reasonable public easements for access. Procedures for transfer of the property described in Section 13.34.160B to the city for maintenance or ownership are described in the Davenport Stormwater Manual.

D. It shall be noted on the final plat, "Owners of lots on which a drainage easement has been established as a stormwater passageway shall maintain said easement as a lawn, planted in grass and free of structures, fences, fill, bushes, trees, shrubs, or other landscaping that would impede the flow of water" and "Owners of lots on which a stream buffer is required shall maintain said buffer as a native planting area, not allowing vegetation to be cut to a height of less than nine-inches without authorization of the city of Davenport natural resources division." In the event that the area established as a drainage easement is reshaped or otherwise restricted for use as a drainage easement, the city will cause the restrictions to be removed at the expense of the parties causing the restriction.

STAFF RECOMMENDATION

Findings:

The plat conform to the requirements of the Title 16 "Subdivisions".

The plat conforms to the comprehensive plan.

Recommendation:

Staff recommends City Plan and Zoning Commission accept the finding and forward Case No. F18-02 to the City Council for approval subject to the listed condition:

1. That a north arrow be added to the plat

Prepared by:

Wayne Wille, CFM – Planner II
Community Planning Division

FINAL PLAT

BETTS CORPORATION 2ND ADDITION

To the City of Davenport, Iowa,
Being part of the Southwest Quarter of
Section 11, Township 78 North, Range 3
East of the 5th Principal Meridian, Scott
County, Iowa.

APPROVED BY:
CITY OF DAVENPORT, IOWA

BY: _____

DATE: _____ ATTEST: _____

CITY PLAN & ZONE COMMISSION

BY: _____ DATE: _____

MEDIACOM DATE: _____

IOWA - AMERICAN WATER COMPANY DATE: _____

CENTURY LINK DATE: _____

MIDAMERICAN ENERGY
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN

NOTES:
SIDEWALKS SHALL BE CONSTRUCTED ALONG STREET RIGHTS
OF WAY WHEN SO ORDERED BY THE CITY.

STORM WATER DETENTION IS REQUIRED WITH THIS
SUBDIVISION PER THE CITY OF DAVENPORT STORM WATER
ORDINANCE. DETENTION FACILITIES SHALL BE
CONSTRUCTED WITHIN A RECORDED EASEMENT DEDICATED
SPECIFICALLY FOR STORM WATER MANAGEMENT.

OUTLOT A OF THIS SUBDIVISION SHALL ONLY BE CONVEYED
TO AN ADJACENT PROPERTY OR REMAIN WITH LOT 2 OF THIS
SUBDIVISION.

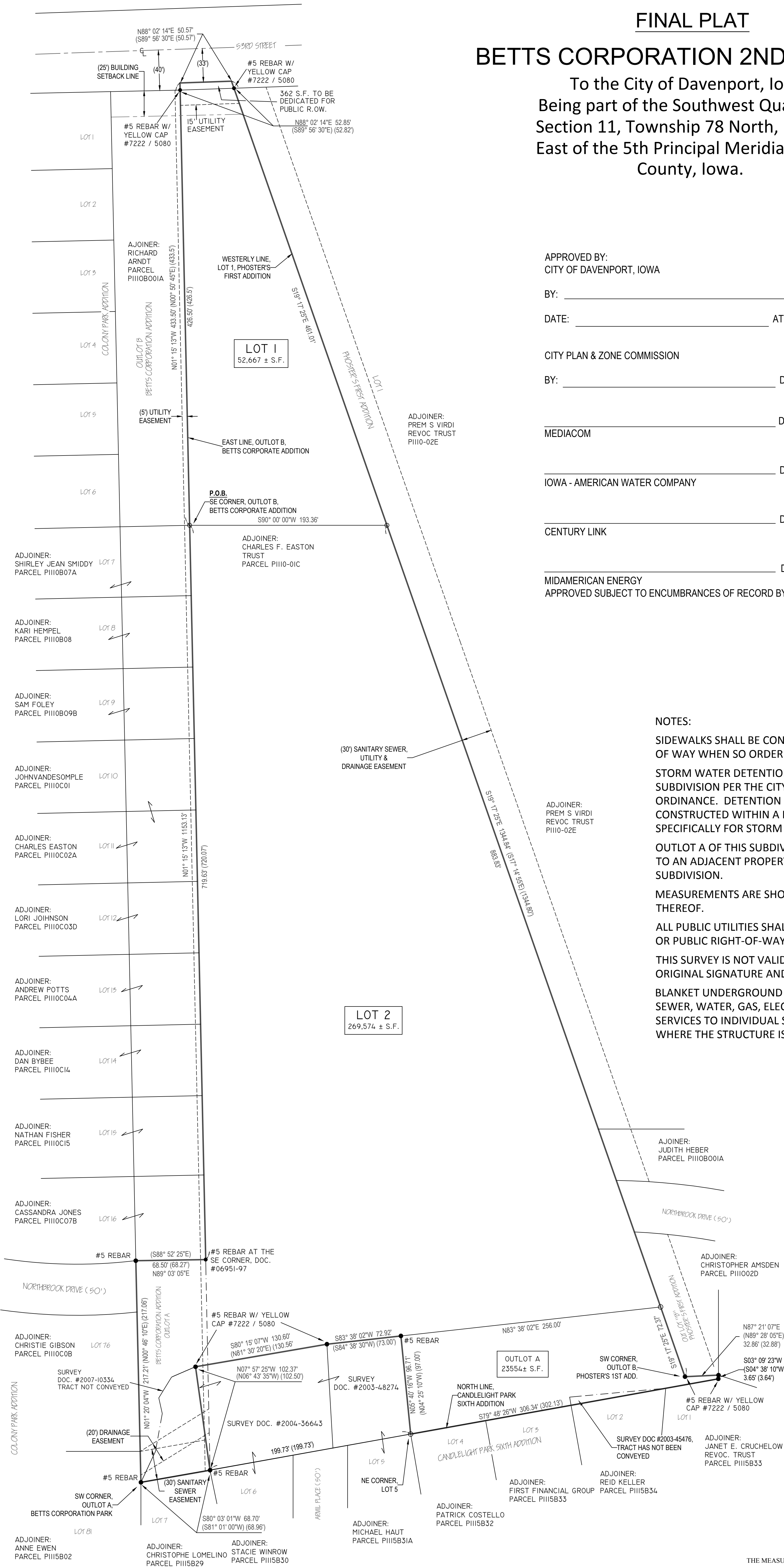
MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS
THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS
OR PUBLIC RIGHT-OF-WAY.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S
ORIGINAL SIGNATURE AND SEAL.

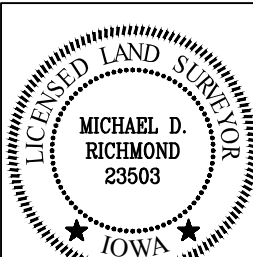
BLANKET UNDERGROUND EASEMENTS GRANTED FOR
SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V.
SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT
WHERE THE STRUCTURE IS LOCATED.

- Area of Subdivision-
Total: 9.947 Total Acres +/-
0.008 in R.O.W. +/-
9.939 Net Acres +/-
- Engineer:
Townsend Engineering
2224 East 12th Street
Davenport, Iowa 52803
Ph: (563) 386-4236
- Surveyor:
Michael D. Richmond
2224 East 12th Street
Davenport, Iowa 5280
Ph: (563) 286-4236
- Attorney:
Jeff Cook
Nagle & Cook
1313 Harrison
Davenport, IA 52803
Phone 563 323 8054



LEGEND:
DEED DIMENSION = (0.00')
FIELD DIMENSION = 0.00'
MONUMENTS FOUND:
AS NOTED = ●
MONUMENTS SET:
#5 REBAR W/ YELLOW CAP #23503 = ○
BOUNDARY LINE = _____
ROAD CENTER LINE = _____
EASEMENT LINE = _____
SETBACK LINE = _____
SECTION LINE = _____

THE MEASURED BEARINGS SHOWN HEREON ARE BASED
ON THE IOWA REGIONAL COORDINATE SYSTEM, ZONE 11
NAD '83 (2011) EPOCH 2010.00



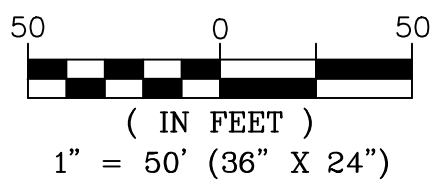
I hereby certify that this land surveying document was prepared and
the related survey work was performed by me or under my direct
personal supervision and that I am a duly licensed Land Surveyor
under the laws of the State of Iowa.
MICHAEL D. RICHMOND
Iowa License Number: 23503
My license renewal date is December 31, 2019
Pages or sheets covered by this seal: 1



DATE: 2/5-2018
TE PROJECT NO: BROWN STREET
563 386.4236 office 386.4231 fax
2224 East 12th Street, Davenport, IA 52803

DRAWN BY: KLC
CHECKED BY: MDR
LOCATION: S: EASTON-CHARLES

REVISIONS:		
NO.	DESCRIPTION	DATE



PREPARED FOR:
CHARLES EASTON
4941 BROWN STREET
DAVENPORT, IOWA

SHEET NO.
1
OF
1

City of Davenport

Agenda Group: Public Safety
Department: Public Works - Engineering
Contact Info: Gary Statz (563) 326-7754
Wards: 6

Action / Date
PS4/18/2018

Subject:

First Consideration: Ordinance amending Schedule XIV of Chapter 10.96 entitled "Intersection Traffic Signals" by adding Elmore Avenue at the Walmart entrance. [Ward 6]

Recommendation:

Adopt the ordinance.

Relationship to Goals:

Sustainable Infrastructure.

Background:

Traffic signal warrants have been met for the intersection of Elmore Avenue at the Walmart entrance. The signals will be installed at the middle entrance to this development and will be able to accommodate an entrance on the west side of Elmore. The developer has already paid the entire cost of this project. The signals should be operable by the beginning of June.

ATTACHMENTS:

Type	Description
▣ Ordinance	PS_ORD_Elmore at Walmart signal_pg 2

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 11:36 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 1:27 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 2:54 PM

ORDINANCE NO.

AN ORDINANCE AMENDING CHAPTER 10.96 ENTITLED SCHEDULES OF THE MUNICIPAL CODE OF DAVENPORT, IOWA, BY AMENDING SCHEDULE XIV INTERSECTION TRAFFIC SIGNALS THERETO BY ADDING ELMORE AVENUE AT THE WALMART ENTRANCE.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

Section 1. That Schedule XIV Intersection Traffic Signals of the Municipal Code of Davenport Iowa, be and the same is hereby amended by adding the following:

Elmore Avenue at the Walmart entrance.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration _____

Second Consideration _____

Approved _____

Frank Klipsch
Mayor

Attest: _____
Jackie Holecek, MMC
Deputy City Clerk

City of Davenport

Agenda Group: Public Safety
Department: City Clerk
Contact Info: Jackie E Holecek
Wards: Various

Action / Date
PS4/18/2018

Subject:

Resolution closing various street(s), lane(s) or public grounds on the listed date(s) to hold outdoor event(s).

QC Pride, 2018 Quad Cities Unity Pride Cart Races, June 6, 2018; 6:00 PM - 9:00 PM, Closure Location: Third Street between Brady and Harrison [Ward 3]

QC Pride, 2018 Quad Cities Pride Parade, June 9, 2018; 9:00 AM - 3:00 PM; Closure Location: Staging area 9:00 AM - 3:00 PM, 2nd Street between Iowa and Perry and Pershing between 3rd and River Drive; Parade Route. 11:30 AM to 2:00 PM, 2nd Street from Perry to entrance to Centennial Bridge (*pending approval from IDOT for Centennial Bridge closure approval*) [Ward 3]

Recommendation:

Approve the resolution.

Relationship to Goals:

ATTACHMENTS:

Type	Description
▣ Cover Memo	Resolution

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Admin, Default	Approved	3/28/2018 - 5:06 PM

RESOLUTION NO. 2018-

Resolution offered by Alderman Rawson

Resolution closing various street(s), lane(s) or public grounds on the listed date(s) to hold outdoor event(s).

RESOLVED by the City Council of the City of Davenport.

Whereas, the City through its Special Events Policy has accepted the following application(s) to hold an outdoor event(s) on the following date(s), and

Whereas, upon review of the application(s) it has been determined that the street(s), lane(s) or public grounds listed below will need to be closed, and

NOW, THEREFORE, BE IT RESOLVED that the City Council approves and directs the staff to proceed with the temporary closure of the following street(s), lane(s) or public grounds on the following date(s) and time(s):

Entity: QC Pride

Event: 2018 Quad Cities Unity Pride Cart Race

Date: June 6

Time: 6:00 PM to 9:00 PM

Closure Location: Third Street between Brady and Harrison

Ward: 3

Entity: QC Pride

Event: 2018 Quad Cities Pride Parade

Date: June 9

Time: 9:00 AM – 3:00 PM

Closure Location: Staging Area, 9:00 AM to 3:00 PM: 2nd Street between Iowa and Perry and Pershing between 3rd and River Drive; Parade Route, 11:30 AM to 2:00 PM: 2nd Street from Perry to entrance to Centennial Bridge

Ward: 3

Approved this _____ day of _____, 2018.

Approved:

Attest:



Frank Klipsch, Mayor

Jackie E. Holecek, MMC, Deputy City Clerk

City of Davenport

Agenda Group: Council
Department: City Clerk
Contact Info: Jackie E Holecek
Wards: 4

Action / Date
4/18/2018

Subject:

Motion approving noise variance request(s) for various events on the listed dates and times.

Quad City River Bandits, Modern Woodman Stadium; 2018 Baseball Season April - September;
Outdoor music and announcements, Over 50 dBa [Ward 3]

Recommendation:

Approve the motion.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Admin, Default	Approved	4/9/2018 - 10:10 AM

City of Davenport

Agenda Group: Public Safety
Department: Public Works - Engineering
Contact Info: Gary Statz; (563) 326-7754
Wards: 4

Action / Date
PS4/18/2018

Subject:
Motion approving the petition for an alley light behind 2219 W. Pleasant Street. [Ward 4]

Recommendation:
Approve the motion.

Relationship to Goals:
Sustainable Infrastructure.

Background:
Per citizen request to a lighting issue, traffic engineering recommends installing a new light to an existing light pole behind 2219 W Pleasant St.

ATTACHMENTS:

Type	Description
▣ Exhibit	PS_MOT_2219 W Pleasant St alley light petition

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 11:29 AM
Public Works Committee	Lechvar, Gina	Approved	4/11/2018 - 11:29 AM
City Clerk	Thorndike, Tiffany	Approved	4/11/2018 - 12:28 PM



City of
Davenport

PETITION FOR
PUBLIC LIGHTING

Date 3-29-18

We, the undersigned residents of the City of Davenport, Iowa,
Request the installation of PUBLIC LIGHTING in/at:

STREET LOCATION _____

or _____

ALLEY LOCATION Put up street light in the alley on the pole between 2219 and 2223 W. Pleasant

REASON FOR LIGHT To provide extra security

RESIDENT(S) SIGNATURE

ADDRESS

PHONE NUMBER

Bill Kelly

2215 W. Pleasant

(563) 271-0774

2223 W. Pleasant

(563) 209-3277

2216 W. Locust

(563) 505-8497

Eugene Johnson

2222 W. Locust

(563) 340-8385

2226 W. Locust

(563) 322-5953

Please include all residents near the proposed light location.

PETITIONER/CONTACT PERSON
SIGNATURE OF PETITIONER

Tim L. Williamson

PRINT NAME

Tim L. Williamson

ADDRESS

2219 W. Pleasant St.

ZIP CODE

52804

PHONE NUMBER

(309) 945-8454

Return completed form to: City of Davenport Public Works Department
Lighting Petition
1200 East 46th Street, Davenport, IA 52807

For Questions, call:
563-326-7754

City of Davenport

Agenda Group: Public Safety
Department: Finance
Contact Info: Sherry Eastman 326-7795
Wards: Various

Action / Date
PS4/18/2018

Subject:
Motion approving beer and liquor license applications.

A. New license, new owner, temporary outdoor area, location transfer, etc. (as noted):

Ward 1

West End Promotions, LLC (West End Promotions, LLC) - 2200 W River Dr. Credit Island Park
- Outdoor Area May 4 - 5, 2018 "Rev It Up For Awareness" - License Type: C Liquor

Ward 5

Rudy's Taco's (LaRosa S.A. Inc.) - 2214 E 11th St. - Outdoor Area May 6 - 7, 2018 "Cinco De Mayo Event" & May 28 - 29, 2018 "Criterium Event" - License Type: C Liquor

Ward 7

Azteca Mexican Restaurant (Azteca Mexican Restaurant, Inc.) - 4811 N Brady St., Suite 3 -
Outdoor Area May 5 - 6, 2018 "Cinco De Mayo Event" - License Type: C Liquor

Ganzo's (Ganzo's, LTD.) - 3923 N Marquette St. - Outdoor Area May 4 - 6, 2018 "Cinco De Mayo Event" - License Type: C Liquor

Habaneros Buffet and Cantina (Moran Business Enterprises LLC) - Parking Lot of 1510 E
Kimberly Rd. - Outdoor Area May 5 - 7, 2018 "Cinco De Mayo Event" - License Type: Beer /
Wine

B. Annual license renewals (with outdoor area renewals as noted):

Ward 1

Dominga's (Dominga's Authentic Mexican Food, Inc.) – 1525 S Concord St. – License Type: B
Beer

Roadrunners Roadhouse (J. W.'s First and Last Lap, Inc.) – 3803 Rockingham Rd. – Outdoor
Area – License Type: C Liquor

Ward 2

Applebee's Neighborhood Grill & Bar (Apple Corps, L.P.) – 3005 W Kimberly Rd. – License
Type: C Liquor

Hy-Vee Food & Drugstore #2 (Hy-Vee, Inc.) – 2200 W Kimberly Rd. – License Type: E Liquor

Hy-Vee Market Café (Hy-Vee, Inc.) – 2200 W Kimberly Rd. Café Area – License Type: C Liquor

Rina Mart LLC (Rina Mart LLC) – 3815 W Kimberly Rd. – License Type: E Liquor

Ward 3

Antonella's Trattoria Ristorante (Antonella Trattoria Ristorante) – 112 W 3rd St. – License Type: Beer / Wine

Blackhawk Bowl & Martini Lounge (Blackhawk Bowl & Martini Lounge LLC) – 200 E 3rd St. Lower Level – License Type: C Liquor

Rudy's Taco's (Majec Inc.) – 326 Cedar St. – License Type: B Beer

Sippi's Restaurant (Sippi's Inc.) – 406 W 2nd St. – Outdoor Area – License Type: C Liquor

Woodfire Grill (Redstone Woodfire Grill, LLC) – 131 W 2nd St., Ste. 105 – License Type: C Liquor

Ward 4

Famous Liquor (Jay Liquor Inc.) – 2604 W Locust St. – License Type: E Liquor

Ward 5

Harris Pizza (Mister Pizza, Inc.) – 524 E Locust St. – License Type: B Beer

Rudy's Tacos (LaRosa S.A. Inc.) – 2214 E 11th St. – Outdoor Area – License Type: C Liquor

Ward 6

Big River Bowling (Kimberly Entertainment LLC) – 2902 E Kimberly Rd. – License Type: C Liquor

Lindsay Park Yacht Club (Lindsay Park Yacht Club, Inc.) – 2101 E River Dr. – Outdoor Area – License Type: A Liquor

Pints (Pub @ Utica, LLC) – 5268 Utica Ridge Rd. – Outdoor Area – License Type: C Liquor

Ward 7

American Legion Post 26 (The American Legion Post #26 Inc.) – 702 W 35th St. – License Type: C Liquor

Azteca 4 (Azteca 4, Inc.) – 3566 Brady St. – License Type: C Liquor

Azteca Mexican Restaurant (Azteca Mexican Restaurant, Inc.) – 4811 N Brady St., Ste. 3 – License Type: C Liquor

Los Portales Mexican Restaurant 2, Inc. (Los Portales Mexican Restaurant 2, Inc.) – 1012 E Kimberly Rd. – License Type: C Liquor

Mo Brady's (DRC Ventures, Inc.) – 4830 N Brady St. – License Type: C Liquor

Sanchos (Lorbil Enterprises Inc.) – 307 E George Washington Blvd. – License Type: C Liquor

Ward 8

Hawkeye Tap Sports Bar & Grill (Hawkeye Sports Bar & Grill, LLC) – 4646 Cheyenne Ave. –
Outdoor Area – License Type: C Liquor

Recommendation:

Consider the license applications.

Relationship to Goals:

Welcoming neighborhoods.

Background:

The following applications have been reviewed by the Police, Fire and Zoning Departments.

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Watson-Arnould, Kathe	Approved	4/12/2018 - 10:00 AM
Finance Committee	Watson-Arnould, Kathe	Approved	4/12/2018 - 10:01 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:12 AM

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Sandy Doran(563)326-7756
Wards: All

Action / Date
PW4/18/2018

Subject:

Resolution approving the plans, specifications, form of contract and estimate of cost for the Davenport Parks Restrooms Project, CIP #30010, estimated at \$186,500. [Wards 6 & 7]

Recommendation:

Approve the resolution.

Relationship to Goals:

Sustainable Infrastructure

Background:

Slattery Park and Lower Lindsay Park existing pit toilets are being replaced with new premanufactured buildings that meet ADA Accessibility requirements, building codes and plumbing codes. The new restroom buildings will be connected to existing public sanitary sewer and Iowa American water lines. The new restrooms are located in the general area of existing pit toilets and will include Saniflow Hand Dryers, hot water tanks, reduced pressure zone backflow preventer and a timed electric lock system to help reduce maintenance requirements for Parks staff.

Shive-Hattery, Inc. prepared the plans and specifications for bidding this project.

Project management will be completed by Engineering Division Staff.

ATTACHMENTS:

Type	Description
□ Resolution Letter	PW_RES pg2
□ Backup Material	Plans and specs

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/12/2018 - 10:20 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 11:16 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 11:24 AM

Resolution No. _____

Resolution offered by Alderman Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving the plans, specifications, form of contract and estimate of cost for the Davenport Parks Restrooms Project, CIP #30010, estimated at \$186,500.

WHEREAS, the City of Davenport identified needed improvements to the Parks Restrooms; and

WHEREAS, as a result of the study, recommendations were made for improvements to the Davenport Parks restrooms; and

WHEREAS, the work is to be performed at agreed upon prices; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport, Iowa; that said Plans, Specifications, Form of Contract and Estimate of Cost for the Davenport Parks Restrooms are hereby approved.

Passed and approved this 25th day of April, 2018.

Approved:

Attest:

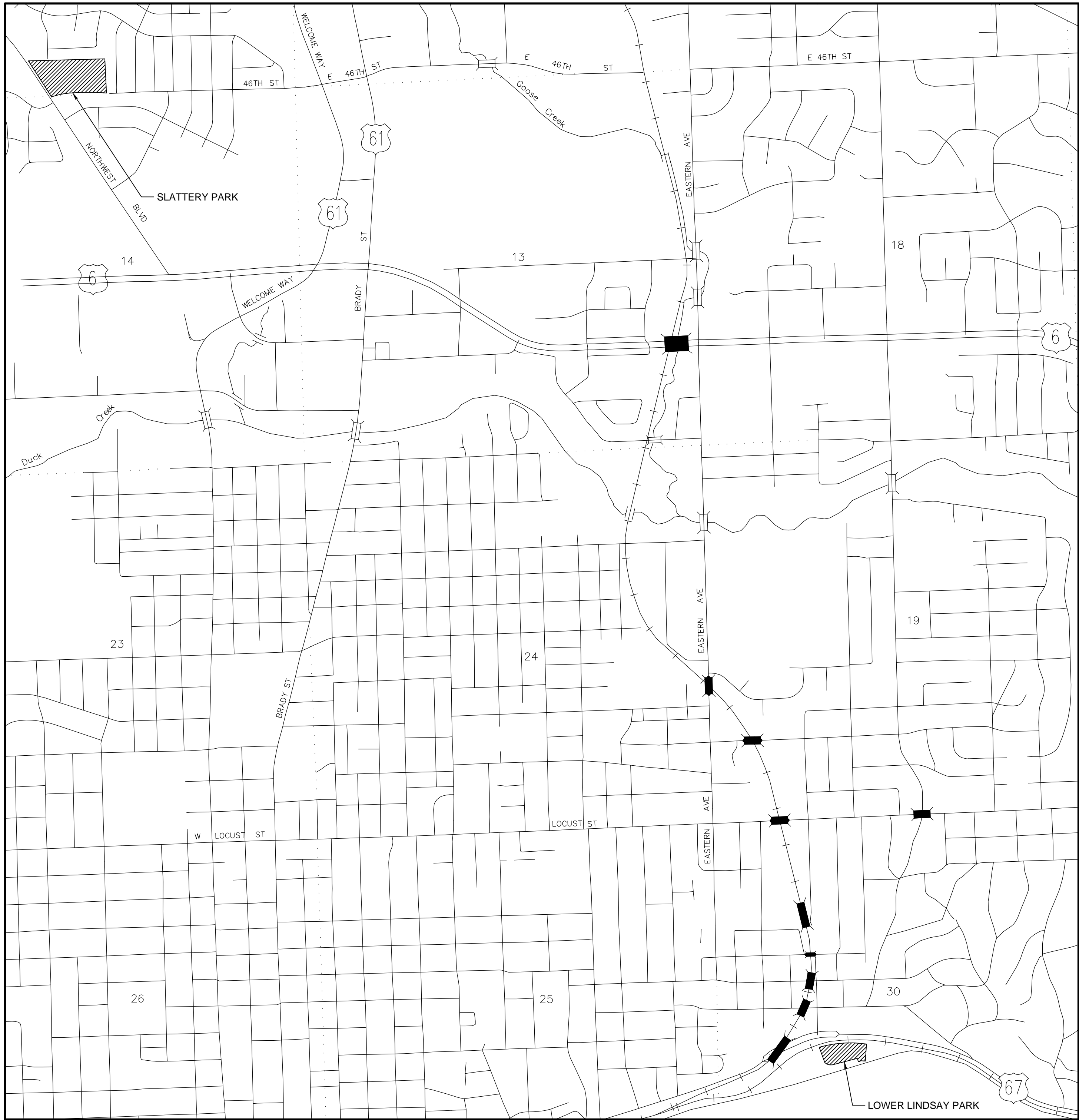
Frank Klipsch, Mayor

Jackie E. Holecek, Deputy City Clerk

DAVENPORT PARKS RESTROOMS

SLATTERY AND LOWER LINDSAY PARKS

DAVENPORT, IOWA



SHEET INDEX	
G000	COVER SHEET
C001	GENERAL NOTES AND FORMATION
C101	SLATTERY PARK SITE PLAN
C102	LOWER LINDSAY PARK SITE PLAN
C501-C502	DETAILS

General Information

- CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR IN THE PROJECT MANUAL SHALL CONFORM TO THE CITY OF DAVENPORT STANDARD CONSTRUCTION DETAILS AND SPECIFICATIONS, LATEST EDITION AND THE IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
- IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
- NOTIFY THE APPROPRIATE GOVERNING AUTHORITY A MINIMUM OF 48 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. THE CITY OF DAVENPORT SHALL BE CONTACTED AS THE INSPECTING AUTHORITY OF NEW PUBLIC FACILITIES.
- THE CONTRACTOR SHALL PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND THE CITY OF DAVENPORT STANDARDS.
- CONSTRUCTION ACTIVITIES ARE TO BE LIMITED TO THE EXISTING RIGHT-OF-WAY AND EASEMENTS AND TEMPORARY CONSTRUCTION EASEMENTS. IF ADDITIONAL AREAS ARE NEEDED FOR STAGING, STORAGE, ETC., IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN WRITTEN PERMISSION FROM THE PROPERTY OWNER(S). COPIES OF THE AGREEMENTS SHALL BE SUBMITTED TO THE CITY OF DAVENPORT PRIOR TO THE USE OF PROPERTY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN EXISTING FIELD CONDITIONS BEFORE BIDDING ON THIS PROJECT, ORDERING MATERIALS, OR BEGINNING CONSTRUCTION AND SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.



THE UTILITIES AS SHOWN ON THIS DRAWING WERE DEVELOPED FROM THE INFORMATION AVAILABLE, THIS IS NOT IMPLIED NOR INTENDED TO BE THE COMPLETE INVENTORY OF UTILITIES IN THIS AREA. IT IS THE CLIENTS/CONTRACTORS RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES (WHETHER SHOWN OR NOT) AND PROTECT SAID UTILITIES FROM ANY DAMAGE.

	<p>I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.</p> <p>SIGNATURE: _____</p> <p>NAME: <u>PATRICK R. LYNCH</u></p> <p>DATE: _____ LICENSE NUMBER: <u>17235</u></p> <p>MY LICENSE RENEWAL DATE IS: <u>DECEMBER 31, 2019</u></p> <p>PAGES, SHEETS OR DIVISIONS COVERED BY THIS SEAL: _____</p> <p><u>ALL</u></p>
--	---

ONLY THESE COPIES OF THIS DOCUMENT SIGNED IN CONTRASTING INK COLOR ARE TO BE CONSIDERED CERTIFIED OFFICIAL COPIES PER IOWA ADMINISTRATION CODE 183C-1.30

GENERAL NOTES

1. THE LOCATIONS OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS PLOTTED ON THESE DRAWINGS ARE APPROXIMATE ONLY AND WERE OBTAINED FROM RECORDS MADE AVAILABLE TO SHIVE-HATTERY, INC. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN TO SHIVE-HATTERY, INC. AND NOT SHOWN ON THIS DRAWING. VERIFYING THE EXISTENCE OF, AND DETERMINING THE EXACT LOCATION OF UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS SHALL BE THE RESPONSIBILITY OF THE CONSTRUCTION CONTRACTOR(S).
2. CONSTRUCTION NOT SPECIFICALLY DETAILED OR SPECIFIED WITHIN THE PLANS OR IN THE PROJECT SPECIFICATIONS NOR THE LATEST EDITION OF STANDARD SPECIFICATIONS AND DETAILS FOR THE CITY OF DAVENPORT, IOWA, SHALL CONFORM TO SUDAS.
3. CONTRACTOR SHALL COORDINATE WITH PRIVATE UTILITIES REGARDING RELOCATION, ADJUSTMENT OR TEMPORARY SUPPORT OF THEIR FACILITIES AND FOR THE INSTALLATION OF MAINS AND SERVICES FOR THEIR RESPECTIVE UTILITY.
4. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION. SITE CLEAN-UP SHALL BE PERFORMED ON A DAILY BASIS. SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
6. ALL OPEN EXCAVATIONS SHALL BE PROTECTED IN ACCORDANCE WITH REGULATORY REQUIREMENTS.
7. KEEP ADJACENT PUBLIC STREETS AND IMPROVED LAND FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT.
8. PROTECT ALL EXISTING FEATURES (INCLUDING BUT NOT LIMITED TO WALLS, TREES, LANDSCAPING, DRIVEWAYS, SIDEWALKS, CURBS, PAVEMENT, UTILITIES, ETC.) NOT SPECIFICALLY NOTED FOR REMOVAL. FEATURES NOT DESIGNATED FOR REMOVAL THAT ARE DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
9. THE MEANS AND METHODS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
10. NO WORK SHALL BE PERFORMED BEYOND THE PROPERTY LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER.
11. UNITY TO BE INSTALLED SHALL BE CXT STANDARD BUILDING OZARK 1 MODEL AND WILL BE SUPPLIED BY THE CITY. CONTRACTOR TO BE RESPONSIBLE FOR COORDINATING DELIVERY TO SITE AND INSTALLATION OF UNIT PER MANUFACTURERS RECOMMENDATIONS AND THESE CONSTRUCTION DOCUMENTS.

UTILITY NOTES

1. SANITARY SEWER SHALL BE OF MATERIALS APPROVED BY AND INSTALLED IN ACCORDANCE WITH CITY OF DAVENPORT STANDARDS.
2. PIPE TRENCHES UNDER AND WITHIN A 1:1 SLOPE OF BUILDING AND PAVEMENT SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH CITY OF DAVENPORT STANDARDS FOR TRENCH BACKFILL.
3. WATER SERVICES SHALL BE OF A MATERIAL APPROVED BY AND INSTALLED IN ACCORDANCE WITH THE CITY OF DAVENPORT STANDARD SPECIFICATIONS AND IOWA AMERICAN WATER COMPANY.
4. CONTRACTOR TO MAINTAIN 10' HORIZONTAL AND 18" VERTICAL SEPARATION BETWEEN THE WATER AND SEWER INSTALLATIONS.
5. ALL SANITARY SEWERS SHALL BE TESTED IN ACCORDANCE WITH CITY OF DAVENPORT STANDARD SPECIFICATIONS.
6. COORDINATE POWER INSTALLATION WITH MIDAMERICAN ENERGY COMPANY.

ALL CONSTRUCTION AND METHODS SHALL CONFORM TO THE CITY OF DAVENPORT STANDARD SPECIFICATIONS, THE IOWA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION", LATEST EDITION, AND THE IOWA "STATEWIDE URBAN DESIGNS AND SPECIFICATIONS (SUDAS)", LATEST EDITION.

TABULATION OF UTILITIES

IOWA ONE CALL (CALL TWO WORKING DAYS BEFORE YOU DIG) PHONE: (800) 292-8989 OR 811	MEDIACOM 3900 26TH AVENUE MOLINE, ILLINOIS 61265 PHONE: (309) 743-4735	IOWA COMMUNICATIONS NETWORK 400 E. 1ST STREET DES MOINES, IOWA 50819 PHONE: (515) 725-4400
IOWA-AMERICAN WATER COMPANY 5201 GRAND AVENUE DAVENPORT, IOWA 52807 PHONE: (563) 468-9225	CENTURYLINK 3908 UTICA RIDGE ROAD BETTENDORF, IOWA 52722 PHONE: (563) 355-1893	SBC / AMERITECH / AT&T PHONE: (309) 757-4707
MIDAMERICAN ENERGY COMPANY (GAS) 2811 5TH AVENUE ROCK ISLAND, ILLINOIS 61201 PHONE: (309) 793-3760	PAETEC 1 MARTHA'S WAY HIAWATHA, IOWA 52233 PHONE: (319) 533-3218	
MIDAMERICAN ENERGY COMPANY (ELECTRIC) 2811 5TH AVENUE ROCK ISLAND, ILLINOIS 61201 PHONE: (563) 333-8706	DAVENPORT SEWER DEPARTMENT 1200 E. 46TH STREET DAVENPORT, IOWA 52807 PHONE: (563) 326-7723	
MIDAMERICAN ENERGY COMPANY (HIGH VOLTAGE) ONE RIVERCENTER PLACE 106 EAST 2ND STREET DAVENPORT, IOWA 52801 PHONE: (563) 333-8186	DAVENPORT TRAFFIC ENGINEERING 1200 E. 46TH STREET DAVENPORT, IOWA 52807 PHONE: (563) 326-7781	

SLATTERY PARK PLUMBING NOTES

1. CONTRACTOR SHALL ROUTE ALL PIPING IN A NEAT AND ORGANIZED MANNER ALONG WALLS TO AVOID TRIPPING HAZARDS AND KEEP UTILITY ROOM AS OPEN AS POSSIBLE.
2. CONTRACTOR SHALL ROUTE VENT PIPING FROM 2" RISER AT FLOOR LEVEL TO 3" VTR TERMINATION. CONTRACTOR SHALL CONNECT VENTS FROM ALL FIXTURES INTO THE VENT RISER WITH THE CONNECTION POINTS MADE NO LOWER THAN THE FLOOD RIM OF THE HIGHEST PLUMBING FIXTURE. VENT SIZES SHALL BE 2" FROM WATER CLOSET, 1 1/2" FROM LAVATORY, AND 1" FROM EACH FLOOR DRAIN.
3. CONTRACTOR SHALL ROUTE 4" SANITARY FROM WATER CLOSET AND 2" SANITARY FROM LAVATORY TO SANITARY MAIN LEAVING THE BUILDING IN THE PLUMBING BLOCKOUT AREA.
4. CONTRACTOR SHALL ROUTE 1 1/2" CW FROM BLOCKOUT PLUMBING AREA TO BFP-1. CONTRACTOR SHALL THEN ROUTE 1 1/2" CW FROM BFP TO FIXTURES: 1 1/2" CW TO WATER CLOSET, 3/4" CW TO WATER HEATER, 3/4" CW TO LAVATORY, AND 3/4" HW FROM WATER HEATER TO LAVATORY. WATER HEATER PROVIDED WITH BUILDING AS A SPECIFIED OPTION.
5. INSTALL WATER METER UPSTREAM OF ALL DEVICES IN AN ACCESSIBLE LOCATION IN THE MECHANICAL ROOM.
6. ALL PIPES SHALL BE INSTALLED IN A MATTER THAT IS DRAINABLE, PROVIDE ALL NECESSARY FITTINGS AS REQUIRED.

LOWER LINDSAY PARK PLUMBING NOTES

1. CONTRACTOR SHALL ROUTE ALL PIPING IN A NEAT AND ORGANIZED MANNER ALONG WALLS TO AVOID TRIPPING HAZARDS AND KEEP UTILITY ROOM AS OPEN AS POSSIBLE.
2. CONTRACTOR SHALL ROUTE VENT PIPING FROM 2" RISER AT FLOOR LEVEL TO 3" VTR TERMINATION. CONTRACTOR SHALL CONNECT VENTS FROM ALL FIXTURES INTO THE VENT RISER WITH THE CONNECTION POINTS MADE NO LOWER THAN THE FLOOD RIM OF THE HIGHEST PLUMBING FIXTURE. VENT SIZES SHALL BE 2" FROM WATER CLOSET, 1 1/2" FROM LAVATORY, 1 1/2" FROM DRINKING FOUNTAIN, AND 1" FROM EACH FLOOR DRAIN.
3. CONTRACTOR SHALL ROUTE 4" SANITARY FROM WATER CLOSET, 2" SANITARY FROM LAVATORY, 2" SANITARY FROM DRINKING FOUNTAIN TO SANITARY MAIN LEAVING THE BUILDING IN THE PLUMBING BLOCKOUT AREA.
4. CONTRACTOR SHALL ROUTE 1 1/2" CW FROM BLOCKOUT PLUMBING AREA TO BFP-1. CONTRACTOR SHALL THEN ROUTE 1 1/2" CW FROM BFP TO FIXTURES. PIPING TO WATER CLOSET SHALL BE 1 1/2", 3/4" CW TO WATER HEATER, 3/4" CW TO DRINKING FOUNTAIN, 3/4" CW TO LAVATORY, AND 3/4" HW FROM WATER HEATER TO LAVATORY. WATER HEATER PROVIDED WITH BUILDING AS A SPECIFIED OPTION.
5. INSTALL WATER METER UPSTREAM OF ALL DEVICES IN AN ACCESSIBLE LOCATION IN THE MECHANICAL ROOM.
6. ALL PIPES SHALL BE INSTALLED IN A MATTER THAT IS DRAINABLE, PROVIDE ALL NECESSARY FITTINGS AS REQUIRED.

REDUCED PRESSURE ZONE BACKFLOW PREVENTER

BFP-1: A BACKFLOW PREVENTER SHALL BE INSTALLED AT EACH PARK LOCATION FOR THE SERVICE SIZE SPECIFIED
BACKFLOW PREVENTER - 1 1/2" REDUCED PRESSURE ZONE, LEAD FREE BRONZE OR STAINLESS STEEL CONSTRUCTION, DIFFERENTIAL PRESSURE RELIEF VALVE BETWEEN SPRING-LOADED CHECK VALVES, INLET AND OUTLET SHUTOFF GATE VALVES, MAXIMUM OF 10 PSI PRESSURE DROP AT 40 GPM, AIR GAP DRAIN FITTING, TEST PORTS UPSTREAM OF STRAINER. PROVIDE WITH AIR GAP FITTING ON DRAIN. ROUTE DRAIN PIPING FROM AIR GAP FITTING TO NEAREST FLOOR DRAIN IN A MANNER TO PREVENT A TRIPPING HAZARD. MANUFACTURER: WATTS 994, WILKINS, CONBRACO/APPOLLO.

SLATTERY PARK

CONTROL POINT TABLE

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
1	584661.87	2438165.19	728.01	CP1 MAGNAIL
2	585089.92	2438130.96	728.02	CP2 MAGNAIL
3	584903.28	2438137.74	729.69	CP3 MAGNAIL

LOWER LINDSAY PARK

CONTROL POINT TABLE

POINT #	NORTHING	EASTING	ELEVATION	DESCRIPTION
4	570847.16	2449270.00	564.27	CP4 HUB
5	570747.56	2449142.28	564.87	CP5 MAGNAIL
6	570848.42	2449482.62	564.72	CP6 MAGNAIL

STANDARD SPECIFICATIONS FOR BOTH PARKS

1.1 SANITARY SEWERS, SOIL, WASTE AND VENT MATERIALS

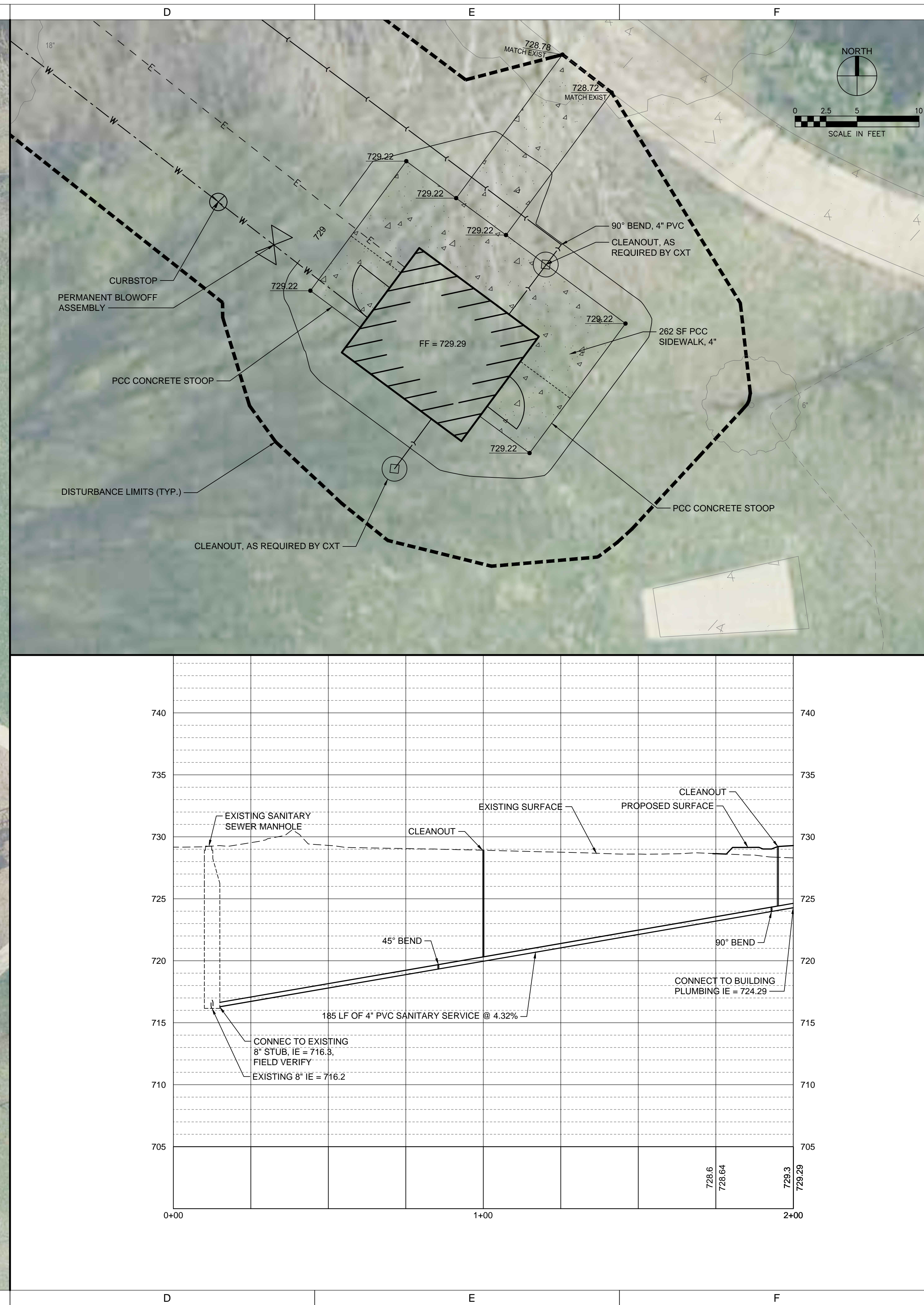
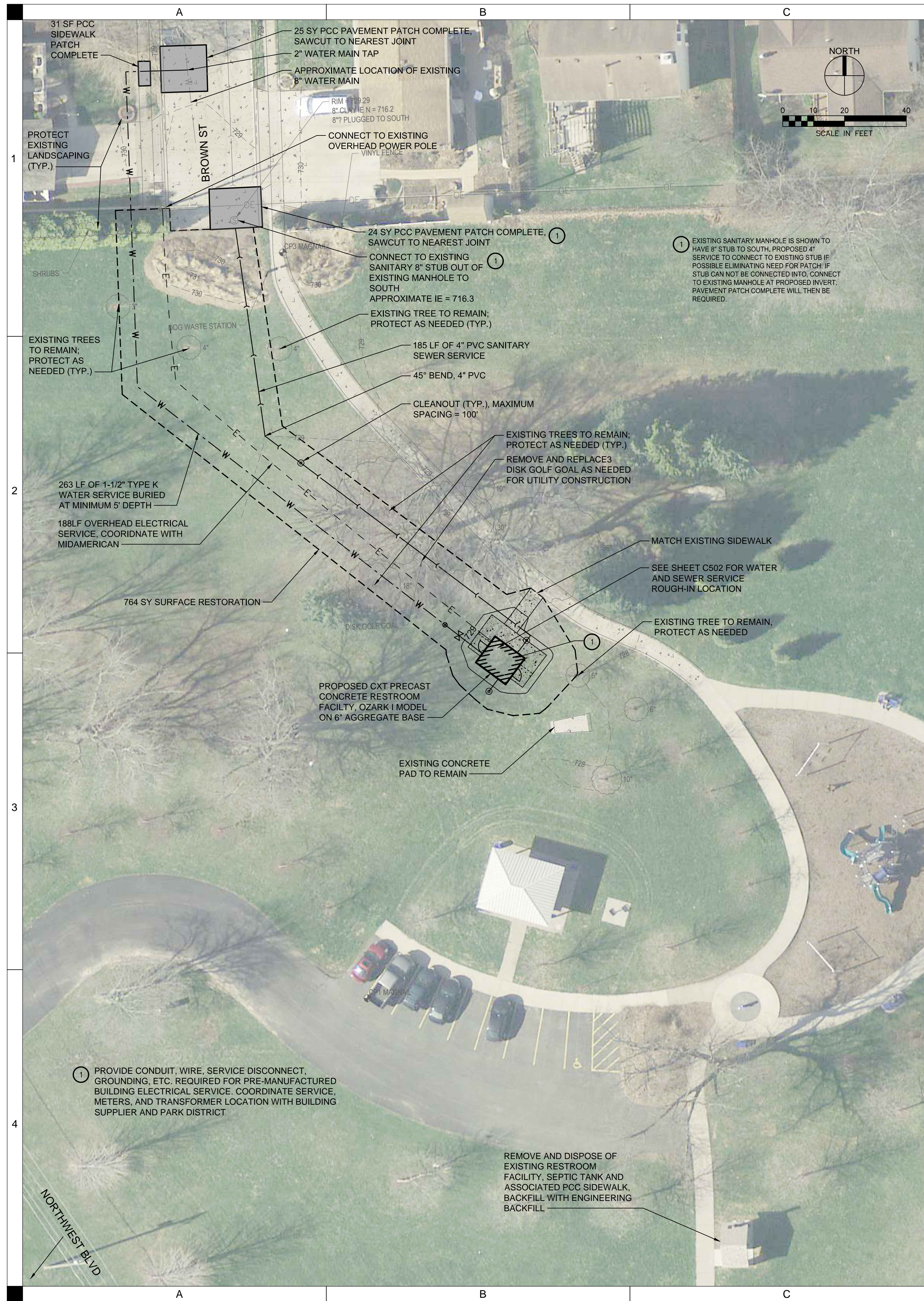
Material	Service
1. Cast iron soil pipe, service weight, bell and spigot, ASTM A74.	
a. Asphalt coated	Sanitary and storm sewers
b. Uncoated.	Aboveground soil, waste, vent, and downspouts 3" diameter and over
2. Copper water tube, hard temper, ASTM B88.	
a. Type M.	Aboveground soil, waste, and vent up to and including 3" diameter.
3. Copper drainage tube, hard temper, Type DWV. ASTM B306.	Aboveground soil, waste and vent, up to and including 2-1/2" diameter, as permitted by Code.
4. Solid wall sched 40 PVC pipe ASTM D2665 drain waste and vent.	Aboveground soil, waste and vent piping.
B. Fittings	
1. Copper drainage tube (M) - Cast bronze fittings, solder joint fittings. ANSI B.16, 23-69.	
2. Solid wall schedule 40 PVC DWV - solvent cemented joints per ASTM D2665.	

1.2 DOMESTIC WATER PIPING

Material	Service
5. Copper water tube, hard temper, ASTM B88.	
b. Type K,	Domestic water lines under building, concealed in solid concrete or masonry walls or construction, underground water service up to 3".
c. Type L,	Aboveground domestic water lines.
6. PVC Pipe, Schedule 40, ASTM D1785 .	Underground and aboveground domestic water lines,
B. Fittings	
1. Copper water tube, cast bronze or wrought copper, solder joint type. ANSI B16.18 and B16.22.	
2. PVC Schedule 40 Fittings: ASTM D2466, socket type.	

ESTIMATED QUANTITIES

NO	DESCRIPTION	UNIT	ESTIMATED QUANTITIES	
			SLATTERY	LOWER LINDSAY
1	1 1/2" WATER SERVICE	LF	264	-
2	1 1/2" CURB STOP AND BOX	EA	1	-
3	1 1/2" TAP INTO WATER MAIN	EA	1	-
4	2" WATER SERVICE	LF	-	600
5	2" CURB STOP AND BOX	EA	-	1
6	2" TAP INTO WATER MAIN	EA	-	1
7	PERMANENT BLOWOFF ASSEMBLY	EA	1	1
8	4" PVC SANITARY SEWER	LF	185	361
9	CLEANOUT	EA	3	6
10	SANITARY MANHOLE CONNECTION	EA	1	1
11	PCC PAVEMENT PATCH COMPLETE	SY	49	-
12	PCC TRAIL PATCH COMPLETE	SY	-	121
13	HMA PATCH COMPLETE	SY	-	23
14	PCC SIDEWALK PATCH COMPLETE	SF	31	-
15	PCC SIDEWALK, 4"	SF	262	215
16	CONCRETE STOOP	EA	2	2
17	AGGREGATE SUBBASE	CY	6	5
18	ENGINEERING BACKFILL	CY	5	5
19	EXISTING RESTROOM ENCLOSURE REMOVAL, INCL. TANK	EA	1	1
20	TOPSOIL, STRIPPING, STOCKPILING, AND RESPREADING	CY	66	124
21	EARTHWORK, FILL (NATIVE MATERIAL)	CY	25	30
22	SURFACE RESTORATION	SY	764	1,430
23	ELECTRICAL SERVICE	LF	188	186
24	INTERNAL PLUMBING	LS	1	1
25	ELECTRICAL SERVICE CONNECTION	LS	1	1
26	EROSION AND SEDIMENT CONTROL	LS	1	1

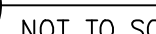
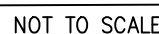
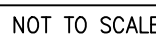
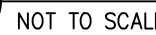
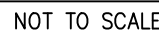


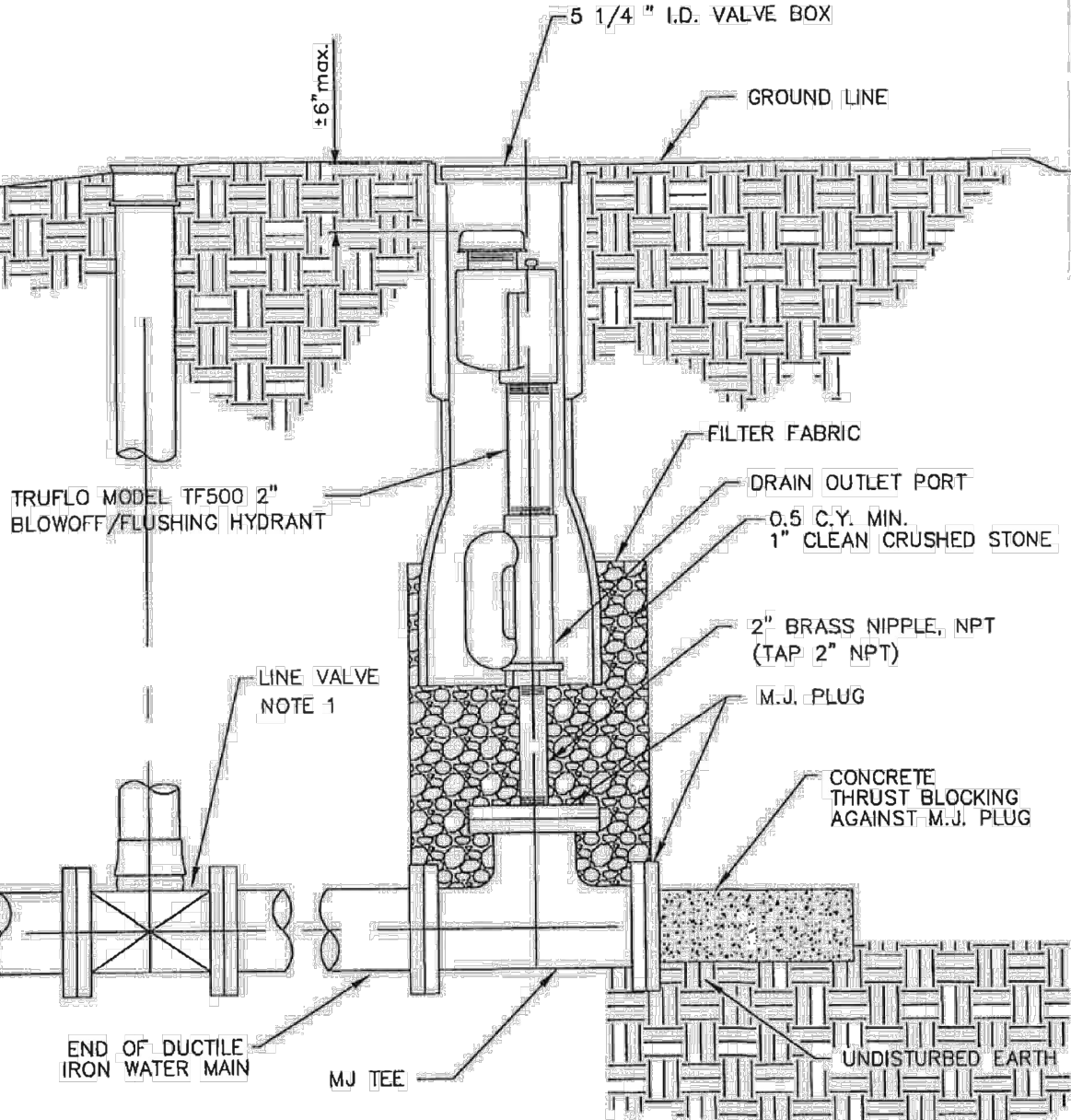
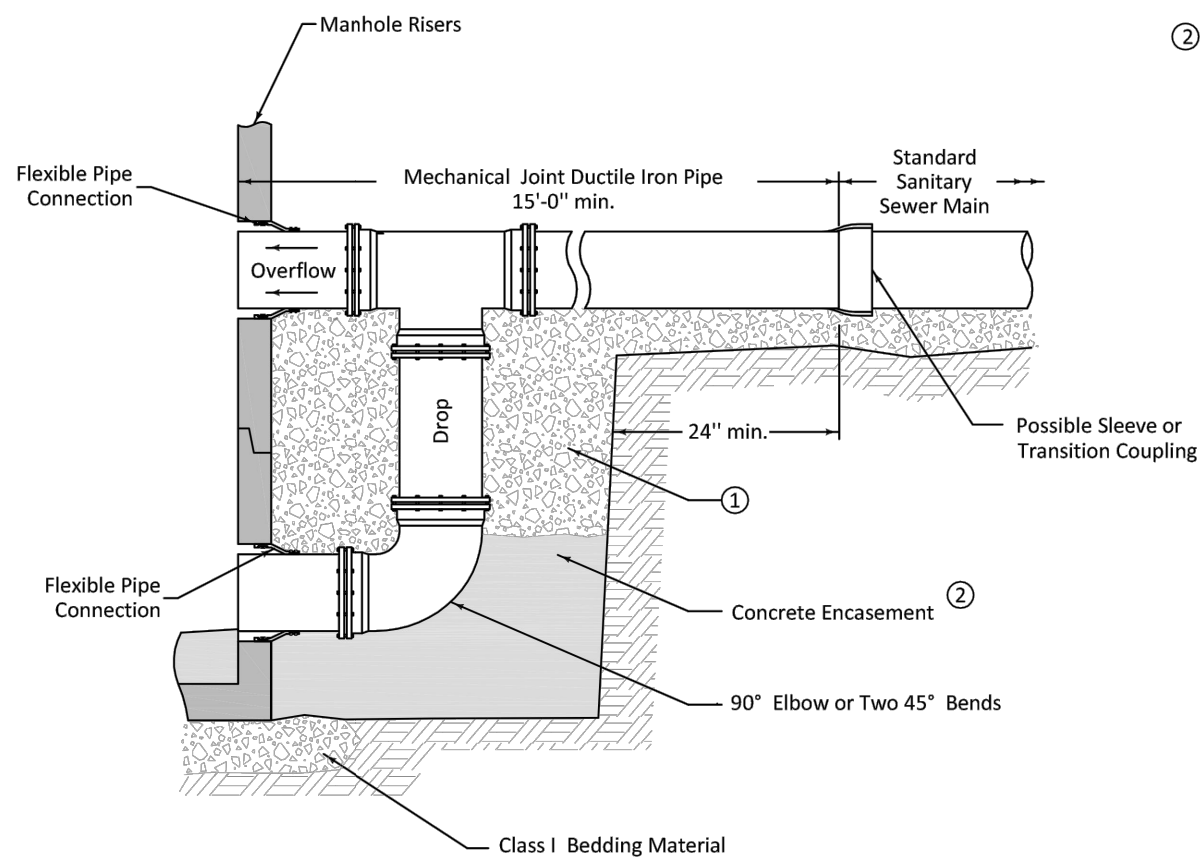
DRAWN:	JAW
APPROVED:	PRL
ISSUED FOR:	REVIEW
DATE:	03/21/2018
PROJECT NO:	3173370
FIELD BOOK:	--
CLIENT NO:	--

3010.103	FLEXIBLE GRAVITY PIPE TRENCH BEDDING
4010.203	SANITARY SEWER CLEANOUT
5010.901	MINIMUM CLEARANCE BETWEEN WATER SERVICE AND STRUCTURE
7010.901	PCC PAVEMENT JOINTING
7040.101	FULL DEPTH PCC PATCHES LESS THAN OR EQUAL TO 15' LONG
7040.102	FULL DEPTH PCC PATCHES GREATER THAN 15' LONG
7040.103	FULL DEPTH HMA PATCHES
9040.119	SILT FENCE



NOT TO SCALE





City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Zach Peterson; (563) 328-6709
Wards: 3

Action / Date
PW4/18/2018

Subject:

Resolution approving the plans, specifications, form of contract and estimate of cost covering the Main Street Landing, Phase I Construction Project, estimated at \$484,564.00, CIP #68004. [Ward 3]

Recommendation:

Approve the resolution

Relationship to Goals:

Vibrant Region

Background:

With the relocation of the Rhythm City Casino to a land-based operation, the City of Davenport is set to commence the redevelopment of the former casino site as the first phase of a re-envisioned public park amenity known as "Main Street Landing."

Phase I will include the construction of the block face known as "N5" (bounded by Brady Street to the West, River Drive to the North, Perry Street to the East, and the Canadian Pacific Railroad to the South). The construction activities outlined by this initial project will lay the groundwork for the construction of a flexible parking lot/event space.

The outlined improvements to be incorporated into this contract are set to commence June 2018 and will include existing site demolition and the construction of site infrastructure, sub-base preparation and, concrete foundation work.

A subsequent contract will be issued this summer to complete the above ground detail work and streetscape edge as those funds become available in July 2018.

The total project cost for this initial contract is estimated at \$484,564.00.

ATTACHMENTS:

Type	Description
▢ Resolution Letter	PW_RES pg2

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 12:02 PM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 11:21 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 11:25 AM

Resolution No. _____

RESOLUTION offered by Alderman Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving the plans, specifications, form of contract and estimate of cost covering the Main Street Landing, Phase I Construction Project, estimated at \$484,564.00, CIP #68004.

WHEREAS, plans, specifications, form of contract and an estimate of cost were filed with the City Clerk of Davenport, Iowa for the Main Street Landing, Phase I Construction Project within the City of Davenport, Iowa; and

WHEREAS, Notice of Hearing on plans, specifications and form of contract was published as required by law:

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that said plans, specifications, form of contract, and estimate of cost are hereby approved as the plans, specifications, form of contract, and estimate of cost for the Main Street Landing, Phase I Construction Project.

Passed and approved this 25th day of April, 2018.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, Deputy City Clerk

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Nichole Kriz;563-326-7784
Wards: 3

Action / Date
PW4/18/2018

Subject:
Preliminary resolution for the FY2019 Alley Resurfacing Program. [Ward 3]

Recommendation:
Pass the resolution

Relationship to Goals:
Welcoming Neighborhoods

Background:

Within the City of Davenport, alleys are considered secondary roads. A resident or business owner petitions the City to have their alley reconstructed through the Alley Reconstruction and Resurfacing Program. This program is an assessment program where $\frac{1}{2}$ of the cost to reconstruct or resurface the alley is paid for by the City and the other $\frac{1}{2}$ is paid for by the abutting property owners based upon the size of the lot. The property owner has petitioned to have their alley (the east-west alley between River Drive and Isabel Bloom way from Federal St to Tremont Ave) reconstructed with the FY 19 Alley Reconstruction and Resurfacing Program. This reconstruction will be done using a permeable paver system with a permeable pavement surface with appropriate rock storage chamber, and a concrete paved boarder to tie into the existing parking lot and parking lot surfaces to the south. For this project $\frac{1}{2}$ of the cost will be paid by the City of Davenport Clean Water Fee, with the other half will be split between the property owners and the Alley Reconstruction and Resurfacing Program. Therefore, the City of Davenport Clean Water Fee will be responsible for $\frac{1}{2}$ the total cost, the City of Davenport Alley Reconstruction and Resurfacing Program will be responsible for $\frac{1}{4}$ the total cost, and property owners will be responsible for the remaining $\frac{1}{4}$ of the total cost.

The estimated cost of these improvements is \$103,700 with a budgeted amount of \$103,700 in CIP #33032. Letters noting the maximum project cost will be sent out to the property owners along these alleys to verify continued interest in the program.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	PW_RES pg2
▣ Backup Material	Map

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/12/2018 - 1:34 PM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 1:34 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 2:54 PM

Resolution No. _____

Resolution offered by Alderman Ambrose

RESOLVED by the City Council of the City of Davenport.

Preliminary resolution for the 2019 Alley Resurfacing Program.

WHEREAS, it is deemed advisable and necessary to resurface certain alleys in the City of Davenport, Iowa; and

WHEREAS, the Code of Iowa requires that the City Council arrange for engineering services when an assessment project is involved; and

WHEREAS, the Code of Iowa requires that the City Council designate the property to be specially benefited by the improvements;

NOW, THERFORE, BE IT RESOLVED by the City Council of the City of Davenport, Iowa that the Engineering Division for the City of Davenport be employed as engineers in connection with the proposed alley resurfacing program and may be hereafter referred to as the "Project Engineer" and that the Project Engineer be directed to prepare preliminary plans, plats, schedules, estimates and do other engineering and assessment work as required to complete the above referenced program;

BE IT RESOLVED that hereafter this improvement will be called the 2019 Alley Resurfacing Program.

Passed and approved the 25th day of April, 2018.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, Deputy City Clerk

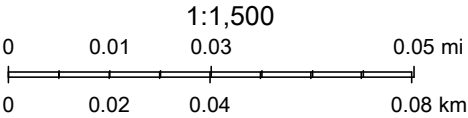
FY2019 ALLEY FROM FEDERAL ST TO TREMONT AVE



April 12, 2018

- Parks
- Parcels

Street Centerline (Labels only)



Scott County Iowa, Bi-State Regional Commission

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: John Powell; (563) 888-2150
Wards: ALL

Action / Date
PW4/18/2018

Subject:
Resolution approving the FY19 Iowa Department of Transportation State Transit Assistance (STA) Grant application the amount of \$430,350. [All Wards]

Recommendation:
Approve the resolution

Relationship to Goals:
Fiscal Vitality

Background:
Each state fiscal year, the Iowa Department of Transportation has provided financial operating assistance to Davenport public transit. This year the city is requesting to apply for the STA Grant in the amount of \$430,350 for FY19 general operations.

ATTACHMENTS:

Type	Description
▯ Resolution Letter	PW_RES pg2

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/12/2018 - 9:31 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 11:16 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 11:24 AM

Resolution No. _____

Resolution offered by Alderman Ambrose:

Resolved by the City Council of the City of Davenport.

Resolution approving the FY19 Iowa Department of Transportation State Transit Assistance (STA) Grant application the amount of \$430,350.

Whereas, the Iowa Department of Transportation provides operations and capital financial assistance for the City of Davenport Public Transit.

Now, Therefore, Be It Resolved, by the City Council of the City of Davenport that the application for State Transit Assistance and Capital Assistance is hereby approved.

Passed and approved this 25th day of April, 2018.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, City Clerk

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Nick Schmuecker 327-5162
Wards: 2, 3, 4, 5 & 7

Action / Date
PW4/18/2018

Subject:

Resolution approving the contract for Micro-Surfacing and Cape Sealing to Missouri Petroleum Products Company LLC, of St Louis MO in the amount of \$490,200.54 budgeted in CIP #35026. [Wards 2, 3, 4, 5 & 7]

Recommendation:

Adopt the Resolution.

Relationship to Goals:

Improve Infrastructure.

Background:

An Invitation to Bid was issued on March 9, 2018 and was sent to contractors. On April 2, 2018, the Purchasing Division opened and read 2 responsive bids. Missouri Petroleum Products Company, LLC was the lowest responsive and responsible bid and is recommended for the contact.

The proposed improvements consist of a single pass Micro-Surfacing layer and/or Cape Seal over existing hot mix asphalt (HMA) or bituminous seal coat surfaces, reestablishing pavement markings, and the associated traffic control for streets within the City of Davenport.

Funding for the project is from CIP #35026, Five Year Street Plan. These funds are from the sales of General Obligation bonds.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	PW_RES pg2
▣ Cover Memo	Bid Tab - 2018 Microsurface and Cape Seal Program
▣ Backup Material	Hickory Grove Rd Fairmount to Hillandale
▣ Backup Material	Kirkwood Blvd
▣ Backup Material	Central Park
▣ Backup Material	Marquette

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/12/2018 - 10:56 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 10:57 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 11:24 AM

Resolution No. _____

Resolution offered by Alderman Ambrose.

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving the contract for Micro-Surfacing and Cape Sealing to Missouri Petroleum Products Company LLC, of St Louis MO in the amount of \$490,200.54 budgeted in CIP #35026.

WHEREAS, the City needs to contract for the Micro-Surface and Cape Seal Program;

WHEREAS, Missouri Petroleum Products Company LLC submitted a bid and was awarded as most responsive and responsible vendor and scored the best on the evaluations;

NOW THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Davenport, Iowa, that:

1. approving of the contract for the Micro-Surface and Cape Seal Program to Missouri Petroleum Products Company LLC;
2. Mayor Frank Klipsch or designee is authorized to sign and manage any related agreements;

Passed and approved this 25th day of April, 2018.

Attest:

Approved:

Jackie E. Holecek, CMC
Deputy City Clerk

Frank Klipsch
Mayor

CITY OF DAVENPORT, IOWA
TABULATION OF BIDS

DESCRIPTION: MICRO-SURFACE AND CAPE SEAL PROGRAM

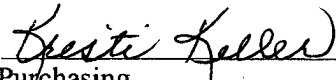
BID NUMBER: 18-85

OPENING DATE: APRIL 2, 2018

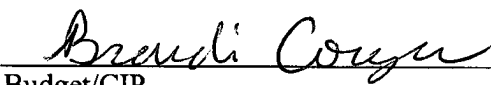
GL ACCOUNT NUMBER: 70047698 530350 35026


RECOMMENDATION: AWARD THE CONTRACT TO MISSOURI PETROLEUM
PRODUCTS COMPANY LLC OF ST LOUIS MO

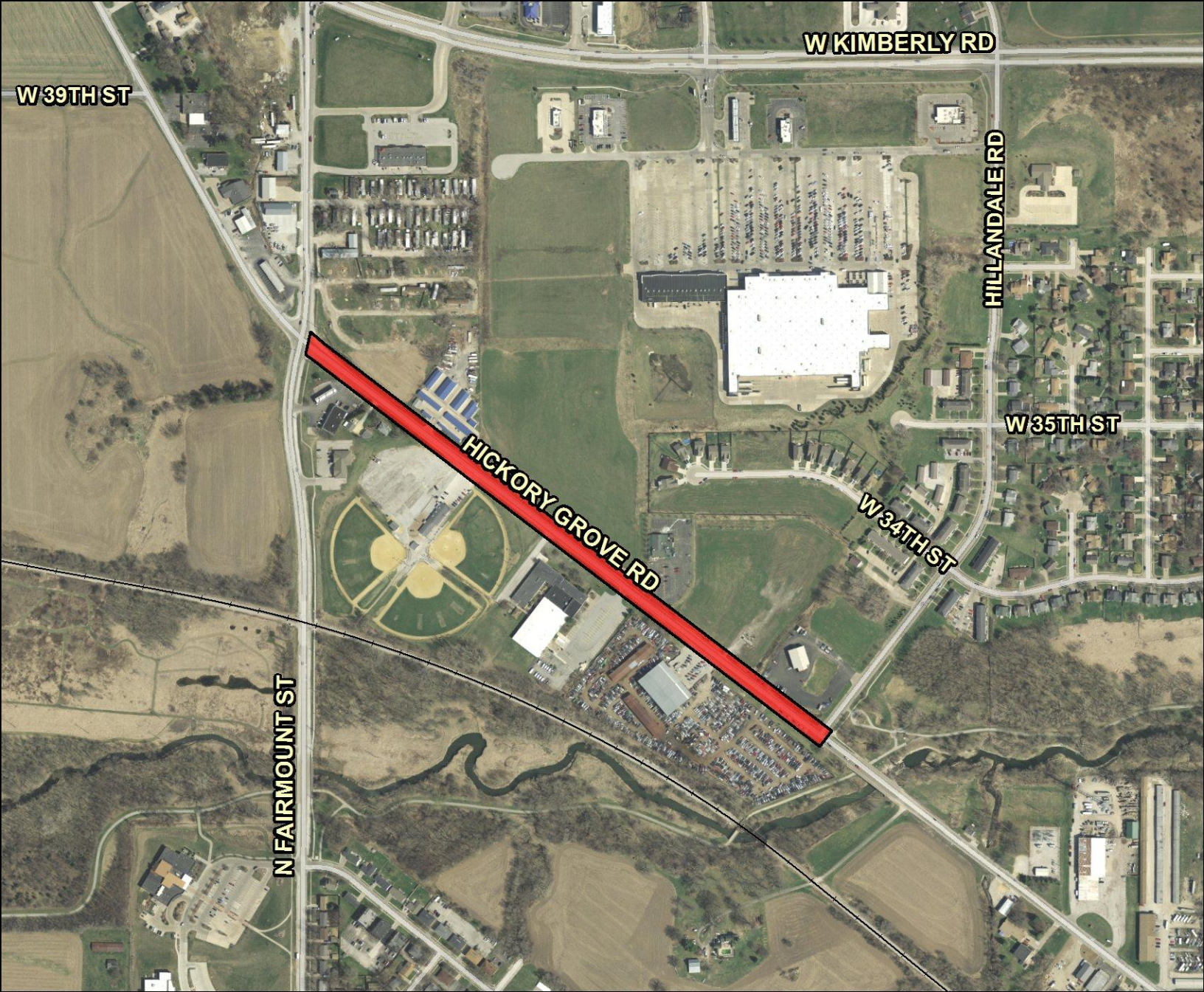
<u>VENDOR NAME</u>	<u>PRICE</u>
Missouri Petroleum Products Company LLC of St Louis Mo	\$490,200.54
Microsurfacing Contractors LLC of St Louis MO	\$604,588.80

Approved By 
Purchasing

Approved By 
Department Director

Approved By 
Budget/CIP

Approved By 
Finance Director



W KIMBERLY RD

W 39TH ST

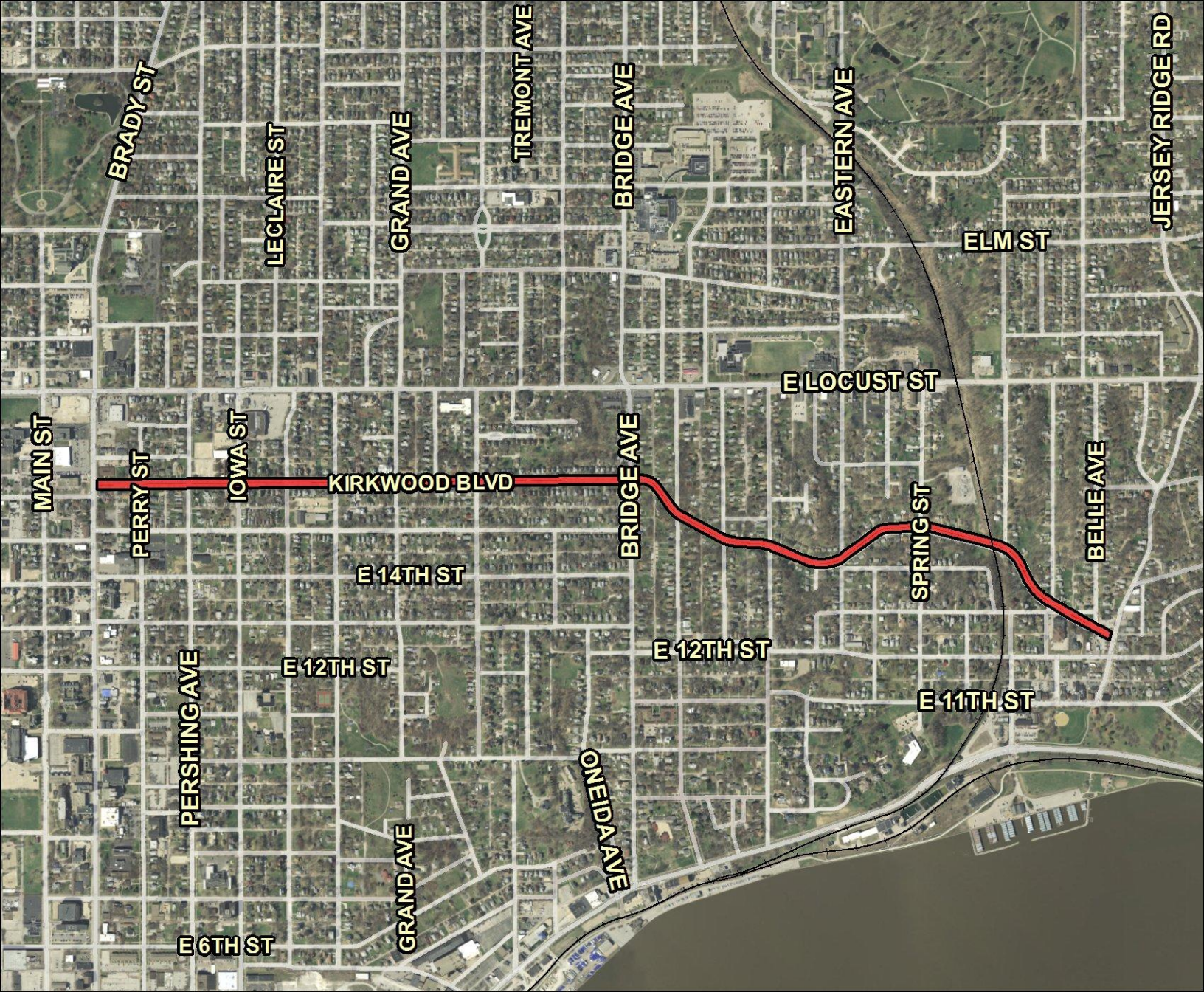
HILLANDALE RD

W 35TH ST

W 34TH ST

HICKORY GROVE RD

N FAIRMOUNT ST



BRADY ST

LECLAIRE ST

GRAND AVE

TREMONT AVE

BRIDGE AVE

EASTERN AVE

JERSEY RIDGE RD

ELM ST

E LOCUST ST

MAIN ST

PERRY ST

IOWA ST

KIRKWOOD BLVD

BRIDGE AVE

E 14TH ST

E 12TH ST

E 12TH ST

SPRING ST

BELLE AVE

E 11TH ST

PERSHING AVE

E 6TH ST

GRAND AVE

ONEIDA AVE





W GARFIELD ST

W 29TH ST

MARQUETTE ST

FILLMORE ST

WASHINGTON ST

W CENTRAL PARK AVE

WASHINGTON LN

LILLIE AVE

FRANCES PL

GLEN PL

W LOMBARD ST

WARREN ST

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Gary Statz (563) 326-7754
Wards: 6

Action / Date
PW4/18/2018

Subject:

Resolution approving the plans, specifications and form of contract for the installation of traffic signals at the intersection of Utica Ridge Road at Veterans Memorial Parkway/Forest Grove Drive. [Ward 6]

Recommendation:

Adopt the resolution.

Relationship to Goals:

Sustainable Infrastructure.

Background:

This project involves the installation of new traffic signals at the intersection of Utica Ridge Road at Veterans Memorial Parkway/Forest Grove Drive. Plans and specifications were prepared by City of Davenport staff. Construction is expected to begin this summer.

Funding for this project will be from General Obligation Bonds, and the budget is \$180,000. This project is expected to be completed by September 2018, or before the Veterans Memorial Parkway project between Jersey Ridge Road and Elmore Avenue is completed.

ATTACHMENTS:

Type	Description
▢ Resolution Letter	PW_RES_Utica Ridge at VMP signals_pg 2

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/12/2018 - 1:41 PM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 1:41 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 2:55 PM

RESOLUTION NO. _____

Resolution offered by Alderman Ambrose.

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving the plans, specifications and form of contract for the installation of traffic signals at the intersection of Utica Ridge Road at Veterans Memorial Parkway/Forest Grove Drive.

WHEREAS, the City of Davenport believes it is necessary to improve this intersection by installing new traffic signal equipment at Utica Ridge Road and Veterans Memorial Parkway/Forest Grove Drive; and

WHEREAS, plans and specifications have been prepared by City of Davenport staff and the project costs paid for by General Obligation Bonds,

NOW THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Davenport, Iowa, that said plans, specifications and form of contract are hereby approved for said project.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, MMC
City Clerk

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Brian Krup
Wards: All

Action / Date
PW4/18/2018

Subject:

Resolution assessing the cost of condemned property demolitions at various lots and tracts of real estate. [All Wards]

Recommendation:

Approve the resolution.

Relationship to Goals:

Welcoming Neighborhoods.

Background:

The buildings were demolished at the following locations and billed to the property owners. The bills have not been paid and now are to be levied against the properties.

ATTACHMENTS:

Type	Description
▣ Cover Memo	PW RES - BUILDING DEMOLITION

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/10/2018 - 4:03 PM
Public Works Committee	Lechvar, Gina	Approved	4/11/2018 - 10:40 AM
City Clerk	Thorndike, Tiffany	Approved	4/11/2018 - 12:29 PM

Resolution No. _____

Resolution offered by Alderman Ray Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION assessing the cost of condemned property demolitions at various lots and tracts of real estate.

WHEREAS, that the following lots or tracts of real estate situated in the City of Davenport, and the owners, thereof, be hereby assessed the amounts set forth, and the same being the cost of condemned property demolition on said lots or tracts.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the City treasurer be and is hereby ordered to collect the same as ordinary taxes to-wit.

BE IT FURTHER RESOLVED: If any amount assessed against property herein does not exceed \$500.00, such assessment must be made in 1 annual payment; if amount assessed exceeds \$500.00, such assessment may be in 10 annual installments; in the manner and with the same interest rate provided for assessment against benefited property under the State Code of Iowa as amended with the current interest rate of 9%. All assessments bear interest at the current rate of 9%.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, MMC, Deputy City Clerk

Building Demolition Invoices for Levy

<u>CUST ACCT</u>	<u>NAME</u>	<u>PARCELID</u>	<u>INVOICE</u>	<u>BALANCE</u>
300203641	JONES, JAMES	E0014-27B	80018448	14,640.00
000151489	ANDREWS, MILTON E SR	E0016-38	80018450	12,650.00
300082449	WYATT, KAREN A	E0017-10	80018452	12,750.00
120242609	WHITAKER, SUZANNE L	F0030-25	80018461	15,650.00
300145794	ADAME, MIGUEL	F0035-09	80018463	12,850.00
300022151	POSEY, WILLIAM R	G0046-39	80018473	9,850.00
810003955	TOM BULLOCK	G0064-13	80018475	11,850.00
300012864	IMMING, SCOTT	H0024-01	80018477	16,850.00
300100191	MILLS, RICHARD	J0026-23	80018494	11,850.00
000054422	WALDRIP, SHILO	K0006-36	80018498	16,450.00
300229459	LINENBERGER, RUTH	W0318-10	80018517	12,850.00
120170840	BACH, TZAN T	F0035-09	80018621	12,850.00

Number of Accounts to Levy	12	Total Balance Outstanding:	\$161,090.00
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City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Brian Krup
Wards: All

Action / Date
PW4/18/2018

Subject:

Resolution assessing the cost of snow removal from sidewalks at various lots and tracts of real estate. [All Wards]

Recommendation:

Approve the Resolution.

Relationship to Goals:

Welcoming Neighborhoods.

Background:

The snow was removed from sidewalks at various lots and tracts of real estate and was billed to the property owners. The bills have not been paid and now are to be levied against the properties.

ATTACHMENTS:

Type	Description
▣ Cover Memo	PW RES - SNOW REMOVAL

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/10/2018 - 4:09 PM
Public Works Committee	Lechvar, Gina	Approved	4/11/2018 - 10:40 AM
City Clerk	Thorndike, Tiffany	Approved	4/11/2018 - 12:29 PM

Resolution No. _____

Resolution offered by Alderman Ray Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION assessing the cost of snow removal from sidewalks at various lots and tracts of real estate.

WHEREAS, that the following lots or tracts of real estate situated in the City of Davenport, and the owners, thereof, be hereby assessed the amounts set forth, and the same being the cost of snow removal from sidewalk at various lots and tracts of real estate.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the City treasurer be and is hereby ordered to collect the same as ordinary taxes to-wit.

BE IT FURTHER RESOLVED: If any amount assessed against property herein does not exceed \$500.00, such assessment must be made in 1 annual payment; if amount assessed exceeds \$500.00, such assessment may be in 10 annual installments; in the manner and with the same interest rate provided for assessment against benefited property under the State Code of Iowa as amended with the current interest rate of 9%. All assessments bear interest at the current rate of 9%.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, MMC, Deputy City Clerk

Snow Invoices for Levy

<u>CUST ACCT</u>	<u>NAME</u>	<u>PARCELID</u>	<u>INVOICE</u>	<u>BALANCE</u>
000075161	BENJAMIN JACKSON	X0253D26	80018075	86.40
300159297	AINSLIE, NADINE	X0253B34	80018081	80.16
300256221	SOMMER, SHERYL K	D0033-09	80018120	102.00
000077478	KYLE CONDON	D0055-13	80018122	169.60
300260604	DEMEYER, DAVE A	E0020-07	80018126	86.40
300203558	COTTON, JULIE	F0004-38	80018130	81.20
300205458	WOLFE, PAMELA	F0021-37	80018132	71.84
000024794	TATE, ALEXANDER M	F0021-39	80018134	71.84
300136856	PURCELL, COREY A	I0058-24	80018153	81.20
300093211	LEHMAN, CRAIG A	N0711B07A	80018169	146.20
000032557	SPIRIT MASTER FUNDING LLC	N1702-02	80018181	522.16
120225152	CHACKALACKAL, MATHEW	O2107D11	80018184	131.64
000006958	B C DEVELOPMENT OF DURANT LLC	O2109A42	80018188	78.60
000072904	JONES, ART	O2113B33	80018194	76.00
300184977	MUNN, DELL	R0401-20	80018201	71.84
300014603	MESMER, JUDY A	S2905C02	80018207	165.44
300186341	SUSAC, JURE/LJILJA	T2040-11	80018209	143.60
810001315	GEARHEAD PROPERTIES LC	X0251B34	80018217	139.44
300155131	HOANG, LOC	X0253A23	80018223	91.60
810001315	GEARHEAD PROPERTIES LC	X0253C16	80018227	135.80
300265257	DINH, BILLY K	Y0553-02A	80018229	106.68
000043352	HANNAHS EMBARGO LLC	C0051-23	80018252	77.04
000076276	AMY KOPATICH	C0036-34	80018282	77.04
000077484	PREMIER RENTALS LLC	A0061-28	80018286	66.64
000014321	HOBBS, ARTHUR M	H0008-21B	80018384	86.40
400001613	LUDTKE, WILLIAM	J0007-02	80018395	112.40
000059536	RITCHIE, WILLIAM L	F0027-25	80018459	165.44
000077505	BBEM	M1516B29	80018507	141.00
000077507	MALABAR MEWS LLC	X0251B04	80018521	141.00
000077507	MALABAR MEWS LLC	X0251B07	80018523	91.60
000077507	MALABAR MEWS LLC	X0251B08	80018525	91.60
000077507	MALABAR MEWS LLC	X0253A22	80018527	146.20
000077507	MALABAR MEWS LLC	X0253A23	80018529	91.60
000077507	MALABAR MEWS LLC	X0253A24	80018531	91.60
300254851	BANIK, JOHN R	A0005A12	80018670	81.20

000150508	JOHNSON, MONTE M	C0051-01	80018678	143.60
000077478	KYLE CONDON	D0055-13	80018684	169.60
000076182	ALPHA ASSETS	F0048-29	80018703	161.28
000077911	GTP ACQUISITION PARTNERSHIP	G0008-09D	80018711	332.88
000052532	PAIGE BANKSON	G0016-24	80018713	78.60
000051573	KUNCE, AMBER D	G0016-30	80018715	66.64
000077912	MARIA PEREZ	G0017-13	80018719	83.28
810003414	RODRIQUEZ ANTONIO JR	G0017-37	80018723	90.56
400004119	CLINE, SANDRA	G0033-02	80018730	139.96
300203114	RASCHER, MICHAEL	G0043-21	80018736	76.00
000077914	RENZIEL WILBORN	G0043-23	80018738	164.40
400003871	EARNEST, EXSO	H0001-02	80018749	73.40
300192369	HOLLINGSWORTH INC	H0001-04	80018751	76.00
000058096	SHARDAY BURKHART	H0007-01	80018757	89.00
000014321	HOBBS, ARTHUR M	H0008-21B	80018761	87.44
300007189	OBLETON, JOSEPH	H0025-23	80018775	78.60
000077919	ETHAN BAILEY	H0040-02A	80018777	203.40
300239255	HEDRICK, JOSEPH	I0006C15	80018789	86.40
000051419	JUSTIN HILL	I0041-14	80018791	133.20
300012435	PLATT, EMERSON O	J0063-08	80018797	149.84
300244678	BULLOCK, TOM	K0018-22	80018808	76.00
120165304	MARTINEZ, CARLOS R	K0019-18	80018814	161.80
300238664	CANTU, JOSHUA	K0019-22	80018818	92.12
000065469	PRAIRIE RIDGE SQUARE LLC	N0839-10A	80018824	255.40
000077916	JACQUELYN SALAS	N2902B01	80018828	159.72
000034472	HOUSBY, ROBBIN M	O2109A16	80018830	78.60
300242937	BAKER, AMANDA	O2116C18	80018834	86.40
300242937	BAKER, AMANDA	O2116C18	80018836	86.40
300234583	MANDELL, MICHELLE	P1109B02	80018838	117.60
000063687	BASSFORD CONSTRUCTION LLC	P1411-02D	80018842	396.32
300184977	MUNN, DELL	R0401-20	80018846	71.84
000005198	GOLD STAR PROPERTIES LLC	W0303-28	80018851	225.24
300166836	JOHNSON, PATTY	W0303-29	80018853	85.36
300149206	MOORE, CRAIG A	X0235C32	80018869	122.80
810001315	GEARHEAD PROPERTIES LC	X0253A17	80018875	83.80
300146084	THE GREASE SPOT #34	Y0721-01B	80018887	122.80
000072134	NORTH DEVELOPMENT, THF DAVENP	Y0819AOLA1	80018891	123.84

Number of Accounts to Levy

72

Total Balance Outstanding:

\$8,930.52

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Brian Krup
Wards: All

Action / Date
PW4/18/2018

Subject:

Resolution assessing the cost of boarding up building at various lots and tracts of real estate. [All Wards]

Recommendation:

Approve the resolution.

Relationship to Goals:

Welcoming Neighborhoods.

Background:

The buildings were boarded up at the following locations and billed to the property owners. The bills have not been paid and now are to be levied against the properties.

ATTACHMENTS:

Type	Description
▣ Cover Memo	PW RES - BOARD UP BUILDING

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/10/2018 - 4:04 PM
Public Works Committee	Lechvar, Gina	Approved	4/11/2018 - 10:40 AM
City Clerk	Thorndike, Tiffany	Approved	4/11/2018 - 12:31 PM

Resolution No. _____

Resolution offered by Alderman Ray Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION assessing the cost of boarding up building at various lots and tracts of real estate.

WHEREAS, that the following lots or tracts of real estate situated in the City of Davenport, and the owners, thereof, be hereby assessed the amounts set forth, and the same being the cost of boarding up building on said lots or tracts.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the City treasurer be and is hereby ordered to collect the same as ordinary taxes to-wit.

BE IT FURTHER RESOLVED: If any amount assessed against property herein does not exceed \$500.00, such assessment must be made in 1 annual payment; if amount assessed exceeds \$500.00, such assessment may be in 10 annual installments; in the manner and with the same interest rate provided for assessment against benefited property under the State Code of Iowa as amended with the current interest rate of 9%. All assessments bear interest at the current rate of 9%.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, MMC, Deputy City Clerk

Board Up Building Invoices for Levy

<u>CUST ACCT</u>	<u>NAME</u>	<u>PARCELID</u>	<u>INVOICE</u>	<u>BALANCE</u>
400001469	MORELAND, KEN	H0064-39	80018490	107.44
300021999	MORINING, GUNNIE JR	G0043-15	80018533	1,300.00
300009522	SIMMONS, JAN D	K0001-24	80018537	482.22
<hr/>				
Number of Accounts to Levy		3	Total Balance Outstanding:	\$1,889.66

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Brian Krup
Wards: All

Action / Date
PW4/18/2018

Subject:

Resolution assessing the cost of brush and debris removal at various lots and tracts of real estate.
[All Wards]

Recommendation:

Approve the Resolution.

Relationship to Goals:

Welcoming Neighborhoods.

Background:

The brush and debris was removed at the following locations and were billed to the property owners. The bills have not been paid and now are to be levied against the properties.

ATTACHMENTS:

Type	Description
▣ Cover Memo	PW RES - BRUSH & DEBRIS

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/10/2018 - 4:06 PM
Public Works Committee	Lechvar, Gina	Approved	4/11/2018 - 10:40 AM
City Clerk	Thorndike, Tiffany	Approved	4/11/2018 - 12:29 PM

Resolution No. _____

Resolution offered by Alderman Ray Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION assessing the cost of brush and debris removal at various lots and tracts of real estate.

WHEREAS, that the following lots or tracts of real estate situated in the City of Davenport, and the owners, thereof, be hereby assessed the amounts set forth, and the same being the cost of brush and debris removal on said lots or tracts.

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the City treasurer be and is hereby ordered to collect the same as ordinary taxes to-wit.

BE IT FURTHER RESOLVED: If any amount assessed against property herein does not exceed \$500.00, such assessment must be made in 1 annual payment; if amount assessed exceeds \$500.00, such assessment may be in 10 annual installments; in the manner and with the same interest rate provided for assessment against benefited property under the State Code of Iowa as amended with the current interest rate of 9%. All assessments bear interest at the current rate of 9%.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, MMC, Deputy City Clerk

Brush and Debris Invoices for Levy

<u>CUST ACCT</u>	<u>NAME</u>	<u>PARCELID</u>	<u>INVOICE</u>	<u>BALANCE</u>
300255007	REINIER, TERRI	H0044-41	80018483	162.75
300216107	MOORE, DELBERT	H0045-28	80018485	183.00
000019797	WISLEY, STEVEN W	K0008-39	80018502	185.50
300247715	J P RENTALS LLC	P1413A05	80018593	91.25
120236308	BELLA VISTA ESTATES LC	W0923A30	80018595	153.25
000054173	NORTH SHORE ESTATES LC	W1019B31	80018597	179.25
300262763	SCOTT, SHAY	H0024-02	80018601	153.25
120242603	KIEFER, MARY F	F0027-18	80018603	153.00
300247715	J P RENTALS LLC	P1413A10	80018607	91.25
000051425	JAMES EDWARD WALLER	H0053-57	80018609	153.25
000054173	NORTH SHORE ESTATES LC	W1003C04	80018611	153.25
300247715	J P RENTALS LLC	P1413A02	80018613	91.25
120163008	BENSON, GERALD A	B0062-07	80018615	153.25
000074030	ESTATES LLC, COTTAGE	W1019C50B	80018619	153.25
120245123	MIDWEST PEST MANAGEMENT LLC	20607-10	80018646	55.00
300112051	FRIEDRICH, RICHARD C	C0022-15	80018648	58.25
300247715	J P RENTALS LLC	P1413A05	80018655	66.50
000057747	JOHNSON, DOUG	C0017-09	80018674	66.50
000057544	JLJP LLC	C0028-12	80018676	161.50
300020095	RECK, WM	C0063-23	80018682	58.25
000047918	AURELIO, ELIAH	G0020-20	80018727	58.25
000073355	CHRISTOPHER BREKKE	H0064-33	80018787	105.75

Number of Accounts to Levy	22	Total Balance Outstanding:	\$2,686.75
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City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Nichole Kriz;563-326-7784
Wards: 3

Action / Date
PW4/18/2018

Subject:

Motion determining property values covering the 2019 Alley Resurfacing Program, CIP #33032.
[Ward 3]

Recommendation:

Pass the motion

Relationship to Goals:

Welcoming Neighborhoods

Background:

This process includes removal of the asphalt and brick surfaces, excavation and the installation of a permeable pavement surface with appropriate rock storage chamber, and a concrete paved boarder to tie into the existing parking lot and parking surfaces to the south. We understand that half (1/2) of the total cost of reconstructing this alley with a permeable paver system would be paid by the City of Davenport Clean Water Fee, with the other half (1/2) being divided between an assessment to the property owners and The City of Davenport Alley Assessment Program.

The city has received and has accepted a petition for this work, which involves the east-west alley between River Drive and Isabelle Bloom Way from Federal St to Tremont Ave. The estimated cost is \$103,700 which has been budgeted in CIP #33032. Due to the assessments, the owner one fourth of the project expense would eventually be recouped by the City.

This motion establishing property values within the assessment district is a requirement of state law covering the special assessment procedure. These property values are those within the defined assessment district, as shown on the assessment plat.

ATTACHMENTS:

Type	Description
□ Backup Material	Property Values
□ Backup Material	Map

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/12/2018 - 1:30 PM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 1:30 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 2:54 PM

Determining Property Values

RE: 2019 Alley Resurfacing Program

The following list is the present fair market value for the properties within the assessment boundaries of the referenced program, and which involves the following described alley, with the project complete.

East-West alley between River Drive and Isabell Way From Federal St to Tremont Ave.

Assessment Parcel No.	Parcel Owner	Assessed Value
F0060-05	BROOKS OPHELIA	\$ 48,460.00
F0060-08	Y & J PROPERTIES LLC	\$ 108,630.00
F0060-09	Y & J PROPERTIES LLC	\$ 5,040.00
F0060-01	Y & J PROPERTIES LLC	\$ 94,870.00
F0060-02	Y & J PROPERTIES LLC	\$ 47,420.00
F0060-03	Y & J PROPERTIES LLC	\$ 205,870.00
F0060-04	Y & J PROPERTIES LLC	\$ 59,940.00
F0061A04	GVT LOFTS LLC	\$ 243,040.00

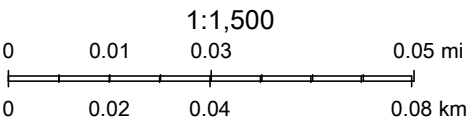
FY2019 ALLEY FROM FEDERAL ST TO TREMONT AVE



April 12, 2018

- Parks
- Parcels

Street Centerline (Labels only)



Scott County Iowa, Bi-State Regional Commission

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Thomas Vesalga; (563) 326-7783
Wards: 8

Action / Date
PW4/18/2018

Subject:
Motion approving the Special Event Agreement between the Davenport Municipal Airport and Aerial Promotions, Inc. (Quad City Airshow). Subject to FAA approval. [Ward 8]

Recommendation:
Approve the Motion

Relationship to Goals:
Welcome Investment

Background:
The Airport has negotiated a Special Event Agreement contract between the Davenport Municipal Airport and Aerial Promotions, Inc. for a rental of airport property for the presentation of the annual Quad City Airshow. This contract covers the period from January 1, 2018 through December 31, 2028.

The Quad City Airshow draws hundreds of thousands of spectators to the Davenport Municipal Airport annually and is responsible for significant increases in revenue generation throughout the local economy. This Special Event Agreement, originally signed in 1991, will allow Aerial Promotions, Inc. the opportunity to present this airshow to the surrounding community through both aerial and ground static performances and displays.

The Special Event Agreement is available for review in the Airport Division of Public Works.

ATTACHMENTS:

Type	Description
▢ Backup Material	Special Events Agreement with Quad City Airshow

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/12/2018 - 11:10 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 11:10 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 11:24 AM

DAVENPORT MUNICIPAL AIRPORT



DAVENPORT MUNICIPAL AIRPORT

SPECIAL EVENT AGREEMENT

BETWEEN

DAVENPORT MUNICIPAL AIRPORT

AND

AERIAL PROMOTIONS, INC.

January 1, 2018 through December 31, 2028

**DAVENPORT MUNICIPAL AIRPORT
SPECIAL EVENT AGREEMENT
BETWEEN
DAVENPORT MUNICIPAL AIRPORT
AND
AERIAL PROMOTIONS, INC.
January 1, 2018 through December 31, 2028**

AGREEMENT

Between the Davenport Municipal Airport and Aerial Promotions, Inc. d/b/a Quad City Air Show

WHEREAS, the City of Davenport, Iowa, hereinafter called the City, owns the Davenport Municipal Airport; and,

WHEREAS, the Davenport Municipal Airport, hereinafter called the Airport, possesses the authority to administer all operations, policies, and procedures of the airport on behalf of the City in accordance with Federal Aviation Administration regulations, policies and procedures; and,

WHEREAS, Aerial Promotions, Inc., d/b/a Quad City Airshow, hereinafter called the QCAS, is an Iowa non-profit company, 501(c)(3) registered with the State of Iowa and the Internal Revenue Service; and,

WHEREAS, the City desires to promote the Airport and has given the Airport the authority to provide for existing business and tenant interests; and,

WHEREAS, the term airshow shall refer to all aerial, static, and ground displays of aircraft beginning a maximum of three (3) days before the first day advertised to the general public and ending midnight of the last day advertised to the general public, five (5) days maximum, unless additional event days are agreed upon in writing; and,

WHEREAS, the QCAS desires to organize an airshow at the Airport;

NOW THEREFORE, the Airport and the QCAS agree as follows:

1. **TERM.** The term of this agreement shall be for ten (10) years beginning on January 1, 2018 and ending on December 31, 2028. The term shall automatically be extended one year on December 31, 2028 and each December 31 thereafter, unless terminated by the execution of a subsequent agreement, or the execution of Articles 18 or 19 of this agreement. No airshow event shall be scheduled, or allowed to take place in the absence of an executed contract and/or agreement.

2. **RENTAL COMPENSATION.** The Airport shall receive a rental compensation of twenty five thousand dollars (\$25,000.00) for each airshow. The rental compensation shall be due thirty (30) calendar days after the formal conclusion of each airshow. Payment of this rental compensation shall be in the form of a City of Davenport Interdepartmental Transfer drawn against the City of Davenport General Fund (Hotel/Motel Tax), and transferred into the Airport Fund (Miscellaneous Revenue, Airshow).

Rental Compensation as well as all fees, assessments, charges, and financial liabilities payable to the Airport by the QCAS for each airshow, airshow setup, airshow cleanup, and/or airport repairs shall be assessed and included into the interdepartmental transfer to the Airport on behalf of the QCAS. The Rental Compensation as well as all fees, assessments, charges, and financial liabilities payable to the Airport for each airshow shall not constitute an obligation to the QCAS.

The rental shall be renegotiated between the Airport and QCAS with each subsequent new Special Event Agreement signed by the Airport and the QCAS. If agreement of a rental compensation amount cannot be reached by the Airport and the QCAS, arbitration shall be used to determine the new rental compensation amount.

3. **USE.** The QCAS may schedule one (1) airshow per year. Additional airshows may be permitted with six (6) months advanced written notice by the QCAS to the Airport. Each airshow shall be limited to a maximum of five (5) consecutive days and shall consist primarily of aerial, static, and ground displays of aircraft. Concerts, concessions, and other displays and events executed on airport property in connection with an airshow event may be at the discretion of the QCAS. Airshow parking shall include both on-airport and off-airport parking.

4. **WAIVERS AND NOTAMS.** The QCAS shall obtain all required waivers and approvals from the Federal Aviation Administration (FAA) for each airshow. The QCAS shall apply for, and obtain the required Temporary Flight Restriction(s) (TFRs) for each airshow. All requirements shall be complied with in accordance with federal regulations, and in sufficient time to be accepted, approved, and activated for each airshow.

The Airport shall issue a Notice to Airmen (NOTAM) closing the airport or portions thereof for the airshow. The airport may be closed for a period of four (4) hours for a practice performance on each of the three (3) days preceding the advertised dates of the airshow. The airport may be closed for a maximum of eight (8) hours for each of the two (2) days of the airshow. Additional airport closure time may be requested in writing from the QCAS to the Airport.

The QCAS shall provide to the Airport a complete list of all other requested or required NOTAMs to include a complete operational description of the occurrence, the date and time of activation, and the date and time of deactivation. The Airport will concur with the NOTAM and activate it/them in sufficient time to cover the event. The QCAS and the Airport shall comply with all FAA NOTAM policies and procedures.

The QCAS shall install the appropriate markings on the runways at the time of closing and remove them when the runways are reopened in accordance with FAA Advisory Circular 150/5370-2F.

5. **APPLICATION FOR SPECIAL EVENT.** The QCAS shall submit a Special Event Application for each airshow event. The QCAS shall comply with the City Special Events Policy and the conditions set forth by the Special Events Committee and Special Events Coordinator.

6. **AIRSHOW LAYOUT.** The QCAS and the Airport shall review the airshow layout to include spectator areas, on-airport and off-airport emergency vehicle accesses, spectator parking, security, and any other topics as deemed important by the QCAS and/or the Airport. The review shall occur no later than thirty (30) calendar days prior to the airshow.

7. **NOTICE TO AIRPORT TENANTS.** The Airport shall supply the most current tenant list to the QCAS not later than sixty (60) calendar days prior to each airshow. Airport tenants shall receive a written notice of the airshow schedule and activities not later than thirty (30) calendar days prior to each airshow. The QCAS shall distribute the notice.

8. **NOTICES TO RESIDENTS AND BUSINESSES.** The residents and businesses around the Airport shall have access to their property through traffic control points, locations of which shall be provided by the QCAS to the Special Events Coordinator in accordance with Article 5 of this agreement. Traffic control and control point monitoring shall be provided by local law enforcement in accordance with City Special Events Policy. Residents and businesses affected by traffic control restrictions shall receive written notice of the airshow schedule and activities no later than thirty (30) calendar days prior to the airshow. The QCAS shall distribute these notices accordingly.

9. **T-HANGAR AND EXECUTIVE HANGAR TENANT PASSES.** Each hangar tenant shall receive one (1) vehicle pass to the T-Hangar area which will be valid for all airshow days. The vehicle may contain guests of the tenant if the guests have airshow tickets. The QCAS shall distribute these vehicle passes not later than ten (10) calendar days prior to the airshow.

10. **BUSINESS TENANT PASSES.** Each business tenant shall receive vehicle passes which will be valid for all airshow days for the business tenant employees. The vehicle pass shall allow access for one employee and one vehicle for each employee scheduled to work. The vehicle may contain guests of the employee if the guests have tickets. The access granted shall be to the parking space normally used by the employee. The business tenant shall provide a list of the names of the employees scheduled for work to the QCAS not later than thirty (30) calendar days in advance of the airshow. The QCAS shall distribute the vehicle passes not later than ten (10) calendar days prior to the airshow.

11. **ITINERANT PILOT PASSES.** The QCAS shall supply vehicle passes for visitors to the Quad Cities, other than airshow visitors, who arrive by airplane at the Davenport Municipal Airport. The number of passes shall be determined by the Fixed Base Operator(s) of the airport and the QCAS.

12. **AIRPORT OPERATIONS.** The QCAS shall not interfere with airplanes landing or taking off except during times when the Airport is closed by NOTAM or Temporary Flight Restrictions (TFR). The QCAS shall provide for safe access for airplanes to taxi to and from the runway(s), to and from the hangars, and to and from the Fixed Base Operator(s) regardless of starting point, except during times when the Airport, or any of its individual taxiways/runways are closed by NOTAM or TFR.

The QCAS Air Boss shall be the final authority in allowing aircraft to deviate from activated NOTAM's, TFR's, and/or FAA Waivers. All aircraft arrivals and departures scheduled to occur during TFR's shall have prior approval of the QCAS Air Boss before being allowed to arrive or depart.

The QCAS shall take every action necessary to prevent runway incursions on the airport. All runway incursions, whether perceived or actual shall be reported to the FAA in accordance with current reporting procedures.

13. **OPERATION OF MOTORIZED VEHICLES ON AIRPORT PROPERTY.** No person under the age of sixteen (16) shall be allowed to operate a motorized vehicle on airport property at any time. The Airport and City shall be held harmless, in the event of property damage, personal injury, and or death caused by the operation of motorized vehicles by persons under the age of sixteen (16). The

QCAS shall inform all QCAS personnel, representatives, agents, sub-organizations, visitors, and guests of this restriction.

14. **AIRSHOW SET UP.** The airshow setup shall be limited to a maximum of fourteen (14) consecutive calendar days immediately proceeding the first day of the airshow.

15. **COMMUNICATIONS.** The QCAS and the Airport shall exchange current telephone numbers and email addresses of all key QCAS and Airport staff prior to the commencement of the airshow setup.

16. **AIRSHOW TEAR-DOWN AND CLEAN UP.** The QCAS shall have all equipment and materials owned by the QCAS torn down and returned to the QCAS Staging Area within five (5) calendar days immediately following the last day of the airshow. The QCAS shall have the airport property restored to a pre-airshow condition within fifteen (15) calendar days immediately following the last day of the airshow.

The QCAS shall have all equipment, materials, and supplies not owned by the QCAS or the Airport, but used in the presentation of the airshow or other QCAS activities, removed from the airport property within fifteen (15) calendar days.

The Airport shall provide a list to the QCAS within five (5) calendar days immediately following the last day of the airshow, all damaged caused to the airport by airshow activities. Damage caused to the airport shall include, but not be limited to damage caused by vehicle parking on and off airport property, damage to airport runway lighting systems and signage, and damage to any permanent or non-permanent fixtures and/or roadways belonging to the airport and/or airport tenants. All ruts, channels, depressions, and holes in the airport grounds caused by the QCAS activities and/or visitor parking shall be regraded to their original contours and reseeded within fifteen (15) calendar days of notification by the Airport. Any work requiring third party contract labor shall be scheduled within seven (7) calendar days of notification regardless of the contracted completion date of the work to be performed.

17. **NO AGENCY.** The QCAS is not an agent of the Airport.

18. **TERMINATION FOR CAUSE.** If the QCAS fails to comply with this agreement, the City Special Events Policy, the Special Events Committee, and/or the Special Events Coordinator, then the Airport shall notify the QCAS in writing of such failure and any corrective action applicable. If corrective action is not made within the specified time, or no corrective action is possible, this agreement shall be terminated by the Airport without further notice. Upon termination under this article, all written, unwritten, implied, or future contract agreements are terminated in their entirety. All scheduled and unscheduled airshow events, for the current year and future years are terminated. All transactions between the Airport and the QCAS are immediately terminated until the Airport and QCAS renegotiate and execute a new contractual agreement.

19. **TERMINATION WITHOUT CAUSE.** This agreement may be terminated by the Airport or the QCAS without cause upon one (1) years written notice. Upon termination under this article, all written, unwritten, implied, or future contract agreements are terminated in their entirety. All scheduled and unscheduled airshow events for any future years are terminated. All transactions between the Airport and the QCAS are terminated until the Airport and QCAS renegotiate and execute a new contractual agreement.

20. **NONDISCRIMINATION IN PARTICIPATION IN QCAS EVENT.** The QCAS, his representatives, his successors in interest, and assigns, as part of the consideration hereof, does hereby covenant and agree as a covenant running with the land that: (1) no person on the grounds of race, creed, color, religion, national origin, sex, or handicap shall be excluded from participation in, denied the benefits of, or otherwise subjected to discrimination, in the use of said facilities; (2) that in the construction of any improvements on, over, or under such land and the furnishing of services thereon, no person on the grounds of race, creed, color, religion, national origin, sex, or handicap shall be excluded from participation in, denied the benefits of, or otherwise be subjected to discrimination; (3) that the QCAS shall use the premises in accordance with all other requirements imposed by or pursuant to 46 CFR Part 21, Nondiscrimination in Federally Assisted Programs of the Department of Transportation and as said regulation may be amended.

21. **NONDISCRIMINATION IN EMPLOYMENT BY QCAS.** The QCAS assures that it will undertake an affirmative action program as required by 14 CFR Part 152, Subpart E, to ensure that no person shall on the grounds of race, creed, color, religion, national origin, sex, or handicap be excluded from participating in any employment activities covered in 14 CFR, Subpart E. The QCAS assures that no person shall be excluded on these grounds in participating in or receiving the services or benefits of any program or activity covered by this subpart. The QCAS assures that it will require that its covered sub-organizations provide assurance to that they will require assurances from their sub-organizations as required by CFR Part 152, Subpart E to the same effect.

22. **AIRPORT'S RIGHT TO MAINTENANCE.** The Airport reserves the right to maintain and keep in repair the landing area of the airport and all publically owned facilities of the airport together with the right to direct and control all activities of the QCAS in this regard. The Airport shall make every effort not to schedule routine airport maintenance operations that may interfere with the QCAS's Airshow operations.

23. **AIRPORT'S RIGHT TO IMPROVE.** The Airport reserves the right to further develop or improve the landing area and all publically owned air navigation facilities of the airport as it sees fit regardless of the desires or views of the QCAS and without interference or hindrance. The Airport shall make every effort not to schedule airport improvement operations that may interfere with the QCAS's Airshow operations.

24. **INDEMNIFICATION.** The QCAS agrees to indemnify the Airport and hold the Airport harmless against any and all liability for injuries to persons or damage to property caused by QCAS's negligent use of or occupancy of the airport or caused by the negligence of any QCAS's employees, officers, agents, guests or invitees; provided, however, that QCAS shall not be liable for any injury, damage, or loss occasioned by the negligence of Airport or its agents or employees and provided further that Airport shall give to the QCAS prompt and timely notice of any claim made or suit instituted which in any way directly or indirectly, contingent or otherwise, affects or might affect the QCAS, and the QCAS shall have the right to compromise and defend the suit to the extent of its own interest, and the QCAS shall do the same regarding prompt and timely notice.

To the extent permitted by law, the QCAS hereby releases the Airport, its elected and appointed officials, its agents, employees and volunteers and others working on behalf of the Airport, from and against any and all liability or responsibility to the QCAS or anyone claiming through or under the QCAS by way of subrogation or otherwise, for any loss or damage to property caused by fire or any other casualty and for any QCAS liability or workers compensation loss. This provision shall be applicable and in full force and effect only with respect to loss or damage occurring during the term of this agreement. The QCAS's

policies of insurance shall contain a clause or endorsement to the effect that such release shall not adversely affect or impair such policies or prejudice the right of the QCAS to recover thereunder.

25. **INSURANCE.** QCAS agrees to maintain with a reputable insurance company, on a form acceptable to the City, Premise general liability, hired autos / non-owned autos liability, volunteer accident insurance, and include the Davenport Municipal Airport and City of Davenport, Iowa as additional insured for food vendor products liability in the following amounts:

- **Premise General Liability / Air Meet Liability / Air Meet Malpractice Liability:** \$5,000,000
- **Hired Autos / Non-Owned Autos:** \$1,000,000
- **Volunteer Accident:** \$10,000
- **Name the City of Davenport additional insured Food Vendor Product Liability:** \$1,000,000

QCAS shall furnish the Airport with a current Certificate of Insurance for all policies, showing the insurance to be in full force and effect. QCAS's insurance shall be the primary insurance and name the Davenport Municipal Airport and/or the City of Davenport, Iowa, as additional insured's. The following address shall be given to the QCAS's insurer:

City of Davenport
Davenport Municipal Airport
1200 E 46th Street
Davenport, IA 52807

The Airport shall be given 10 days written notice of cancellation of insurance coverage. A certificate of insurance verifying the above conditions shall be provided to the Airport on the renewal of the QCAS's insurance policy and at other times as necessary.

26. **SUBORDINATION.** This agreement shall be subordinate to the provisions of any existing or future agreement between the City, the Airport, the State of Iowa, and/or the United States of America or any agency thereof relative to the operation, development, or maintenance of the airport, the execution of which has been or may be required as a condition precedent to the expenditure of federal or state funds for the development of the airport. This agreement shall be subordinate to all provisions of any existing or future regulations of the Federal Aviation Administration.

27. **APPROVAL.** This Lease Agreement shall supersede all previous leases with the Airport and is subject to the approval of the Federal Aviation Administration.

Signatures on page 7 of 7

IN WITNESS WHEREOF, the parties hereto have caused this Lease Agreement to be executed in

duplicate on this _____ day of _____, 2018.

Aerial Promotions, Inc.

By: _____

Title: _____

Street: _____

City, State, Zip: _____

Davenport Municipal Airport

By: _____

Airport Manager
1200 E. 46th Street
Davenport, IA 52807

City of Davenport, Iowa

By: _____

Mayor
226 W. 4th Street
Davenport, IA 52801

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Sandy Doran; (563)326-7756
Wards: All

Action / Date
PW4/18/2018

Subject:

Motion approving the contract for the Sewer Separation – Infiltration Removal Design and Preparation of Bid Documents to Veenstra & Kimm in the amount not-to exceed \$75,000; CIP #30016. [All Wards]

Recommendation:

Approve the motion.

Relationship to Goals:

Sustainable Infrastructure

Background:

Veenstra & Kimm has presented results to City staff of smoke testing, field investigations and televising data that documents cross connections, an old brick arched sanitary sewer on 2nd St from Taylor to Marquette and at 4th and LeClaire. that is structurally deficient and blind taps at a 30" diameter sanitary sewer. This project will rehabilitate the sanitary sewer pipe, eliminate cross connections to redirect storm water to existing storm sewer and add manholes to eliminate blind taps. The scope of work is for Veenstra & Kimm to provide engineering services to the City for the design and preparation of bid documents.

This resolution is the approval of the contract award and is within budget.

This scope of work addresses recommendations from investigations to reduce inflow and infiltration to further comply with the IDNR Administrative Consent Order, improve structurally deficient infrastructure and provide Sewers Division better access to sanitary sewers for maintenance.

ATTACHMENTS:

Type	Description
▣ Backup Material	Scope of Services for Sewer Separation-Infiltration Removal

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 11:38 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 9:29 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:13 AM

AGREEMENT FOR PROFESSIONAL SERVICES

CITY OF DAVENPORT, IOWA SEWER SEPARATION – INFILTRATION REMOVAL

WHEREAS, the CITY OF DAVENPORT, IOWA, a municipal corporation organized and existing pursuant to the laws of the State of Iowa, hereinafter referred to as the "CITY," is desirous of obtaining professional engineering services in connection with the Sewer Separation – Infiltration Removal, hereinafter referred to as the "Project," and

WHEREAS, VEENSTRA & KIMM, INC., hereinafter referred to as the "CONSULTANT," being a corporation organized and existing under the laws of the State of Iowa; and

WHEREAS, the CONSULTANT is desirous of performing professional services for the CITY in connection with the Sewer Separation – Infiltration Removal project.

NOW, THEREFORE, it is mutually agreed as follows:

SECTION I - GENERAL

A. PERFORMANCE

The performance of the CONSULTANT shall be limited to the scope of services outlined as hereinafter set forth.

B. CONFERENCES

Conferences shall be held from time to time as the performance of this Agreement progresses at a mutually convenient location at the request of the CITY. The CONSULTANT shall prepare and present such information as may be pertinent or necessary to enable the CITY to pass critical judgment on the features and progress of services under this Agreement. The CONSULTANT shall make such changes, amendments, or revisions in the detail of any phase of services under this Agreement as may be required by the CITY. If alternates or alternatives are to be considered, the CITY shall have the right of selection. The CONSULTANT shall, at the request of the CITY, appear personally, prepare and present such documents and/or explanations to the Davenport City Council as may be requested.

C. INDEMNIFICATION

The CONSULTANT shall and hereby agrees to hold and save the CITY harmless from any and all claims, settlements, and judgments, to include all reasonable investigative fees, attorneys' fees, suit and court costs for personal injury, property damage, and/or death arising out of the CONSULTANT's or any of its agents', servants', and employees' errors, omissions or negligent acts for services under this Agreement, and for all injury and/or death to any and all of the CONSULTANT's personnel, agents, servants, and employees occurring under the Worker's Compensation Act of the State of Iowa.

D. INSURANCE

The CONSULTANT shall furnish the CITY with a certificate or certificates of insurance by an insurance company licensed to do business in the State of Iowa, in compliance with Attachment II, "Professional Services Insurance".

E. PROGRESS REPORTS

The CONSULTANT shall furnish the CITY with monthly progress reports which shall indicate the percentage of engineering services completed on the project to the date of the report, together with a description of the status of services in progress during the CONSULTANT's performance under this Agreement. The CONSULTANT shall also, upon request of the CITY, furnish the necessary documentation to verify the reported progress in the performance of said services.

F. ACCESS TO CONSULTANT'S RECORDS

The CONSULTANT shall maintain all books, documents, papers, accounting records and other evidence pertaining to cost incurred in performing work covered by this contract. The CITY or any of its duly authorized representatives shall have access to all such books, records, documents and other evidence for the purpose of inspection, audit and copying during normal business hours. All such books, records, and documents shall be retained for three years from the date of final payment under the contract.

G. OWNERSHIP OF DOCUMENTS

All survey notes, reports, design plans, specifications, special studies, records and other data prepared under this Agreement shall become the property of the CITY upon completion or termination of the services of the CONSULTANT.

H. FEDERAL REQUIREMENTS

Not applicable.

I. TERMINATION

If the CITY should desire to suspend or terminate the services to be rendered by the CONSULTANT under this Agreement, such suspension or termination may be effected by the CITY giving the CONSULTANT written notice. Payment shall be made by the CITY for services rendered by the CONSULTANT to date of termination.

J. CHANGES IN SCOPE OF SERVICES

1. Extra Work

Authorization for extra work shall be evidenced by the CITY in writing, in the form of a Supplemental Agreement. Extra work will usually be of limited extent and may consist of, but is not necessarily limited to, the introduction of new items of work beyond the stated or implied scope of the Agreement.

At the option of the CITY, payment for extra work may be made on a fixed price; a cost plus a fixed fee, time and materials; or other mutually agreed basis.

If the CONSULTANT is of the opinion that any work the CONSULTANT has been directed to perform is beyond the scope of this Agreement and constitutes extra work, the CONSULTANT shall promptly notify the CITY in writing of that fact. In the event the CITY determines that such work does constitute extra work, the CITY shall provide extra compensation to the CONSULTANT as provided for above. No extra work shall be performed by the CONSULTANT without receiving a written agreement from the CITY in advance.

2. Deletion of Work

Authorization for deletion of work shall be evidenced by the CITY in writing.

At the discretion of the CITY, work items listed in Section 2 - Scope of Work, or parts thereof, may be deleted from the project.

Reduction to the CONSULTANT's compensation as a result of deletion of work shall be based on the cost estimate of the work deleted. In the event that the CONSULTANT had performed authorized work on the items deleted prior to deletion, the cost of such work shall be retained in the CONSULTANT's compensation.

K. NONDISCRIMINATION

Attachment I "Special Provisions Section III Nondiscrimination In Employment by Contractors/Subcontractors and Suppliers" shall be signed by the CONSULTANT and shall become a part of this Agreement. In Attachment I the contractor/supplier is the CONSULTANT for terms of this Agreement.

L. CONTRACT COMPLIANCE PROGRAM

The CONSULTANT agrees to comply with the City of Davenport Special Provisions which is attached.

M. SUBLETTING OR ASSIGNMENT

The CONSULTANT shall not sublet, assign or otherwise dispose of any portion of the services to be provided by this Agreement without a written permission to sublet signed by the City Engineer and approved by the City Council. Requests for permission to sublet shall be in writing and shall name the organization which will perform the work, the work to be performed, and the dollar amount of the work to be performed. Subconsultants which are shown as part of this Agreement shall be deemed to be approved when this Agreement is executed.

A "City of Davenport Consultant Cost Summary for Subagreements" or equal shall be provided on each organization showing Hourly rates and Overhead and Fringe Benefit rates that will be applied to services to be sublet.

When requested by the City Engineer, the CONSULTANT shall provide a written report showing that the organization which will perform the work is particularly experienced and equipped for such work. Consent by the CITY for the CONSULTANT to sublet, assign or otherwise dispose of any portion of this Agreement shall not relieve the CONSULTANT of any responsibility for fulfillment of this Agreement, nor shall it in any way create a contractual relationship between the CITY and the SUBCONSULTANT. The CONSULTANT agrees to include in and make a part of all subagreements all portions of this Agreement which relate to the subconsultants' work including the Nondiscrimination portions of this Agreement.

N. CLOSE-OUT OF AGREEMENT

Upon completion or termination of services under this Agreement, the CONSULTANT shall provide the CITY the following documents:

1. Documents as stated in Section 1.G of the Agreement.
2. Statement of Final Billing.
3. Written report showing the actual amounts paid by the CONSULTANT for services under this Agreement to MBE/WBE Firms.

O. LAWS, REGULATIONS AND CODES

The CONSULTANT hereby agrees that all work done as part of this Agreement which is subject to current Federal, State or Local Laws, Regulations and/or Codes shall comply with such applicable Laws, Regulations and/or Codes.

P. CITY POLICY AND PROCEDURES

The CONSULTANT hereby agrees to conform to CITY policy and procedures as they relate to this Agreement. Such policy and procedure shall include but is not limited to the following:

1. Invoice and billings for service.
2. Engineering Department Design Standards.
3. Engineering Department standard format for reports, plans, and/or specifications.
4. Plan-review process including site-plan and architectural review.
5. Include CITY Work Order Number and Contract Number on all documents related to this Agreement if appropriate.

Q. NOTICE TO PROCEED

The CONSULTANT shall not begin work until a written notice to proceed is issued by the City Engineering Department. If Section 2 of this Agreement provides for the work to be completed in phases, a notice to proceed shall be issued for each phase.

SECTION 2 - SCOPE OF SERVICES

SEWER SEPARATION – INFILTRATION REMOVAL

A. SERVICES PROVIDED BY CONSULTANT

The scope of the services for which construction services are to be performed under this Agreement shall include:

1. The services by the CONSULTANT under this Agreement shall include, but not necessarily be limited to, the following:

Prepare plans and specifications for up to two construction bids that includes storm and sanitary sewer improvements as shown in corresponding figures. The figures include a detailed estimate of the work included in this contract. Below is a summary of each area's work.

1. 4th and LeClaire Sewer Separation – See Figures 1, 2 and 3
 - a. Includes intercepting a 30" storm sewer that flows over land to storm intakes that are direct connections to the sanitary system.
 - b. Design and construct a 15" through 24" storm sewer with intakes to deliver storm flow to the existing 66" storm sewer on Iowa Street.
 - c. Complete street and sidewalk restoration to meet ADA and City standards.
2. West 2nd Street from Taylor Street to Marquette Street – See Figures 4, 5, 6 and 7
 - a. Includes rehabilitating or providing a new sanitary sewer along West 2nd Street to improve or replace failing 30" brick arch sewer.
 - b. Work includes brick arch sewer televising, rehabilitating or likely replacing brick arch sewer. Initial televising showed serious concerns with the brick arch sewer condition.
 - c. Complete street and sidewalk restoration to meet ADA and City standards.

It is understood by the CITY and CONSULTANT that the Project must be flexible during the course of implementation. As data is collected, it is often necessary to refine and change the scope and focus of the Project. The CITY and CONSULTANT agree the scope of the Project may be adjusted during the course of performance by adding or subtracting work from the specific work tasks. Work may be added, shifted or deleted provided the total cost of the Project does not increase.

B. OBLIGATIONS OF CITY TO CONSULTANT

1. Provide available information, such as topography, site plans, building plans, mapping, and other information that mutually is agreed upon as pertinent to the project.
2. Designate a liaison officer from the CITY who will work directly with the CONSULTANT to coordinate the collection of CITY-supplied data, arrange for meetings, and be responsible for the general coordination between the CITY and the CONSULTANT.
3. Provide the services of the City Solicitor experienced in legal matters pertaining to this type of project. The CONSULTANT shall cooperate with the City Solicitor and comply with the requirements of the City Solicitor as to form of contract documents and procedures relative to them.
4. Provide access to all manholes and intakes in the area.
5. If soil borings are required, Veenstra & Kimm, Inc. will provide locations and the City will obtain borings.

C. DELIVERABLES

The scope of the services shall be considered to be complete upon delivery of the following items to the satisfaction of the CITY.

The documents provided to the CITY by the CONSULTANT shall include but may not be limited to the following in accordance with each project type:

- 4 copies of plan sheets with specifications
- Electronic copies of plans and specifications
- Permit applications for IDNR and IDOT

SECTION 3 - COMPENSATION AND PAYMENT

A. COMPENSATION

1. Design and investigation not-to-exceed fee of \$75,000 based on approximately \$900,000 in improvements. See Figures 3 and 7 for a detailed work breakdown structure of tasks and associated costs for the 4th and LeClaire Sewer Separation and the West 2nd Street Sewer Improvements respectively.
2. Construction contract management and investigations during construction not-to-exceed fee of \$18,500. Investigation during construction includes reviewing contractor televising data, dye testing, smoke testing and support to City inspection. Veenstra & Kimm, Inc.'s hourly rates are included as Attachment III.
3. Total Compensation Not-to-Exceed Ninety Three Thousand Five Hundred and 00/100 Dollars (\$93,500.00).

SECTION 4 - COMPLETION OF WORK

The CONSULTANT shall complete all services outlined in this Agreement to allow a late summer or early fall 2018 construction award, providing no unforeseen delays are experienced beyond the control of the CONSULTANT.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement as of this _____ day of _____, 2018.

CITY OF DAVENPORT, IOWA

VEENSTRA & KIMM, INC.


By _____

By  _____
Leo F. Foley, Office Manager

ATTEST:

WITNESS:

By _____

By  _____

Title _____

Title Admin Assistant

SPECIAL PROVISIONS

SECTION III -

Nondiscrimination in Employment by Contractors/Subcontractors and Suppliers

Contractor's Agreement

During the performance of this contract, the Contractor agrees as follows:

- (1) The Contractor will not discriminate against any employee or applicant for employment because of race, color, creed, religion, sex, national origin or ancestry, age, marital status, physical or mental disability, or political beliefs and affiliations. The Contractor will take affirmative action to ensure that applicants are employed, and that employees are treated during employment, without regard to their race, color, creed, religion, sex, national origin or ancestry, age, marital status, physical or mental disability, or political beliefs and affiliations. Such action shall include, but not be limited to the following: employment, upgrading, demotion, or transfer; recruitment or recruitment advertising; layoff or termination; rates of pay or other forms of compensation; and selection for training, including apprenticeship. The Contractor agrees to post in conspicuous places, available to employees and applicants for employment, notices setting forth the provisions of this nondiscrimination clause.
- (2) The Contractor will, in all solicitations or advertisements for employees placed by or on behalf of the Contractor, state that all qualified applicants will receive consideration for employment without regard to race, color, creed, religion, sex, national origin or ancestry, age, marital status, physical or mental disability, or political beliefs and affiliations.
- (3) The Contractor will send to each labor union or representative of workers with which he has a collective bargaining agreement or other contract or understanding, a notice advising the labor union or workers' representative of the Contractor's commitments under the Davenport Affirmative Action Plan, and shall post copies of the notice in conspicuous places available to employees and applicants for employment.
- (4) The Contractor will comply with all provisions of the Davenport Affirmative Action Plan and procedures developed by the City's Compliance Officer in pursuit of that plan.
- (5) The Contractor will furnish all information and reports required by the Davenport Affirmative Action Plan and procedures developed by the City's Compliance Officer in pursuit of that plan, and will permit access to his/her books and accounts by the contracting department and the Compliance Officer for purposes of investigation to ascertain compliance with the City's Affirmative Action Plan.
- (6) In the event of the Contractor's noncompliance with the nondiscrimination clauses of this contract or with any implementing procedures or orders, this contract may be cancelled, terminated or suspended in whole or in part and the Contractor may be declared ineligible for further City contracts in accordance with procedures authorized in The Davenport Affirmative Action Plan and such other sanctions may be imposed and remedies invoked as provided in the Davenport Affirmative Action Plan, or as otherwise provided by law.

(7) The Contractor will include the provisions of Paragraphs (1) through (7) in every subcontract or purchase order in the amount of \$5,000 or more, so that such provisions will be binding upon each subcontractor or vendor. The Contractor will take such action with respect to any subcontract or purchase order as the contracting agency may direct as a means of enforcing such provisions including sanctions for noncompliance: Provided, however, that in the event the Contractor becomes involved in, or is threatened with litigation with a subcontractor or vendor as a result of such direction by the contracting agency, the Contractor may request the City of Davenport to enter into such litigation to protect the interests of the City of Davenport.

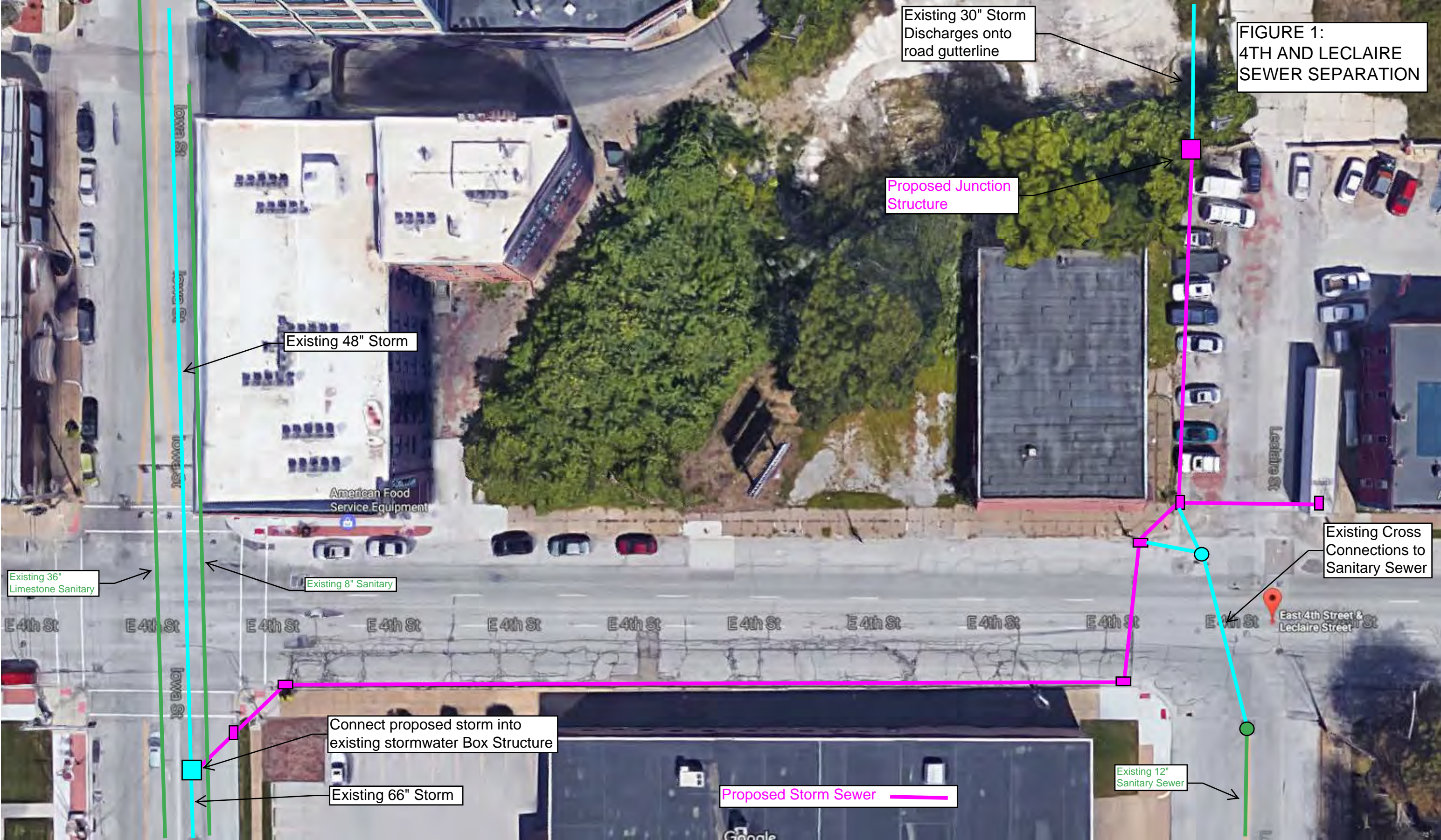


FIGURE 1:
4TH AND LECLAIRE
SEWER SEPARATION

Existing 30" Storm
Discharges onto
road gutterline

Proposed Junction
Structure

Existing 48" Storm

American Food
Service Equipment

Existing Cross
Connections to
Sanitary Sewer

East 4th Street &
LeClaire Street

Existing 36" Limestone Sanitary

Existing 8" Sanitary

Connect proposed storm into
existing stormwater Box Structure

Existing 66" Storm

Proposed Storm Sewer

Existing 12" Sanitary Sewer

CITY OF DAVENPORT, IOWA
4TH AND LECLAIRE SEWER SEPARATION
PRELIMINARY COST ESTIMATE

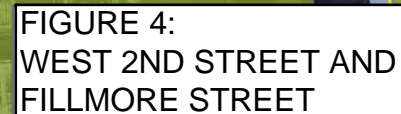
Figure 2

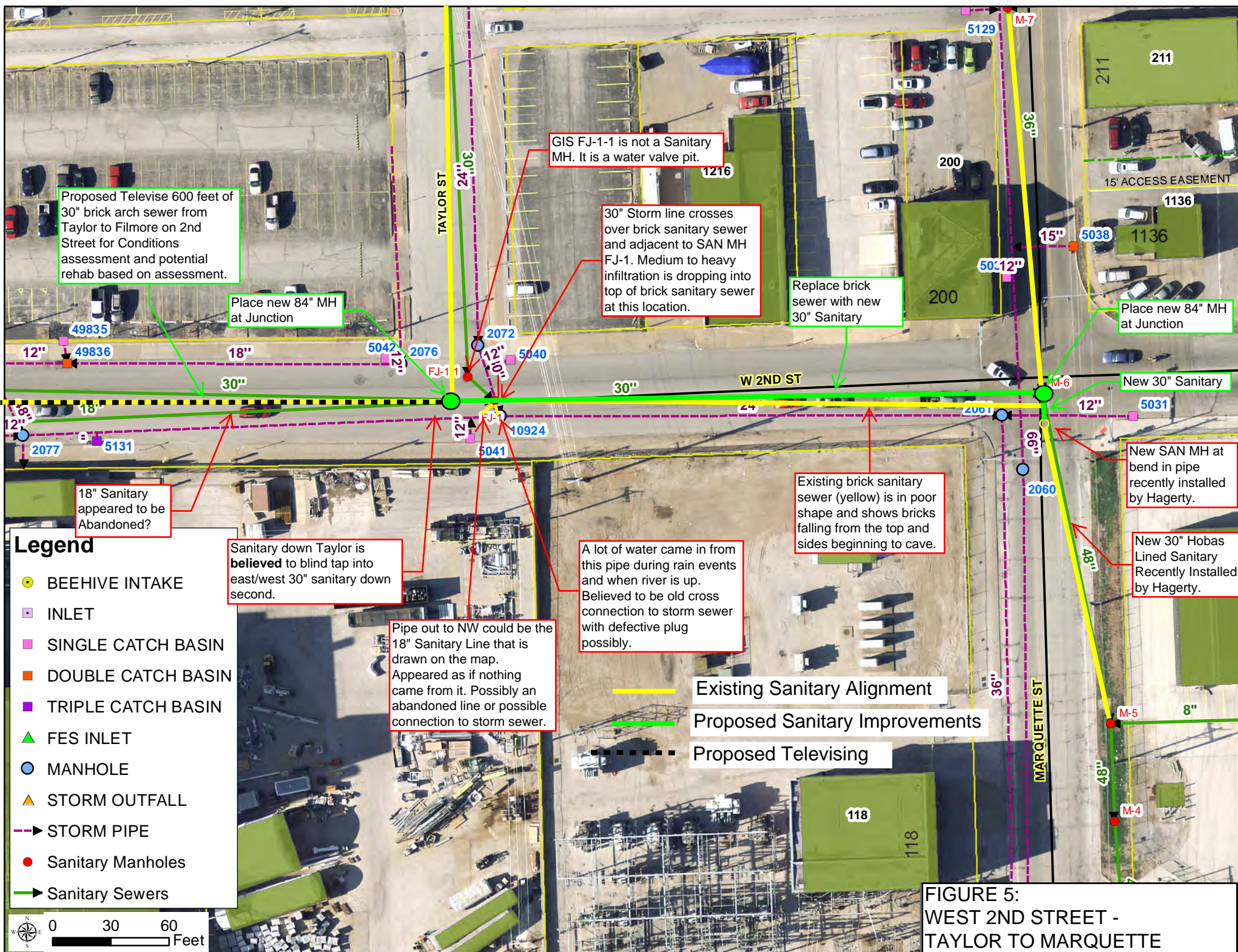
	ITEM	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENDED PRICE
1	Mobilization	LS	1	\$ 24,000.00	\$ 24,000.00
2	Construction Staking/Survey	LS	1	\$ 6,000.00	\$ 6,000.00
3	Traffic Control	LS	1	\$ 8,000.00	\$ 8,000.00
4	Erosion Control	LS	1	\$ 3,500.00	\$ 3,500.00
5	Sanitary Service, Remove and Replace	LF	25	\$ 65.00	\$ 1,625.00
6	Pipe Removal, 8" to 12" Storm	LF	50	\$ 10.00	\$ 500.00
7	Storm Sewer, 15" or 18" RCP	LF	180	\$ 85.00	\$ 15,300.00
8	Storm Sewer, 24" RCP	LF	435	\$ 115.00	\$ 50,025.00
9	Connection into Existing Storm Box	EA	1	\$ 1,000.00	\$ 1,000.00
10	Single Intake, SW-501	EA	6	\$ 4,000.00	\$ 24,000.00
11	Special Intake MH Junction Structure	EA	1	\$ 8,000.00	\$ 8,000.00
12	Intake Removal & Storm MH Removal	EA	3	\$ 750.00	\$ 2,250.00
13	Flowable Grout to Abandon Cross Connection	CY	2	\$ 500.00	\$ 1,000.00
14	Remove and Replace Sanitary Manhole SW-301	EA	1	\$ 10,000.00	\$ 10,000.00
15	9" Thick PCC Sewer Patching Remove/Replace (Integral Curb and Gutter)	SY	600	\$ 105.00	\$ 63,000.00
16	PCC Drive, 7" Thick	SY	25	\$ 75.00	\$ 1,875.00
17	Granular Subbase, 6" Thick	SY	625	\$ 15.00	\$ 9,375.00
18	Sidewalk Removal	SF	2822	\$ 2.50	\$ 7,053.75
19	PCC Sidewalk, 4" Thick	SF	1943	\$ 7.00	\$ 13,597.50
20	PCC Sidewalk, ADA Compliant	SF	879	\$ 15.00	\$ 13,185.00
21	2" Milling (LeClaire, North of 4th Street)	SY	1000	\$ 5.00	\$ 5,000.00
22	2" HMA Overlay (LeClaire, North of 4th Street)	Tons	152.6	\$ 100.00	\$ 15,257.81
23	9" Base Patching	SY	150	\$ 105.00	\$ 15,750.00
24	Adjustment of Frame and Cover, Sewer/Utility Manhole	EA	2	\$ 1,000.00	\$ 2,000.00
25	Adjustment of Frame and Cover, Water or Gas Box	EA	2	\$ 400.00	\$ 800.00
26	Adjustment of Frame and Cover, Single Inlet	EA	2	\$ 1,000.00	\$ 2,000.00
27	Pavement Markings, 4" Equivalent, Durable Paint	LF	500	\$ 2.50	\$ 1,250.00
28	Allowance - Trench Backfill IDOT Grad No. 11	Tons	300	\$ 35.00	\$ 10,500.00
29	Allowance - Stabilizing Material for Trench Foundation	Tons	100	\$ 55.00	\$ 5,500.00
	Construction Subtotal				\$321,344.06
	10% Contingency				\$32,134.41
	Construction Total				\$353,478.47
	Design (10%)				\$32,134.41
	Construction Engineering (5%)				\$16,067.20
	Total Project Costs				\$401,680.08

**DAVENPORT, IOWA
4TH AND LECLAIRE
SEWER SEPARATION
ENGINEERING FEE ESTIMATE**

Figure 3

	DESCRIPTION	ESTIMATED COST
1	Topographic Survey	\$ 3,000.00
2	Hydrology & Pipe Sizing	\$ 5,000.00
3	YMCA Property Evaluation	\$ 1,500.00
4	Preliminary Design Layout	\$ 2,000.00
5	Coordination with City & YMCA	\$ 2,000.00
6	Structural Evaluation for Special Drainage Structure	\$ 2,500.00
7	Construction Plans & Specifications	\$ 14,000.00
8	Coordination & Bidding	\$ 2,000.00
	Subtotal Design & Investigations	\$ 32,000.00
9	Construction Engineering Assistance	\$ 8,000.00
	PROJECT TOTAL	\$ 40,000.00





DAVENPORT, IOWA
WEST 2ND STREET - TAYLOR TO MARQUETTE
PRELIMINARY COST ESTIMATE

Figure 6

	ITEM	UNIT	ESTIMATED QUANTITY	UNIT PRICE	EXTENDED PRICE
1	Mobilization	LS	1	\$ 25,000.00	\$ 25,000.00
2	Construction Staking	LS	1	\$ 8,000.00	\$ 8,000.00
3	Traffic Control	LS	1	\$ 7,000.00	\$ 7,000.00
4	Erosion Control	LS	1	\$ 5,000.00	\$ 5,000.00
5	Abandon In-Place Sewer Pipe (Flowable Grout)	CY	15	\$ 400.00	\$ 6,000.00
6	Manhole Removal	EA	2	\$ 1,500.00	\$ 3,000.00
7	Sanitary Manhole SW-301, 84" Dia.	EA	2	\$ 15,000.00	\$ 30,000.00
8	Sanitary Sewer, 30" Dia.	LF	325	\$ 200.00	\$ 65,000.00
9	Identification of Services	EA	10	\$ 500.00	\$ 5,000.00
10	Sanitary Sewer Service	LF	100	\$ 75.00	\$ 7,500.00
11	Televise Sanitary Sewer 30" Brick Sewer	LF	600	\$ 10.00	\$ 6,000.00
12	Remove/Replace Curb and Gutter - Allowance	LF	250	\$ 50.00	\$ 12,500.00
13	Remove and Replace 9" PCC Patching - Allowance	SY	135	\$ 105.00	\$ 14,175.00
14	Remove and Replace 9" PCC Sewer Patching (IN PCC)	SY	250	\$ 105.00	\$ 26,250.00
15	Remove and Replace 9" PCC Sewer Patching (IN HMA)	SY	500	\$ 115.00	\$ 57,500.00
16	Remove & Replace PCC Drive, 7" Thick	SY	53	\$ 85.00	\$ 4,505.00
17	Granular Subbase, 6" Thick	SY	938	\$ 16.00	\$ 15,008.00
18	Remove Sidewalk	SF	2658	\$ 2.50	\$ 6,645.00
19	4" PCC Sidewalk	SF	2094	\$ 7.00	\$ 14,658.00
20	ADA Sidewalk Ramps	SF	564	\$ 15.00	\$ 8,460.00
21	3" Milling	SY	1400	\$ 4.00	\$ 5,600.00
22	3" HMA Resurfacing, 1/2" Mix	Tons	252	\$ 100.00	\$ 25,200.00
23	Adjustment of Sewer MH, Utility MH or Inlet Casting	EA	5	\$ 1,000.00	\$ 5,000.00
24	Adjustment of Water or Gas Valve Box	EA	1	\$ 400.00	\$ 400.00
25	Pavement Markings, 4" Equivalent, Durable Paint	LF	322	\$ 5.00	\$ 1,610.00
26	Casting Replacement Only	EA	0	\$ 750.00	\$ -
27	Allowance - Trench Backfill IDOT Grad No. 11	Tons	1580	\$ 35.00	\$ 55,282.50
28	Allowance for Stabilizing Material for Trench Foundation	Tons	103.2	\$ 55.00	\$ 5,675.31
	Construction Subtotal				\$425,968.81
	Contingency 20%				\$85,193.76
	Construction Total				\$511,162.58
	Design (10%)				\$42,596.88
	Construction Engineering (5%)				\$21,298.44
	Total Project Cost				\$575,057.90

**DAVENPORT, IOWA
WEST 2ND STREET SEWER IMPROVEMENTS
TAYLOR TO MARQUETTE
ENGINEERING FEE ESTIMATE**

Figure 7

	DESCRIPTION	ESTIMATED COST
1	Topographic Survey	\$ 5,000.00
2	Review Sewer Tapes & Conditions Assessment	\$ 2,500.00
3	Sanitary Pipe Sizing	\$ 4,500.00
4	Preliminary Layout & Coordination	\$ 11,000.00
5	Construction Plans & Specifications	\$ 14,000.00
6	IDNR Permit Documents	\$ 4,000.00
7	Bid Letting and Coordination	\$ 2,000.00
	Subtotal Design & Investigations	\$ 43,000.00
8	Construction Engineering Assistance	\$ 10,500.00
	PROJECT TOTAL	\$ 53,500.00

City of Davenport

Agenda Group: Public Works
Department: Public Works - Engineering
Contact Info: Sandy Doran; (563)326-7756
Wards: All

Action / Date
PW4/18/2018

Subject:

Motion approving change order #5 in the amount of \$56,120.00 to the Sanitary Sewer Equalization Basin–Supplemental Agreement number 2R contract with Veenstra and Kimm, CIP#10564. This change order is required to continue on-site hourly construction inspection, engineering during construction and documentation for the work at the Water Pollution Control Plant Optimization Project. [All Wards]

Recommendation:

Approve the Motion.

Relationship to Goals:

Sustainable Infrastructure

Background:

The intent of the Sewer Equalization Basin Wet Weather Treatment Optimization project improves the operation, performance and secondary treatment flow capacity at the Water Pollution Control Plant and meets the intent of the Iowa DNR consent order.

This work is necessary for inspection for quality assurance and that the plans and specification detail are being followed for work associated with the removal of Allen-Bradley MCC's at the Power Distribution building and the installation of Eaton MCC's as well as associated pump motor installation.

This change order is required to continue on-site hourly construction inspection, engineering during construction and documentation for the work at the Water Pollution Control Plant Optimization project.

ATTACHMENTS:

Type	Description
▣ Backup Material	WPCP OPTIMIZATION PROJECT CO#5

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/11/2018 - 11:40 AM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 9:52 AM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:13 AM



VEENSTRA & KIMM, INC.

1800 5th Avenue • Rock Island, Illinois 61201-8119
309-786-7590 • 309-797-0996 (fax) • 877-241-8010 (WATS)

March 29, 2018

City of Davenport
Attn: Sandy Doran
Engineering Division
1200 E. 46th Street
Davenport, IA 52807

DAVENPORT, IOWA
EQ BASIN/WET WEATHER IMPROVEMENTS – PHASE III
WET WEATHER TREATMENT OPTIMIZATION
CONTRACT AMENDMENT 2R – CHANGE ORDER #5

Attached are two copies of Contract Amendment 2R Change Order #5 regarding the Optimization of the WWTP. Change Order #5 is required to continue on-site hourly construction inspection, engineering during construction and documentation for the work associated with the removal of Allen-Bradley MCC's at the Power Distribution building and the installation of Eaton MCC's (see Change Order No. 33R1 attached) as well as associated pump motor installation.

The project completion date was February 22, 2018. It is believed the contract will not be completed until June 1, 2018. The contract documents specify that liquidated damages from February 22, 2018 until completion are \$2,000 per day. Liquidated damages are typical and utilized to pay additional project costs required by the City.

Once this has been signed, please return one copy to this office. If you have any questions regarding this project, please contact the undersigned at 309-786-7590.

VEENSTRA & KIMM, INC.

Leo F. Foley, P.E.

LFF:gfd
22282
Enclosures



City of Davenport
Public Works Department

1200 East 46th Street • Davenport, Iowa 52807
Telephone: 563-326-7923 Fax: 563-327-5182

CERTIFICATIONS

CITY ENGINEER _____
(Work is Required)

CIP MANAGEMENT ANALYST _____
(Funds are Available)

CHIEF OF CONSTRUCTION _____
(Work is Constructible)

PUBLIC WORKS DIRECTOR _____
(Approval)

CONTRACTOR: Veenstra & Kimm
CONTRACTING COMPANY: Veenstra & Kimm, Inc.
ADDRESS: 1800 5th Avenue
CITY, STATE, AND ZIP CODE: Rock Island, IL 61201-8119

PROJECT TITLE: Sanitary Sewer Equalization Basin – V & K Contract Amendment 2R – Davenport Optimization Project.
CHANGE ORDER #5
CIP # 02166
ORG #
OBJECT #

CHANGE ORDER DESCRIPTION:

1. This change order is required to continue on-site hourly construction inspection, engineering during construction and documentation for the work associated with the removal of Allen-Bradley MCC's at the Power Distribution building and the installation of Eaton MCC's (see Change Order No. 33R1, Attachment 1), as well as associated pump motor installation. Change Order No. 33R1 for Leander Construction, Inc. allowed 27 weeks of additional contract time from August 8, 2017 and compensated the City of Davenport for liquidated damages in the amount of \$120,000. The contractor is further delayed and Veenstra & Kimm, Inc.'s on-site staff has had to spend more hours than estimated to ensure the work was constructed as specified. Originally Veenstra & Kimm, Inc. estimated 240 hours of on-site inspection may be needed. Veenstra & Kimm, Inc. ended up spending 340 hours. Veenstra & Kimm, Inc. believes the contract will be complete by June 1, 2018. Veenstra & Kimm, Inc. estimated full-time inspection will be required based on previous performance. This will add 360 hours for the months of April and May 2018. Attached is a workload breakdown structure showing the additional hours already expended plus the hours required to complete the work. Veenstra & Kimm, Inc. understands the City has a potential to collect liquidated damages of \$2,000 per day from February 22, 2018, until the project is complete. These liquidated damages are typically used to pay for increased City costs.

Costs:

Full-time on-site inspection above CO #4R estimate – 480 hrs. (April/May)	\$38,400.00
Construction engineering	<u>17,720.00</u>
Summary	\$56,120.00

SUMMARY OF CONTRACT AMOUNT:

Original Contract:	\$ 313,309.00
Previous Change Orders	\$ 268,394.00
<u>This Change Order</u>	<u>\$ 56,120.00</u>

(Hourly with Not-to-Exceed - see Attachment 2 for work breakdown)

Amended Contract Amount: \$ 637,823.00

Recommend/Approved: _____
(Up to \$5,000) Project Manager

Date: _____

Recommend/Approved: Laof. Frey
Contractor V+K, Inc.

Date: 3/28/2018

Recommend/Approved: _____
(Up to \$15,000) Nicole Gleason, Public Works Director

Date: _____

Recommend/Approved: _____
(Up to \$25,000) Corrin Spiegel, City Administrator

Date: _____



City of Davenport

Public Works Department

1200 East 46th Street • Davenport, Iowa 52807
Telephone: 563-326-7923 Fax: 563-327-5182

Recommend/Approved: _____ Date: _____
(Up to \$100,000) Chair, Public Works Committee

Required: Green Sheet Motion to Approve Council Meeting Date: _____

Recommend/Approved: _____ Date: _____
(Over \$100,000) City Clerk, City of Davenport

Required: Green Sheet Resolution to Approve Council Meeting Date: _____

August 3, 2017

CHANGE ORDER NO. 33 R1

DAVENPORT, IOWA
WET WEATHER TREATMENT OPTIMIZATION PROJECT
WATER POLLUTION CONTROL PLANT

This change order is requested to remove the Allen Bradley MCC at the Power Distribution Center (PDC) and install a custom Eaton MCC (Freedom Arc Resistant MCC). The new Eaton MCC shall be installed per the attached July 13, 2017 letter proposal and Request for Change No. 15924-009 from Price Industrial Electric, Inc. dated 7/11/2017. This work involved the following:

Contingency <u>Line Item</u>	<u>Description</u>	<u>Unit</u>	<u># Units</u>	<u>Cost/ Unit</u>	<u>Total Cost</u>
1.4.33a	Removal of Allen Bradley MCC and installation/start-up of Eaton MCC (Freedom Arc Resistant MCC)	LS	1	0.00	\$ 0.00
1.4.33b	Deduction from contract for schedule delay (Line Item 1.47)	LS	1	-120,000.00	-120,000.00

Schedule:

1.4.33c Add 29 weeks from 8/2/2017 for installation of Eaton MCC in the PDC, motors installed on pumps at the primary pump station, piping, painting, punch list completion and project 100% complete and closed out.

The schedule is anticipated to be similar to detail below:

- Eaton shop drawing submittal – within 5 weeks
 - Engineer review process – 3 weeks
 - Fabrication and delivery – 11 weeks
 - Installation – 3 weeks
 - Testing and start-up – 1 week
 - Motor replacement/piping/painting/testing – 6 weeks
 - Total schedule time allowance – 29 weeks (203 days)
- 1.4.33d Liquidated damages will begin after 29 weeks unless there is a major event (100-year flood or earthquake-type event). All liquidated damages prior to August 3, 2017 + 203 days or February 22, 2018 will be waived for the time allowance.

TOTAL 1.4-33

-\$120,000.00

This change order also is contingent upon Leander Construction, Inc. providing backup generation for the TBS building until the new Eaton MCCs are operational and power to the TBS is complete.

Leander Construction, Inc. is to provide a foreman at the site at all times during construction to manage the site and subcontractors to ensure completion as well as coordination with the City and construction engineer's review staff.

The total project current cost estimate is bid cost (\$7,343,500) minus \$120,000 = \$7,223,500. This current cost estimate includes \$400,000 worth of contingencies that will be adjusted to actual costs during closeout. Line Item 1.47 will show as \$1,134,300 and NOT the initial value of \$1,254,300.

Finally, Leander Construction, Inc. will extend the project Combined Performance, Payment and Maintenance Bond from 2 years to 4 years for the PDC after completion of the PDC.

Change Order No. 33 R1 decreases the contract price by the amount of \$120,000.00.

LEANDER CONSTRUCTION INC.

DAVENPORT, IOWA

By *Megan Smith* Digitally signed by Megan Smith
Date: 2017.08.07 16:59:47
-05'00'

By *Nicole Wileason*

Title Project Manager

Title Public Works Director

Date 08/07/2017

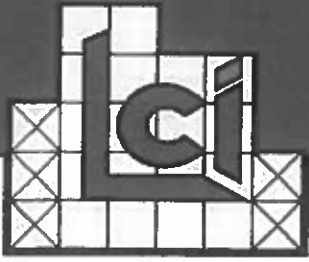
Date Aug 8, 2017

VEENSTRA & KIMM, INC.

By *JFF*

Title Project Engineer

Date 8/3/2017



Commercial • Industrial • Municipal
Educational • Metal Buildings

July 14, 2017

Mr. Leo Foley
Venestra & Kimm, Inc.
1530 46th Ave, Suite B
Moline, IL 61265

RE: Davenport Leander Wet Weather Treatment Optimization - WPCP

Dear Mr. Foley,

This letter is in response to the PDC-MCC Components letter, dated May 1, 2017, sent by Veenstra & Kimm, Inc. to Leander Construction, Inc.

Together with our electrical contractor and Cutler Hammer, we propose to purchase and install the attached custom EATON Freedom Arc Resistant MCC-RS to fit in the PDC between the two existing main incoming feeders to meet both specification 16440-2.03-A.1 for arc flash type MCC and 16440-2.02-1.6, the arc flash reduction maintenance system (ARMS) requirements. We anticipate 4-6 weeks to receive approval drawings, 10-12 weeks before shipment upon approval and release, 3-4 weeks for installation and 1.5-2 days for testing and start-up. Temporary power for the TBS will be provided via diesel generator while MCC replacement takes place. The Raw Pump Station motor replacement will occur after the new MCC is in place.

Alternatively, changes can be made to the MCC-RS currently in place to meet the arc flash reduction maintenance system (ARMS) requirements. The 800A trip units and 400A breakers with trip units would take 3-4 weeks to arrive upon release and 1.5 days to install. The 2000A main breaker trip unit is estimated to be delivered in 12-14 weeks and take 1 day to install. During installation, we should be able to transfer power to minimize shutdowns. We have discussed options to achieve a minimum energy level under this scenario. Since the MCC would not be an arc flash type per specification 16440-2.03-A.1, a credit would be offered to the Owner.

Respectfully,

Megan Smith
Project Manager
Leander Construction, Inc.

LEANDER CONSTRUCTION, INC.

24472 N. County Highway 6 • Canton, IL 61520 • Office: 309.647.7400 • Fax: 309.647.7401



405 N. Troy Rd.
Robins, IA 52328
Phone: (319) 393-6406
Fax: (319) 393-6294

Request For Change

Alternate 1

To: Leander Construction, Inc.
24472 N. County Highway 6
Canton, IL 61520
Project: Davenport WWT Wet Weather Opt

RFC No: 15924-009
Date: 7/11/2017
Description: Cost to remove the AB MCC at the PDC and turn over to CS&I. (Load AB MCC on a trailer at site provided by CS&I). To purchase and install a custom EATON MCC line up. Brand to be a Freedom Arc Resistant MCC. Attached is a layout of the custom MCC to fit between the existing 2 main incoming feeders. The 225 AMP - 480 volt feed to the Pump Station 480V Distribution Panel will have to be completed via a manual transfer switch and positioned on the left side of the MCC line up as we have available space there.

Price Industrial will need roughly 4 weeks with 3 guys or 3 weeks with 4 guys to remove and install new MCC once the EATON MCC arrives on site.

Notes from EATON:

- Price is based on the attached BOM only.
- All breaker buckets are fixed mounted.
- No startup has been included.
- The 225A breakers feeding "Pump Station Panel" do NOT have a kirk key interlock. The Arc Resistant design will not let us install a key on the smaller frame breakers. I have included a 400A double throw disconnect to achieve the customer intent. Contractor will have to install in the building.
- Standard UL 845 testing will be provided. No other non-standard testing is included.
- Eaton selling policy 25-000 applies.

Approval drawings: 4-6 weeks standard.

Shipment after release: 10-12 weeks

The above work is subject to the same conditions as specified in the original contract unless otherwise stipulated.



Powering Business Worldwide

Detail Bill of Material

Page 1 of 2

Project Name: Raw Sewage Pump Station
General Order
No:

Negotiation No: CD160629X7K1
Alternate No: 0002

Item No.	Qty	Product	Description
1		Motor Control Centers	60 Hz, Class 2B-IIS wiring, 480V 3-Phase Service, 65,000 Bracing, Bottom Incoming, NEMA 1 Gasketed 21" Front Mt Only enclosure, 2500A Copper Main Horizontal Bus, No Neutral, Main Breaker. Used X-Space: 127, Blank X-Space: 41, Future X-Space: 0, MCC Lead Time Code: U.
		Designation	MCC-RS
		Qty	List of Materials
	3		RGH Main 1 Bkr (2000A trip), Lugs: 6-#2-600Kcmil
	2		PXM2250
	2		2000A Current transformer
	4		600V Potential transformer
	2		3 Phase Voltage Monitor
	1		HKD Bkr (200A trip)
	4		LGH Bkr (500A trip)
	2		HKD Bkr (225A trip)
	5		RotoTract (Unit Disconnect Mechanism)
	7		Fdr Bkr 120V Shunt Trip
	3		Main Bkr Mechanical Key Interlock
	10		RMS 310+ ALSIG Trip w/ GF
	3		Main Bkr Shunt Trip
	2		Service Entrance Label
	2		10 Kva 1ph, 440-480V / 120-240V Standard Efficiency Xfmr, 50A Pri., 60A Sec. Bkr.
	2		PL1A Panelboard 100A 120/240V 1PH 3W 18 CKT
	36		Pnlbd Bkr, BAB 1 Pole 20A bkr
	3		12 in. blank relay panel
	2		200KA, SPD Standard + Surge Counter Features Package, with Circuit Breaker
	1		6" Door
	2		18" Door
	11		12" Door
	1		Thermostat- for enclosure space heater control
	12		Structure Floor Leveling Channel Sills
	12		65KA Bus Bracing
	12		Labyrinth, Isolated/Insulated vertical bus barrier with shutters
	1		Freedom Arc Resistant MCC List Price Adder
	12		600A Horiz. Cu Gnd Bus, 1/4" x 2" Bar
	12		Sleeve Wrapped Insulated main bus
	12		Bottom Vertical Bus Barrier
	12		Vertical Copper Ground Bus
	12		150 Watt space heater
	12		Tin Plated horizontal bus
	1		Description not available
	1		Description not available
	9		600A Vertical Bus (Tin-plated cu)
	12		Fire Wall Barriers between each section
	2		1200A Vertical Bus (Tin-plated cu)
	1		800A Vertical Bus (Tin-plated cu)
	11		2500A Copper Fmt Mtd 21" NEMA 1 Gasketed
	1		Bus Tie Transition
	2		Key interlocks on the 225A breakers
	3		Arm Switches in the Relay Panels
	7		Branch Feeder breakers 400A frame and up to have Arms switch and blue light
	2		8 inch wide vertical wireway in lieu of 4 inch. Sections 4F, and 11F



Detail Bill of Material

Page 2 of 2

Project Name: Raw Sewage Pump Station
General Order
No:

Negotiation No: CD160629X7K1
Alternate No: 0002

Eaton Selling Policy 25-000 applies.

All orders must be released for manufacture within 90 days of date of order entry. If approval drawings are required, drawings must be returned approved for release within 60 days of mailing. If drawings are not returned accordingly, and/or if shipment is delayed for any reason, the price of the order will increase by 1.0% per month or fraction thereof for the time the shipment is delayed.

MCC General Information

MCC General Information

Wiring Diagram Type Eaton Standard
MCC Quantity
Standards UL845, NEMA, NEC
Special Codes UL
Service Voltage (3 Phase) 480
Frequency 60
System 3PH3W
Witness Testing No

Enclosure Specifications

Total Structures 14
Type NEMA 1 Gasketed
Depth 21" Front Mt Only
Height 90"
Horizontal Wireways 9" High, Top & Bottom
Vertical Wireways 4"
Channel Sills Yes
Bottom Plates None
150 Watt Space Heaters Yes
Space Heater Thermostat 1
Master Terminal Block Location None
IBC/CBC Seismic Qualified No
ABS Certified No

Bus System Specifications

Main Bus Amps 2500
Main Bus Material Copper
Main Bus Bar Plating Tin
Insulated Horiz. Bus Yes
1000A/sq in. Cu Bus No
Vertical Bus Amps See Structure Schedule
Vertical Bus Material Tin Plated Copper
Vertical Bus Barrier Labyrinth, Isolated/
Insulated with shutters
Bus Bracing 65,000
Ground Bus 600
Ground Bus Location Bottom
Ground Bus Lug Size 1-#6-350Kcmil
Ground Bus Lug Type Screw
Plug-in 300A Vert. Gnd. Bus Yes
Neutral None
Horizontal Bus Temperature Rise 65 deg C
Bottom Vert. Bus Barrier Yes
Vertical Ground Bus Yes

Incoming Line Termination

Device: RGH Main 1 Bkr (2000A trip), Lugs: 6-#2-600Kcmil
Cable Entry Bottom
Splice Kit / Transition None
MCC Type Match Up
MCC Type Match Up GO# ** None **

MCC Starter Specifications

Wiring Class 2B+IIS
Control Voltage 120
Control Voltage Src Ind CPT
Nameplate Size 1" X 2.5"
Nameplate Color Black / White Letters
Pilot Dev. Model 10250T
Ind. Light Type 6v Xfmr

Structure Schedule

There are 14 structure(s).
Structure(s) 4, 6 have a 1200 A Vertical Bus.
Structure(s) 1, 10, 11, 12, 13, 14, 2, 3, 7, 8, 9 have a 600 A Vertical Bus.
Structure(s) 5 have a 800 A Vertical Bus.
Total width of all sections is 264"
Height of all sections is 91"

Unit Modifications

RotoTract (Unit Disconnect Mechanism)

The information on this document is created by Eaton Corporation. It is disclosed in confidence and it is only to be used for the purpose in which it is supplied.

PREPARED BY	DATE	Eaton Fayetteville, NC			
TOM LEMPKA	7/11/2017				
APPROVED BY	DATE	JOB NAME	Raw Sewage Pump Station		
		DESIGNATION	MCC-RS		
VERSION	TYPE	DRAWING TYPE			
1.0.0.1	Freedom Arc Resistant MCC	Customer Appr			
NEG-ALT Number	REVISION	DWG SIZE	G.O.	ITEM	SHEET
CD160629X7K1-0002		A			1 of 7

Notes/Special Instructions

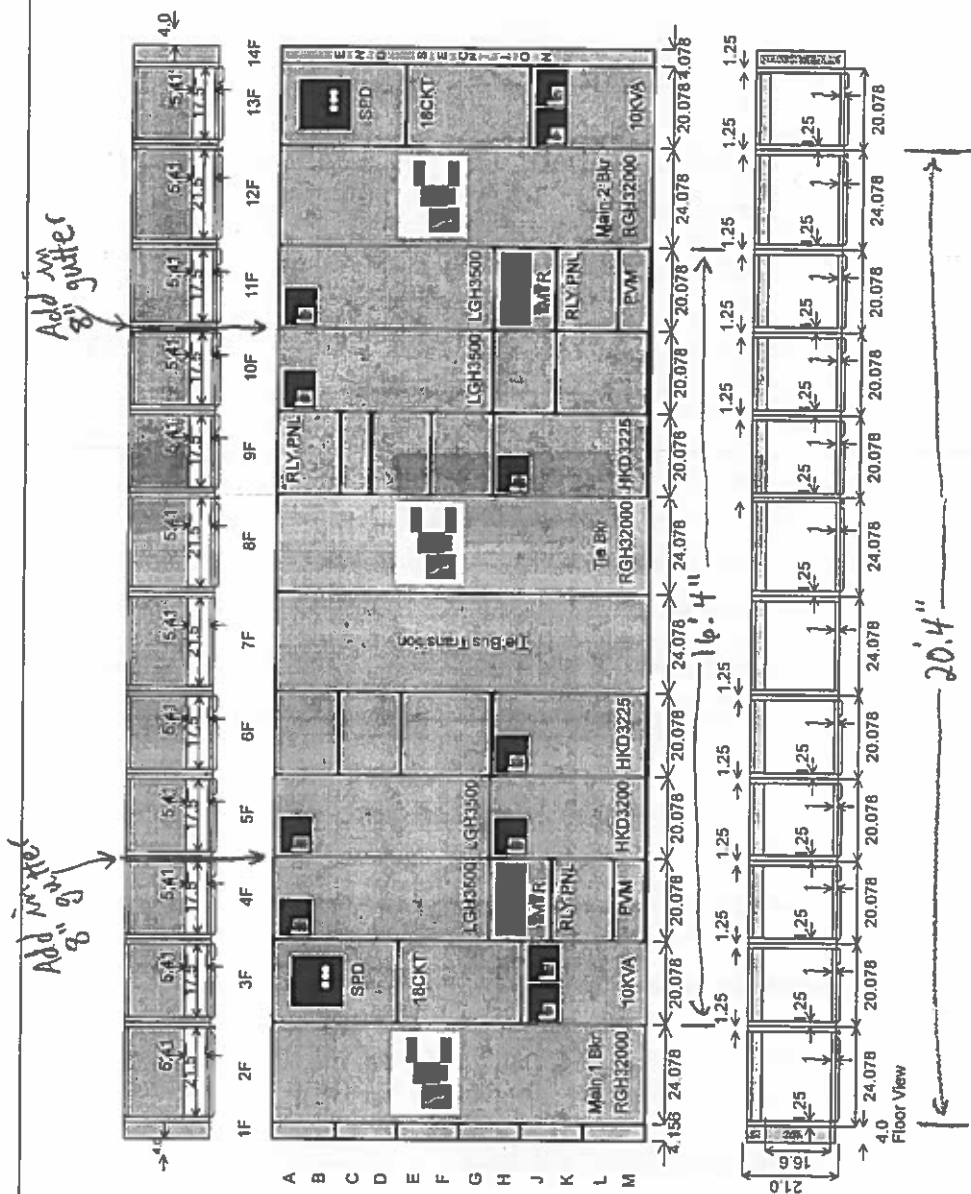
Key interlocks on the 225A breakers

Arm Switches in the Relay Panels

Branch Feeder breakers 400A frame and up to have Arms switch and blue light

8 inch wide vertical wireway in lieu of 4 inch. Sections 4F, and 11F

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	TOM LEMPKA		7/11/2017					
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CD160629X7K1-0002		A			2 of 7			



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Unit	Nameplate	Description	Class	Starter Size HP/FLA Wire Diag.	Bkr/Sw Poles Trip/Clip	Unit Features
1B		12" Door		N		
1D		12" Door		N		
1F		12" Door		N		
1H		12" Door		N		
1K		12" Door		N		
1M		12" Door		N		
2M		RGH Main 1 Bkr (2000A trip), Lugs: 6-#2-600Kcmil		N	RGH 3P 2000	1 Main Bkr Mechanical Key Interlock 1 RMS 310+ ALSIG Trip w/ GF 1 Service Entrance Label 1 Main Bkr Shunt Trip
3D		200KA, SPD Standard + Surge Counter Features Package, with Circuit Breaker		N		1 RotoTract (Unit Disconnect Mechanism)
3H		PL1A Panelboard 100A 120/240V 1PH 3W 18 CKT		N		18 Pnlbd Bkr, BAB 1 Pole 20A bkr
3M		10 Kva 1ph, 440-480V / 120-240V Standard Efficiency Xfmr, 50A Pri., 60A Sec. Bkr.		N		
4G		LGH Bkr (500A trip)		N	LGH 3P 500	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF
4J		PXM2250		N		
4L	Arms Switch	12 in. blank relay panel		N		
4M		3 Phase Voltage Monitor		N		
5G		LGH Bkr (500A trip)		N	LGH 3P 500	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF
5M		HKD Bkr (200A trip)		N	HKD 3P 200	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF 1 RotoTract (Unit Disconnect Mechanism)
6B		12" Door		N		
6D		12" Door		N		
6G		18" Door		N		

The information on this document is created by Eaton Corporation. It is disclosed in confidence and it is only to be used for the purpose in which it is supplied.	PREPARED BY	DATE	Eaton Fayetteville, NC		
	TOM LEMPKA	7/11/2017			
	APPROVED BY	DATE	JOB NAME	Raw Sewage Pump Station	
			DESIGNATION	MCC-RS	
	VERSION		TYPE	DRAWING TYPE	
	1.0.0.1		Freedom Arc Resistant MCC	Customer Appr.	
NEG-ALT Number	REVISION	DWG SIZE	G O	ITEM	SHEET
CD160629X7K1-0002		A			5 of 7

Unit	Nameplate	Description	Class	Starter Size HP/FLA Wire Diag.	Bkr/Sw Poles Trip/Clip	Unit Features
				N		
6M		HKD Bkr (225A trip)			HKD 3P 225	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF 1 RotoTract (Unit Disconnect Mechanism)
				N		
7M		Description not available				
				N		
8M		RGH Main Tie Bkr (2000A trip), Lugs: 6-#2-600Kcmil			RGH 3P 2000	1 Main Bkr Mechanical Key Interlock 1 RMS 310+ ALSIG Trip w/ GF 1 Main Bkr Shunt Trip
9B	Arm Switch	12 in. blank relay panel				
				N		
9C		6" Door				
				N		
9E		12" Door				
				N		
9G		12" Door				
				N		
9M		HKD Bkr (225A trip)			HKD 3P 225	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF 1 RotoTract (Unit Disconnect Mechanism)
				N		
10G		LGH Bkr (500A trip)			LGH 3P 500	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF
				N		
10J		12" Door				
				N		
10M		18" Door				
				N		
11G		LGH Bkr (500A trip)			LGH 3P 500	1 Fdr Bkr 120V Shunt Trip 1 RMS 310+ ALSIG Trip w/ GF
				N		
11J		PXM2250				
				N		
11L	Arms Switch	12 in. blank relay panel				
				N		
11M		3 Phase Voltage Monitor				
				N		
12M		RGH Main 3 Bkr (2000A trip), Lugs: 6-#2-600Kcmil			RGH 3P 2000	1 Main Bkr Mechanical Key Interlock 1 Service Entrance Label 1 RMS 310+ ALSIG Trip w/ GF 1 Main Bkr Shunt Trip
				N		
13D		200KA, SPD Standard + Surge Counter Features Package, with Circuit Breaker				1 RotoTract (Unit Disconnect Mechanism)
				N		

The information on this document is created by Eaton Corporation. It is disclosed in confidence and it is only to be used for the purpose in which it is supplied.	PREPARED BY		DATE	Eaton Fayetteville, NC		
	TOM LEMPKA		7/11/2017			
	APPROVED BY		DATE	JOB NAME Raw Sewage Pump Station		
				DESIGNATION MCC-RS		
	VERSION		TYPE		DRAWING TYPE	
	1.0.0.1		Freedom Arc Resistant MCC		Customer Appr.	
NEG-ALT Number CD160629X7K1-0002	REVISION	DWG SIZE	G.O	ITEM	SHEET	
		A			6 of 7	

TBS - MCC-1

Material needed to change existing Allen Bradley to ARMS Trip Units

- 1 Allen Bradley 140G-G6C3-C50 - 400A Trip Unit LSIGMM -
has been ordered - est delivery 11/7/17 or sooner - install 1 day

PDC - MCC-RS

Material needed to change existing Allen Bradley to ARMS Trip Units

- 4 Allen Bradley 140G-MTK3-D60 - 800A breakers - trip unit only -
delivery 4 wks - install 1.5 days
 - 3 Allen Bradley 2193-DKC-48TKM-79UT - 400 A breakers - new buckets w/ trip -
delivery 4 wks - install 1.5 days
 - 2 Allen Bradley 140G-RTK-E30 Main breaker - trip unit only -
Delivery est. October - install 1 day
- Cannot provide Arc Flash**

DAVENPORT OPTIMIZATION PROJECT
MCC CHANGE ORDER ENGINEERING COSTS
FEBRUARY THROUGH MAY 2018

Attachment 2

Project Manager		
Veenstra & Kimm, Inc.	\$	3,320.00
Engineering during Construction	\$	9,900.00
Shop Drawing Review	\$	-
Test Reports	\$	-
RFIs	\$	-
Engineering Site Visits (2)	\$	3,600.00
PDC, Eaton Replacement		
Startup Support, Controls		
Substantial Completion Site Visits (2)	\$	4,300.00
Closeout Items	\$	2,000.00
Inspection	\$	38,400.00
12 weeks/40 hrs per week		
Mileage/Travel	\$	4,500.00
TOTAL	\$	56,120.00

City of Davenport

Agenda Group: Public Works
Department: Public Works - Admin
Contact Info: Nicole Gleason 327-5150
Wards: 3

Action / Date
PW4/18/2018

Subject:

Motion awarding the contract for the East Side of 200 Block of Brady Street Streetscaping to Emery Construction Group Inc of Moline, IL in the amount of \$56,042. CIP #35022 [Ward 3]

Recommendation:

Approve the Motion.

Relationship to Goals:

Sustainable Infrastructure.

Background:

An Invitation to Bid was issued on March 22, 2018 and sent to contractors. On April 10, 2018, the Purchasing Division opened and read four responsive and responsible bids.

This work includes a bump-out in the 200 block of Brady Street on the east side, along the parking ramp. New decorative lighting will be installed after pavers have been placed.

Funding for this project is from the CIP #35022 Downtown Streetscaping Program. These funds are from Local Option Sales Tax funds.

ATTACHMENTS:

Type	Description
▯ Cover Memo	Bid Tab - East Side of 200 Block of Brady Street Streetscaping

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	4/12/2018 - 1:30 PM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 1:30 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 2:54 PM

CITY OF DAVENPORT, IOWA
TABULATION OF BIDS

DESCRIPTION: EAST SIDE OF 200 BLOCK OF BRADY STREET
STREETSCAPING

BID NUMBER: 18-89

OPENING DATE: APRIL 10, 2018

GL ACCOUNT NUMBER: 70049675 530350 35022

RECOMMENDATION: AWARD THE CONTRACT TO EMERY CONSTRUCTION
GROUP INC OF MOLINE IL

<u>VENDOR NAME</u>	<u>PRICE</u>
Emery Construction Group Inc of Moline IL	\$56,042.00
Estes Construction of Davenport	\$71,205.00
Hawkeye Paving Corporation of Bettendorf IA	\$66,990.00
Langman Construction Inc of Rock Island IL	\$98,343.50

Approved By Kristi Keller 4/10/18
Purchasing

Approved By Nicole Gleason 4/10/18
Department Director

Approved By Brandi Coyle
Budget/CIP

Approved By BN
Finance Director

City of Davenport

Agenda Group: Community Development
Department: Public Works - Engineering
Contact Info: Jen Walker; (563) 326-6168
Wards: 3

Action / Date
CD4/18/2018

Subject:

Motion approving city authorization to assess property owners receiving streetscaping improvements via the 200 Block of Brady St. (East Side) Streetscaping Project, CIP #35022. [Ward 3]

Recommendation:

Pass the Motion.

Relationship to Goals:

Welcoming Neighborhoods

Background:

The 200 Block of Brady St. (East Side) Streetscaping project finishes streetscaping on the east side of Brady St. from 2nd St. to 3rd St. Concrete sidewalk work was also completed last year using Brady St. Resurfacing unit pricing. Downtown Davenport Partnership staff approached the affected property owners last summer prior to the work beginning, and received favorable feedback from all owners. This motion authorizes city staff to assess the costs for concrete streetscape items to each property owner with frontage along this project.

Assessment would be made after the Downtown Davenport Partnership's Streetscape Committee reviews and approves final costs and in accordance with the Downtown Davenport Streetscape Improvement Plan, as established and approved by the City of Davenport and the Downtown Davenport Partnership (Resolution 2017-233).

ATTACHMENTS:

Type	Description
▣ Resolution Letter	Page 2
▣ Backup Material	DDP agreement & program guidelines

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Engineering	Lechvar, Gina	Approved	4/12/2018 - 2:12 PM
Public Works Committee	Lechvar, Gina	Approved	4/12/2018 - 2:12 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 2:55 PM

Resolution No. _____

Resolution offered by Alderman Ambrose

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving City authorization to assess property owners receiving streetscaping improvements via the 200 Block of Brady St. (East Side) Streetscaping project, CIP Project #35022. *[WARD 3]*

WHEREAS, the City of Davenport entered into an agreement with the Downtown Davenport Partnership (Resolution 2017-233), and

WHEREAS, the City has adopted a Downtown Davenport Streetscape Improvement Plan that outlines the treatments and sharing of costs, and

WHEREAS, the City began improvements last summer during the Brady Street Sewer Repair and Resurfacing Project due to favorable bid pricing for sidewalk concrete and the need to complete sewer replacement beneath the curb at this location, and

WHEREAS the Downtown Davenport Partnership approached property owners last summer and the owners were made aware of the forthcoming costs, and

WHEREAS, the City and the Downtown Davenport Partnership seek to complete the streetscaping work this spring, and

WHEREAS, funds have been budgeted for said work, and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the City is authorized to assess property owners in the 200 block of Brady Street (east side) for their share of concrete related to streetscaping improvements, and

BE IT FURTHER RESOLVED, that the Mayor is hereby authorized and directed to sign for and on behalf of the City of Davenport, Iowa.

Passed and Approved this 25th day of April, 2018.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, Deputy City Clerk

City of Davenport

2017-233

Agenda Group:
Department: Finance Committee
Contact Info: Brandon Wright 326-7750
Wards: 3rd Ward

Action / Date
5/17/2017
MAY 24 2017

Subject:

Resolution approving the Downtown Davenport Streetscape Improvement Plan as established and approved by the City of Davenport and the Downtown Davenport Partnership. [Ward 3]

Recommendation:

Approve the resolution

Relationship to Goals:

Sustainable infrastructure

Background:

The City and the Downtown Davenport Partnership (DDP) have a vested interest in improving the continuity and network of public and private investment in downtown Davenport as it relates to sidewalks, street lighting, trees and tree wells, and the placement and ownership of utilities. Both organizations mutually agree that the establishment of a clear and understood Streetscape Improvement Plan relating to these investments will improve the quality of life for downtown Davenport businesses, residents, and visitors and will lead to increased revitalization in the area.

This resolution establishes guidelines for moving forward with streetscape improvements in downtown Davenport within the Downtown Davenport Self-Supported Municipal Improvement District (SSMID) area. These guidelines would allow a Downtown Streetscape Committee to make recommendations to the DDP Board and the City Council for the improvement and/or installation of streetscape features consistent with the Downtown Streetscape Plan. The resolution establishes that costs related to streetlights and right-of-way trees are the responsibility of the City of Davenport, while the costs related to sidewalks and brick systems are the costs of the business owners and the DDP, respectively.

The City of Davenport has a FY 2018 Capital Improvement Project with \$150,000 for this project.

ATTACHMENTS:

Type	Description
□ Resolution Letter	Downtown Davenport Streetscape Plan Resolution

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Wright, Brandon	Approved	5/11/2017 - 6:04 PM
Finance Committee	Wright, Brandon	Approved	5/11/2017 - 6:04 PM
City Clerk	Admin, Default	Approved	5/12/2017 - 1:18 PM

**Resolution Approving the Downtown Davenport Streetscape Improvement Plan
as Established and Approved by
the City of Davenport and the Downtown Davenport Partnership
May 25, 2017**

RESOLUTION offered by Alderman Gordon,

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving the Downtown Davenport Streetscape Improvement Plan as established and approved by the City of Davenport and the Downtown Davenport Partnership.

WHEREAS, the City of Davenport ("City") and the Downtown Davenport Partnership ("DDP") have a vested interest in improving the continuity and network of public and private investment in downtown Davenport as it relates to sidewalks, street lighting, trees and tree wells, and the placement and ownership of utilities (collectively referred to as "Streetscape"); and

WHEREAS, City and DDP mutually agree that the establishment of a clear and understood Streetscape Improvement Plan relating to these investments will improve the quality of life for downtown Davenport businesses, residents, and visitors and will lead to increased revitalization in the area.

NOW, THEREFORE, City and DDP, collectively referred to as "the Parties", agree as follows:

SECTION 1: Establishment of the Downtown Priority Zone & the Streetscape Improvement Plan

1. The defined boundaries of the Downtown Davenport Self-Supported Municipal Improvement District (SSMID) shall be designated as the boundaries of the Downtown Priority Zone.
2. All parcels and properties within the Downtown Priority Zone shall comply with the Downtown Streetscape Improvement Plan ("the Plan") when Streetscape investment is undertaken or required as outlined in Section 3.
3. The Davenport City Council ("City Council") and DDP Board shall review and approve the Plan in the Downtown Priority Zone.

SECTION 2: Changes and Role of the DDP Complete Streets Committee

1. City and DDP shall have representation on the DDP's Complete Streets Committee ("the Committee"). City shall make the following appointments to the Committee:
 - a. City Appointments: City shall have four (4) appointments on the Committee as appointed from time to time. The appointments shall be the Third Ward Alderman, one Alderman as appointed by the Mayor, one voting-member of the Design Review Board as appointed by the Mayor, and City's staff liaison to the Design Review Board.
 - b. DDP Appointments: DDP shall continue to appoint members to the Committee as established in the Committee's charter.

2. The Committee may make recommendations by a majority vote to the DDP Board and City Council to prioritize Streetscape projects consistent with the Plan within the Downtown Priority Zone including initiating such improvements as permitted in Section 3. Committee recommendations shall include the project location; the impacted properties/parcels and property owners; and the estimated costs to City, DDP, and property owners as detailed in Section 5.
3. If the Committee votes to recommend that Streetscape improvements be made, the Committee shall notify all affected property owners on that block face by mail that the Committee recommends the improvements and that the recommendation will be considered and voted upon by the DDP Board and the City Council. The notification shall also provide the anticipated date(s) that the DDP Board and City Council shall consider the recommendation and the process and details by which a property owner may protest the recommendation, as outlined in Section 3.1(b)(i). Such notification shall be mailed by regular and certified means no less than 30 days, including weekends and holidays, prior to any vote by the DDP Board or City Council. However, the DDP Board and City Council may consider the recommendation sooner than 30 days if all of the impacted property owners request in writing to the Committee that the recommendation of the Committee be voted on prior to the 30-day period.

SECTION 3: Determination of Streetscape improvement projects within the Downtown Priority Zone

1. Properties in the Downtown Priority Zone shall comply with the Plan when any of the following conditions is met:
 - a. City, by recommendation of its Community Planning & Economic Development Director, requires the Streetscape improvements as a condition for any City-approved economic development incentive subject to financing terms and arrangements as agreed to between City and the business.
 - b. The DDP Board and City Council both approve motions approving and ordering that Streetscape improvements be completed immediately as determined by the Plan.
 - i. Property owners may protest the Committee's recommendation or order to make Streetscape improvements only upon demonstrating Inability to Pay as described below no less than fourteen (14) days, including weekends and holidays, of the scheduled vote by the DDP Board or City Council. Such protest shall be filed with the Davenport City Clerk.
 1. Inability to Pay – To demonstrate Inability to Pay, the property owner must clearly and convincingly demonstrate that he/she has no means to pay for its portion of Streetscape Improvements by any means or payment plans available under Section 4.4. The Committee reserves the right to request any and all financial records necessary to determine Inability to Pay.
 2. All protests shall be reviewed by the Committee to determine whether or not the property owner has sufficiently demonstrated Inability to Pay. If the Committee finds that the property owner has demonstrated

Inability to Pay, the Committee may make a motion affirming that the property owner has demonstrated the same. If the Committee finds that the property owner has failed to demonstrate Inability to Pay, the Committee shall take no action on the protest other than to provide notice of the protest to the DDP Board and the City Council.

- ii. If the Committee determines and approves a motion finding that the property owner has demonstrated Inability to Pay, the Committee shall withdraw its recommendation for that property to the DDP Board and the City Council. The Committee may not reconsider or recommend that same property for Streetscape improvements for a period of one year from the date of the motion finding the property owner demonstrated Inability to Pay, except that this waiting period shall immediately expire if a new owner takes possession of the property whether by person or with a majority control transferring ownership.

SECTION 4: Streetscape improvement project financing

1. City shall act as fiscal agent for all Streetscape improvement projects. After the Committee has reviewed and approved final costs as outlined in Section 5.3, City shall make payment to vendors for all costs associated with the Streetscape improvements.
2. The Committee shall review all final costs and approve those costs attributable to and due from City, DDP, and property owners consistent with Section 5.1. In the case that sidewalk improvements are made under a single contract to more than one property with different property owners, costs shall be distributed among those property owners as a percentage of total sidewalk improvement costs based on the volume of concrete laid on property belonging to that property owner. In situations where distributing sidewalk improvements costs based on the percentage of concrete volume fails to provide an accurate distribution of costs, as determined by the Committee, the Committee shall utilize other methods to accurately reflect a fair distribution of costs among the property owners. Examples may include improvements that involve additional steps, ramps, or features to the sidewalk that are not consistent across all properties.
3. Amounts due from DDP under Section 5.1(b) shall be due within 30 days of City's invoice date. City may assess a 5% late penalty for all amounts not paid within 60 days.
4. Amounts due from property owners under Section 5.1(c) shall be payable by any of the following methods:
 - a. The property owner may notify the Committee that it intends to pay its full amount upon project completion within sixty (60) days of City's invoice date. City may assess 2% monthly interest charges for all amounts not paid within sixty (60) days.
 - b. If the property owner does not notify the Committee that the amount owed shall be paid according to Section 4.4(a), City shall assess and levy, consistent with the Davenport Municipal Code, the amount owed as approved by the Committee to the associated property for a period of 10 years at 0% interest.

SECTION 5: City, DDP, and property owner costs for Streetscape improvements within the Downtown Priority Zone

1. Consistent with the Plan, City, DDP, and property owners are each responsible for the costs associated with the following Streetscape improvements, which improvements include removal of existing infrastructure:
 - a. City – City shall be responsible for the full cost of street lighting improvements and the cost of purchasing new trees in the right of way. City shall also be responsible for the cost of utilities associated with street lighting if and only when the street lighting is on the public electrical grid (“City Grid”) and not on a privately controlled electrical service.
 - i. During Streetscape improvement projects, City shall make reasonable efforts to transition existing street lighting to the City Grid when necessary. Reasonability includes having the studies, designs, and available funding prior to City converting street lighting to the City Grid.
 - b. DDP – DDP shall be responsible for the full cost of the brick paver system, conduit, and tree well improvements.
 - c. Property owner – The property owner shall be responsible for the full cost of sidewalk improvements including concrete work, building to curb, including ADA compliance fees.
2. Streetscape improvement costs shall be estimated and provided to City, DDP, and property owners prior to work commencing. If the Committee recommends improvements as outlined in Section 3.1(b), estimates shall be obtained by the Committee prior to their vote to recommend the improvements to the DDP Board and City Council.
3. Final costs to become the responsibility of City, DDP, and property owners shall be determined upon project closeout after review and approval by the Committee. The Committee shall notify all impacted property owners in writing of their associated costs.

SECTION 6: Responsibilities of City and DDP for Streetscape improvement projects within the Downtown Priority Zone

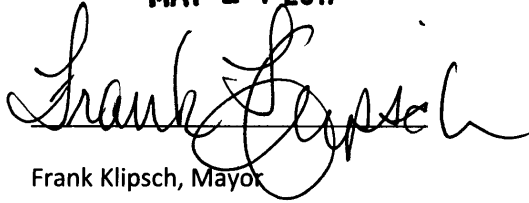
1. City shall have the following responsibilities for all Streetscape improvement projects provided for in Section 3:
 - a. The public procurement process as defined by the Davenport City Code.
 - b. Approval of plans and specifications, form of contract, and public notices as defined by the Davenport City Code.
 - c. Contract agent and signatory for all contracts as well as contract oversight.
 - d. Fiscal agent paying all bills associated with contracts signed by City.
 - e. Assessing amounts owed to impacted properties, per Section 4.2 and Section 4.4(b).
 - f. Continued maintenance of the streetlight system.
2. DDP shall have the following responsibilities for all Streetscape improvement projects provided for in Section 3:
 - a. Daily project management oversight and construction site point of contact for contractors.

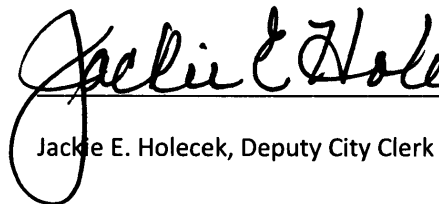
- b. Responding to complaints or concerns from property owners and facilitating discussion and remedies between contractors and property owners to reduce, as practicable, negative impacts to downtown businesses.
- c. Providing notification to impacted businesses and maintaining open communication regarding project timelines.

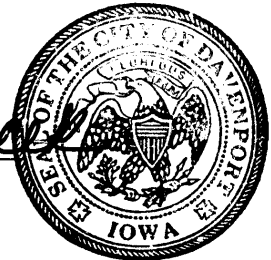
NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the Downtown Davenport Streetscape Improvement Plan as established and approved by the City of Davenport and the Downtown Davenport Partnership is hereby adopted.

Approved: **MAY 24 2017**

Attest:


Frank Klipsch, Mayor


Jackie E. Holecek, Deputy City Clerk



City of Davenport

Agenda Group: Finance
Department: Finance
Contact Info: Brandon Wright 326-7750
Wards: All

Action / Date
FIN4/18/2018

Subject:
Resolution setting a public hearing for amending the FY 2018 Operating and Capital Improvement Budgets. [All Wards]

Recommendation:
Adopt the resolution setting a public hearing for Wednesday, May 16, 2018 at 5:30 p.m.

Relationship to Goals:
Fiscal Vitality
High Performing Government

Background:
This resolution sets the public hearing for the purpose of amending the FY 2018 operating and capital budgets.

The operating budget is amended to incorporate new programs, budget changes to revenue estimates, budget grant funding, transfer funds between programs, and adopt full-time personnel adjustments.

The capital budget is amended to close out completed projects, adjust grant funding levels, and move unspent bonded financing sources forward to the current year.

This resolution formally sets the public hearing for Wednesday, May 16, 2018 at 5:30 p.m. Specific amendment information will be provided with the agenda item appearing on that Council cycle.

ATTACHMENTS:

Type	Description
□ Resolution Letter	Resolution setting PH for budgmt amndmt

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Watson-Arnould, Kathe	Approved	4/10/2018 - 5:23 PM
Finance Committee	Watson-Arnould, Kathe	Approved	4/10/2018 - 5:23 PM
City Clerk	Thorndike, Tiffany	Approved	4/11/2018 - 12:05 PM

Resolution No. _____

Resolution offered by Alderman Tompkins:

RESOLVED by the City Council of the City of Davenport.

RESOLUTION setting a public hearing for amending the FY 2018 Operating and Capital Improvement Budgets.

WHEREAS, amending the Operating Budget is necessary to incorporate new programs, budget changes to revenue estimates, budget grant funding, transfer funds between programs, and adopt full-time personnel adjustments; and

WHEREAS, amending the Capital Budget is necessary to close out completed projects, adjust grant funding levels, and move unspent bonded financing sources forward to the current year; and

WHEREAS, a public hearing is necessary prior to the amendment of the Operating and Capital Improvement Budgets;

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that a public hearing to amend the FY 2018 Operating and Capital Improvement Budgets is set for Wednesday, May 16, 2018 at 5:30 p.m.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, City Clerk

City of Davenport

Agenda Group: Finance
Department: Finance
Contact Info: Brandon Wright 326-7750
Wards: All

Action / Date
FIN4/18/2018

Subject:
Resolution authorizing early redemption of certain maturities of General Obligation Bonds, Series 2010A, Series 2010B, and Series 2010C. [All Wards]

Recommendation:
Adopt the resolution.

Relationship to Goals:
Fiscal Vitality

Background:
The Series 2018A and Series 2018B General Obligation Bonds which were sold on March 14, 2018 included refunding of Series 2010 bonds. The City's bond counsel, Robert Josten of Dorsey & Whitney LLP, prepared the necessary ordinances for the issuance of the bonds, however, Mr. Josten neglected to include language in the bond issuance ordinances to authorize the early redemption of the three bond series. This resolution contains the necessary authorization language.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	2018 Early Redemption Resolution

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Watson-Arnould, Kathe	Approved	4/11/2018 - 4:25 PM
Finance Committee	Watson-Arnould, Kathe	Approved	4/11/2018 - 4:25 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 10:11 AM

RESOLUTION NO. _____

Authorizing early redemption of certain maturities of General Obligation Bonds, Series 2010A, Series 2010B and Series 2010C

WHEREAS, the City of Davenport, in Scott County, Iowa (the “City”), in the performance of its corporate functions as prescribed by the laws of the State of Iowa and the Charter of the City, has previously issued its General Obligation Corporate Bonds, Taxable Series 2010A (the “Series 2010A Bonds”), and, in the ordinance authorizing the issuance of the Series 2010A Bonds, the City reserved the right to call for early redemption as of June 1, 2018, the maturities of the Series 2010A Bonds coming due after June 1, 2018 (the “Callable Series 2010A Bonds”); and

WHEREAS, the City, in the performance of its corporate functions as prescribed by the laws of the State of Iowa and the Charter of the City, also has previously issued its General Obligation Refunding Bonds, Series 2010B (the “Series 2010B Bonds”), and, in the ordinance authorizing the issuance of the Series 2010B Bonds, the City reserved the right to call for early redemption as of June 1, 2018, the maturities of the Series 2010B Bonds coming due after June 1, 2018 (the “Callable Series 2010B Bonds”); and

WHEREAS, the City, in the performance of its corporate functions as prescribed by the laws of the State of Iowa and the Charter of the City, also has previously issued its Taxable General Obligation Refunding Bonds, Series 2010C (the “Series 2010C Bonds”), and, in the ordinance authorizing the issuance of the Series 2010C Bonds, the City reserved the right to call for early redemption as of June 1, 2018, the maturities of the Series 2010C Bonds coming due after June 1, 2018 (the “Callable Series 2010C Bonds”); and

WHEREAS, the City has issued its General Obligation Corporate and Refunding Bonds, Series 2018A and its Taxable General Obligation Corporate and Refunding Bonds, Series 2018B, some of the proceeds of which will be used to pay the costs of refunding the Callable Series 2010A Bonds, the Callable Series 2010B Bonds and the Callable Series 2010C Bonds; and

WHEREAS, it is necessary for the City Council to authorize the early redemption of these Callable Bonds as of June 1, 2018 and to direct the notification of the holders of such bonds;

NOW, THEREFORE, Be It Resolved by the City Council of the City of Davenport, Iowa, as follows:

Section 1. The Callable Series 2010A Bonds, the Callable Series 2010B Bonds and the Callable Series 2010C Bonds are hereby called for redemption as of June 1, 2018 (the “Redemption Date”), and the CFO/Assistant City Administrator is hereby authorized and directed to take all action necessary to call the Callable Series 2010A Bonds, the Callable Series 2010B Bonds and the Callable Series 2010C Bonds for redemption as of the Redemption Date,

including giving notice of such redemption to each of the registered owners of any of such Callable Bonds to be redeemed, at the addresses shown in the City's registration records, not less than 30 days prior to the Redemption Date.

Section 2. All resolutions or parts thereof in conflict herewith are hereby repealed to the extent of such conflict.

Passed and approved April 25, 2018.

Mayor

Attest:

Deputy City Clerk

STATE OF IOWA
COUNTY OF SCOTT
CITY OF DAVENPORT

SS:

I, the undersigned, Deputy City Clerk of the City of Davenport, Iowa, do hereby certify that as such Deputy City Clerk I have in my possession or have access to the complete corporate records of the City and of its Council and officers and that I have carefully compared the transcript hereto attached with those corporate records and that the transcript hereto attached is a true, correct and complete copy of all the corporate records in relation to the adoption of a resolution authorizing the early redemption of certain outstanding bonds and that the transcript hereto attached contains a true, correct and complete copy of that resolution.

WITNESS MY HAND this _____ day of _____, 2018.

Deputy City Clerk

City of Davenport

Agenda Group: Finance
Department: Administration
Contact Info: Bruce Berger x7769
Wards: All

Action / Date
FIN4/4/2018

Subject:

Resolution directing the City Administrator to submit payment to Quad Cities First in the amount of \$122,000 for the provision of regional economic development services for the 2018 fiscal year.
[All Wards]

Recommendation:

Adopt the Resolution.

Relationship to Goals:

Vibrant Region

Background:

During the fiscal year 2018 budget planning process, staff recommended beginning to transition to a professional services agreement structure with key regional service providers including Quad Cities First. During the budget process, there was a commitment to bring a professional services agreement before the Council prior to releasing payment.

Supporting materials from Quad Cities First are attached.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	Resolution - Quad Cities First Funding
▣ Backup Material	QCF Supplemental Materials

REVIEWERS:

Department	Reviewer	Action	Date
Administration	Admin, Default	Approved	3/28/2018 - 1:15 PM
Finance Committee	Admin, Default	Approved	3/28/2018 - 1:17 PM
City Clerk	Admin, Default	Approved	3/28/2018 - 1:19 PM

Resolution No. _____

Resolution offered by Alderman Tompkins.

RESOLVED by the City Council of the City of Davenport.

RESOLUTION directing the City Administrator to submit payment to Quad Cities First in the amount of \$122,000 for the provision of regional economic development services for the 2018 fiscal year.

WHEREAS, Quad Cities First, a public-private partnership, has been and will continue to provide regional economic development and related services for the greater Quad Cities region; and

WHEREAS, the Cities of Davenport, Bettendorf, Rock Island, Moline, and East Moline along with Scott County have agreed to jointly fund Quad Cities First;

NOW THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Davenport, Iowa, that:

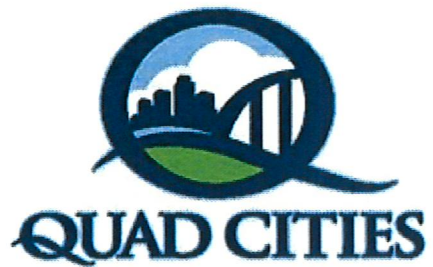
1. the City Council agrees to provide funding to Quad Cities First in the amount of \$122,000 for FY2018.

Attest:

Approved:

Jackie E. Holecek, CMC
Deputy City Clerk

Frank Klipsch
Mayor



Corri Spiegel, City Administrator
City of Davenport
226 West Fourth Street
Davenport, Iowa 52801

Dear Corri:

As you requested, attached is a one year agreement that outlines the services provided to the City of Davenport by the Quad Cities Chamber of Commerce for FY18 (July 1, 2017-June 30, 2018). You also requested a status update on the Economic Development Services Agreement process for FY19. The following is offered as background related to the Quad Cities First Board's desire to oversee all three core functions of economic development and how that led up to development of a services agreement.

The Quad Cities First Board of Directors began formal discussions on the potential of combining all three economic development functions under one Quad Cities First budget in late 2016. When Quad Cities First was created, it was designed to oversee only the regional business attraction and marketing services provided by the Chamber on behalf of the Quad Cities region while business retention, expansion and creation/innovation activities provided by Chamber staff were overseen by the Chamber Board. Today, we know that successful economic development takes a more comprehensive approach that includes business attraction with business expansion/retention activities.

The first step in discussing oversight of all parts of economic development was for the Quad Cities First Board to review work plans of the three work areas to get a better understanding of their budgets and the work performed by Chamber staff.

After the review of the budgets and activities, the Quad Cities First board felt it made sense to combine the three functions under one economic development budget and work plan. But, before moving forward with a formal recommendation to bring all three functions under Quad Cities First, there was a desire to identify a long term public funding strategy. Currently, there are not clear formulas related to funding for different geographies such as urban core cities vs. outlining areas nor are there clear distinctions between different levels of services. The Board and Chamber staff agreed a funding plan would provide a consistent formula for financial investment and a long term funding mechanism would provide stability for the public/private partnership.

Thus, we are now poised to develop an economic development services agreement that outlines the core economic development services that will be provided by the Chamber and the funding plan to support those services.

The draft Economic Development Services Agreement consists of three components:

- Scope of services that will be provided by Quad Cities Chamber staff;
- A funding plan that outlines the terms for services and payment;
- The roles and responsibilities of the various players who provide economic development services toward our shared goals of regional economic growth.

Additionally, the Quad Cities First Board commissioned the assistance of Atlas Marketing to help develop a strategic marketing plan and budget that can help create vision of higher level economic development services. That plan is currently being reviewed by the Quad Cities First Board.

Moving forward, the goal is to have the economic development services agreement for FY19 completed by July 1st. The steps to develop and adopt the economic development services agreement are as follows:

- Public sector administrators determine a public funding model formula which will be incorporated into the Economic Development Services Agreement – March 20, 2018.
- Quad Cities First board reviews draft of the Economic Development Services Agreement (scope, funding plan, roles and responsibilities) and proposed FY19 Work-plan and Budget- April 5, 2018.
- Quad Cities First Board approves the Economic Development Services Agreement and FY19 Work-plan and Budget - May 3rd.
- Local governments review and approve Economic Development Services agreement - May through June 2018.
- Chamber Board adopts Quad Cities First work plan and budget as part of Chamber FY '19 work plan and budget – June 28, 2018.
- Economic Development Services Agreement Effective Date – July 1, 2018.

We anticipate the Economic Development Services Agreement's adoption by the City of Davenport in June, with an effective date of the agreement July 1, 2018.

Thank you for your continued support and leadership in this initiative. Please feel free to contact me with any questions or if you need further detail.

Sincerely,



Liz Murray Tallman
Chief Economic Development Officer



City of Davenport FY18 Funding Agreement

(July 1, 2017-June 30, 2018)

Background

In September 2009, the Illinois Quad City Chamber and Iowa Quad Cities Chamber assumed responsibility for business attraction on behalf of the bi-state region, a function previously performed by the Quad City Development Group. The two state-based Chambers of Commerce agreed to co-manage a new public-private partnership called Quad Cities First to focus exclusively on marketing and selling the Quad Cities region to outside site consultants and decision-makers in companies looking to locate or expand. When the two Chambers merged a year later - in September 2010 - the new Quad Cities Chamber reaffirmed its commitment to undertake regional business attraction and marketing through Quad Cities First and continue business retention, expansion, innovation, and entrepreneurship work as functions of the Chamber. All staff and work is overseen and managed by the Quad Cities Chamber.

The economic development budget and work plan is approved annually by the Quad Cities Chamber board of directors and the Quad Cities First board of directors. The Quad Cities First board of directors is comprised of 17 public/private sector leaders, which includes the city administrator or chief elected official from Bettendorf, Davenport, Scott County, East Moline, Moline, Rock Island, and Rock Island County. Davenport's City Administrator Corri Spiegel currently serves on the board of directors. Since 2009, Craig Malin, Bill Gluba, and Pam Miner also served on the board of directors.

Investment

The funding model for the Quad Cities First regional economic development efforts is based on a minimum 2:1 (private to public) funding ratio. Communities reaffirm their commitment by approving the budget annually. In FY 2012, 2013, 2014, 2015, 2016 and 2017, the City of Davenport invested \$100,000 in business attraction & marketing through Quad Cities First and between \$40,000-\$50,000 in business expansion/ retention and related work through the Quad Cities Chamber. In FY18, the City of Davenport invested \$122,000 in business attraction and marketing through Quad Cities First and opted not to fund business retention, expansion and business creation.

FY 2018 Funding Outline

The City of Davenport's commitment for FY 2018 is \$122,000 to support business attraction and regional marketing as a partner in Quad Cities First. The City of Davenport has elected not to support other facets of regional economic development – business creation/innovation, business retention/expansion in Fiscal Year (FY) 2017-2018. However, services for existing and potential new companies such as “Business Connection” meetings, continues to be provided by Chamber staff.

Business Attraction / External Marketing Services (Quad Cities First)

- 1) Strategic marketing** of the Quad Cities region to gain the attention of target companies, industries, site selectors or other opportunities.
 - Market the Quad Cities as a location of choice for target industries;
 - Maintain a state of the art website. Continue digital marketing and enhancements to the website to increase digital online marketing capabilities.
 - Market available buildings and sites in Davenport and the Quad Cities region that suit target industry clusters.
 - Produce maps of individual core properties, highlighting boundaries, infrastructure, and possible special incentives.
 - Develop target industry collateral.
 - Distribute key updates, stories, and news with site consultants to keep the Quad Cities top of mind and position the Quad Cities as a thriving region.
- 2) Lead generation -- outreach to site selectors** and decision makers in companies outside the QC market, with a focus on developing relationships with those active in target industries that are likely to grow, expand, or have relationships with the Quad Cities region.
 - Serve as the regional point of contact for businesses hoping to locate or expand in the Quad Cities region. Respond to requests for proposals from prospective companies.
 - Lead generation outreach to local businesses to identify potential supply chain business attraction and local growth opportunities.
 - Ensure web presence for online lead prospecting.
 - Attend select trade shows, conferences and other events to identify targeted prospects.
 - Conduct outreach calls / visits with targeted companies, industry headquarters and site consultants outside the market.
 - Participate with State of Iowa in strategic out-of-market sales trips.
 - Host special events, such as the John Deere Classic, to bring site consultants and decision-makers to the community to become familiar with Quad Cities sites, amenities and existing companies.
- 3) Research - data collection & inventory assessment**
 - Ensure availability of consistent, accurate and complete information on buildings and parcels for viewing by prospects on Location One Information System (LOIS) .
 - With cities and counties taking the lead on product development, work to ensure availability of adequate sites, buildings and infrastructure that match the requirements of prospects, targeted industries and existing companies.
 - Conduct Laborshed / workforce assessment studies as a resource to assist employers in planning, training and recruitment.
 - Support site certification & inventory development.
 - Support market research and economic analysis through management of databases (Economic Impact Model, MetroComp, Synchronist, Supply Chain Mapping, BIG)
- 4) Prospect / project management**
 - Host prospect site visits in the Quad Cities region.
 - Cultivate an inventory strategy to ensure market ready sites and buildings are available.
 - Manage the project from start to finish, by working with local, regional and state economic development partners, to ensure the deal is successfully completed.

City of Davenport

Agenda Group:
Department: Administration
Contact Info: Mallory Merritt (326-7792)
Wards: All

Action / Date
4/18/2018

Subject:
Resolution adopting established mobile food unit zone locations, hours of operations, and associated fees. [All Wards]

Recommendation:
Approve the resolution.

Relationship to Goals:
Welcoming Neighborhoods & High-Performing Government

Background:
In 2017, the City Council adopted a mobile food vending ordinance that allows for mobile food units to operate in the City's right-of-way. The ordinance requires that locations of operational zones, hours of operations, and all associated fees be set by resolution. During the 2017 season, the two public operating zones were located on the riverfront and in the parking lanes surrounding Bechtel Park on East 2nd Street.

Due to riverfront construction during the 2018 operating season, staff proposes to relocate the downtown daytime zone to the perimeter parking lanes of K-square and maintaining the evening location as the perimeter parking lanes of Bechtel Park. However, construction on K-Square will begin in late August. Weather dependent, staff will propose another downtown zone should construction need to begin sooner.

It is further proposed that the public permit fee be amended from \$550 to \$225 due to ongoing location alterations for the 2018 season only.

ATTACHMENTS:

Type	Description
▣ Resolution Letter	Formal Resolution Letter
▣ Backup Material	2018 Public Operating/Vending Zones
▣ Backup Material	2018 Fee Schedule

REVIEWERS:

Department	Reviewer	Action	Date
Administration	Admin, Default	Approved	4/12/2018 - 3:03 PM

Resolution No. _____

Resolution offered by Alderman Tompkins:

RESOLVED by the City Council of the City of Davenport.

RESOLUTION adopting established mobile food unit zone locations, hours of operations, and associated fees.

WHEREAS, the City Council adopted a mobile food unit ordinance allowing mobile food unit vendors to operate in designated zones; and

WHEREAS, the City Council adopted a mobile food unit ordinance allowing mobile food unit vendors to operate in designated zones during specified and approved hours of operations; and

WHEREAS, cost recovery is necessary for the issuance of all related license and permit fees; and

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport that the two mobile food unit zones be established in the aforesaid locations with the aforesaid hours of operations; and

BE IT FURTHER RESOLVED that the aforesaid Mobile Food Unit License and Permit Fee Schedule be adopted.

Approved:

Attest:

Frank Klipsch, Mayor

Jackie E. Holecek, MMC, City Clerk

City of Davenport
Mobile Food Unit Zones & Hours of Operations
Effective May 1, 2018

1. Mobile Food Unit Zones:
 - a. Downtown / K-Square
 - i. South-side parking lane of East 3rd Street at K-Square
 - b. East 2nd Street / Iowa Street
 - i. Parking lane of East 2nd Street east of Iowa Street and the east parking lane on Iowa Street south of East 2nd Street
2. Hours of Operations:

Location	Monday	Tuesday	Wednesday	Thursday
K-Square	6 am – 4 pm	6 am – 4 pm	6 am – 4 pm	6 am – 4 pm
East 2 nd Street / Iowa Street	3 pm – 11 pm	3 pm – 11 pm	3 pm – 11 pm	3 pm – 11 pm
City Parks	Park Director's Discretion			

City of Davenport
Mobile Food Unit Fee Schedule
Effective May 1, 2018

1. Annual Mobile Food Vendor License - \$55.00
2. Annual Mobile Food Vendor Permit - \$225.00
 - Required for all mobile food units utilizing any City right-of-way space including zones, Parks, and special occurrences (not related to festivals).
2. Special Occurrence Permit - \$100.00
 - Required to be obtained by the premise requesting the special occurrence permit

City of Davenport

Agenda Group: Finance
Department: Finance
Contact Info: Nicole Gleason 327-5150
Wards: All

Action / Date
FIN4/18/2018

Subject:
Resolution awarding a contract to rehabilitate four CitiBus buses to Midwest Bus Corporation of Owosso, MI at the not-to-exceed amount of \$560,000.00. [All Wards]

Recommendation:
Pass the Resolution.

Relationship to Goals:
Vibrant Region

Background:
A Request for Proposals was issued on March 6, 2018 and was sent to 95 vendors. On March 27, 2018 the Purchasing Division received and opened one responsive and responsible proposal.

The intent of this project is to rehab four existing CitiBus buses that will then be used for shuttle service during the construction of the new I-74 Bridge. The FTA and Iowa DOT are providing 100% funding for this project so there are no local funds required.

The not-to-exceed contract will allow Midwest Bus to complete the work on the four buses in time for the need of the shuttle services. It is not anticipated that the contract will cost the full grant amount.

Funding is from a FTA and Iowa DOT grant.

ATTACHMENTS:

Type	Description
□ Resolution Letter	Resolution Letter

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Watson-Arnould, Kathe	Approved	4/12/2018 - 12:31 PM
Finance Committee	Watson-Arnould, Kathe	Approved	4/12/2018 - 12:31 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 12:40 PM

Resolution No. _____

Resolution offered by Alderman Keri Tompkins

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving the contract to rehabilitate four CitiBus buses from Midwest Bus Corporation of Owosso, MI at the not-to-exceed amount of \$560,000.00.

WHEREAS, the City needs to rehabilitate four CitiBus buses; and

WHEREAS, the applicable purchasing process was followed resulting in a recommendation to award to Midwest Bus Corporation;

NOW THEREFORE, IT IS HEREBY RESOLVED by the City Council of the City of Davenport, Iowa, that:

1. the rehabilitation of four CitiBus buses from Midwest Bus Corporation is hereby approved.

Attest:

Approved:

Jackie E. Holecek, CMC
Deputy City Clerk

Frank Klipsch
Mayor

City of Davenport

Agenda Group: Finance
Department: Finance
Contact Info: Christina Mondanaro-Murphy 326-6143
Wards: All

Action / Date
FIN4/18/2018

Subject:
Motion approving the collective bargaining agreement for Teamsters Local Union #238 [All Wards]

Recommendation:
Approve the motion.

Relationship to Goals:
Fiscal Vitality

Background:
The City and the Teamsters Union have successfully agreed to a three-year contract.

The union has voluntarily agreed to general wage increases of 2.0% on July 1, 2018; 1.0% on July 1, 2019; and 1.0% on July 1, 2020.

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Watson-Arnould, Kathe	Approved	4/12/2018 - 12:37 PM
Finance Committee	Watson-Arnould, Kathe	Approved	4/12/2018 - 12:38 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 12:39 PM

City of Davenport

Agenda Group: Finance
Department: Public Works - Admin
Contact Info: Mike Atchley 563-327-5149
Wards: 5

Action / Date
FIN4/4/2018

Subject:

Motion amending the 2016 lease agreement which was an amendment to the 2007 lease agreement with Davenport Family Homes dba Family Resources at the Annie Wittenmyer Complex. [Ward 5]

Recommendation:

Approve the motion

Relationship to Goals:

Well Protected Community

Background:

To be proactive with budget reductions, Family Resources is requesting to make the following changes to their existing lease agreement for space at the Annie Wittenmyer Complex:

Effective May 1, 2018, Family Resources be released from responsibilities established in the lease agreement dated 13 December, 2016, except as follows:

- Family Resources will continue its interest in what is described in that lease as the 'lower kitchen' which houses the Family Resources Donation Center.
- To accommodate the exigencies of relocation, Family Resources' occupancy and rental obligation for the Administration Building First Floor (\$725.40 per month), Annex/Kitchen (\$369.23 per month), and Cafeteria (\$783.75 per month) will convert to a month to month basis effective May 1, 2018; until such time as these areas are vacated.
- Family Resources will continue its interest in what is described in that lease as the 'lower kitchen' (\$120.00 per month) which houses the Family Resources Donation Center.
- Family Resources will continue its responsibility relating to landscape and snow removal.
- All fixtures and capital improvements made to the premises to be relinquished will be retained by the city.

Family Resources (F.K.A. Davenport Family Homes, Inc.) entered into a lease agreement with the City of Davenport in 2007 and was amended in 2013 and 2016.

ATTACHMENTS:

Type	Description
□ Cover Memo	Amended Lease Agreement

REVIEWERS:

Department	Reviewer	Action	Date
Public Works - Admin	Lechvar, Gina	Approved	3/29/2018 - 10:55 AM
Public Works Committee	Lechvar, Gina	Approved	3/29/2018 - 10:55 AM

City Clerk

Admin, Default

Approved

3/29/2018 - 12:18 PM

AMENDMENT TO LEASE AGREEMENT

THIS AMENDMENT TO LEASE AGREEMENT is made and entered into this _____ day of _____, 2018, by and between THE CITY OF DAVENPORT, IOWA, and FAMILY RESOURCES.

WITNESSETH

WHEREAS, City and Davenport Family Homes, Ltd. dba Family Resources, entered into an amended Lease Agreement dated December 13th, 2016;

WHEREAS, Present funding reductions as a result of the Iowa budget, requires Family Resources to take proactive action to avoid a deficit significant enough to impede their ability to continue to fulfill their mission at the level the community deserves;

NOW, THEREFORE, in consideration of the premises and the mutual covenants contained herein, the City and Family Resources, agree as follows:

1. Effective May 1, 2018, Family Resources will be released from responsibilities established in the amended lease agreement dated 13 December, 2016, except as follows:

In order to accommodate the exigencies of relocation Family Resources' occupancy and rental obligation for the Administration Building First Floor (\$725.40 per month), Annex/Kitchen (\$369.23 per month), and Cafeteria (\$783.75 per month) will convert to a month to month basis effective May 1, 2018. Until such time as these areas are vacated.

Family Resources will continue its interest in what is described in that lease as the 'lower kitchen' (\$120.00 per month) which houses the Family Resources Donation Center.

All fixtures and capital improvements made to the premises to be relinquished will be retained by the city.

Family Resources will continue its responsibility relating to landscape and snow removal.

\$1,100 per month for the South Campus is a separate lease agreement which remains the same and is not affected by this amendment.

2. This Amendment only affects the “Basic Rental” due each month and all other terms of the 2007 Lease Agreement Amended shall remain in full force and effect in all other respects.

IN WITNESS WHEREOF, the Parties hereto have executed this Amendment to Lease Agreement the day and year first above written.

CITY OF DAVENPORT

BY: _____
Frank Klipsch, Mayor

Attest: _____
Jackie E. Holecek, Deputy City Clerk

FAMILY RESOURCES

By: _____
Mary Macumber Schmidt, President

Attest: _____

Print Name: _____

City of Davenport

Agenda Group: Finance

Department: Finance

Contact Info: Kristi Keller 888-2077

Wards: All

Action / Date

FIN4/18/2018

Subject:

1. Scott County Auditor - 2017 primary election - Amount: \$10,803
2. Scott County Auditor - 2017 general election - Amount: \$42,478
3. CDW Government, Inc. - Adobe Acrobat license upgrade - Amount: \$10,820
4. Keltek, Inc. - Gamber parts for PD (mounts for squad cars) - Amount: \$11,021
5. Insight Public Sector, Inc. - Pure storage network - Amount; \$18,699
6. Moody's Investors Service - 2018 bond rating - Amount: \$32,000

REVIEWERS:

Department	Reviewer	Action	Date
Finance	Watson-Arnould, Kathe	Approved	4/12/2018 - 3:23 PM
Finance Committee	Watson-Arnould, Kathe	Approved	4/12/2018 - 3:23 PM
City Clerk	Admin, Default	Approved	4/12/2018 - 3:52 PM