

# HISTORIC PRESERVATION COMMISSION MEETING

## CITY OF DAVENPORT, IOWA

TUESDAY, NOVEMBER 13, 2018; 5:00 PM

CITY COUNCIL CHAMBERS 226 WEST 4TH STREET DAVENPORT, IOWA 52801

### I. Call to Order

### II. Secretary's Report

- A. Consideration of the October 9, 2018 regular meeting minutes.

### III. Communications

### IV. Old Business

- A. Case DNRHP18-01: Demolish outbuilding at 1009 College Avenue. The Walker Adams House is individually listed on the National Register of Historic Places. Bill Hammes, petitioner. [Ward 5]

**This item was tabled from the 10-13-2018 meeting.**

- B. Case LL18-01: Nomination of the Davenport Public Library at 321 Main Street for designation as a Local Historic Landmark. Amy Groskopf with Davenport Public Library, petitioner. [Ward 3]

**This item was tabled from the 10-13-2018 meeting.**

### V. New Business

- A. Case COA18-11: Request of Dianna Walter to replace the front stairs at 614 West 5th Street. The Henry C. (Jr.) and Johanna (Wessel) Struck House (#1) is located in the Local Historic Hamburg District.
- B. Case COA18-12: Request of Eyreka Barnes to replace decks at 528 West 6th Street. The Petersen-Schricker House is located in the Local Historic Hamburg District.
- C. Case COA18-13: Certificate of Appropriateness for 513 Scott Street (Porch and railing repairs and replacement) Sandy Dimmer, Humility Homes and Services, Inc. petitioner. [Ward 3]

### VI. Other Business

### VII. Open Forum for Comment

### VIII. Adjourn

### IX. Next Commission Meeting: 12/11/2018

City of Davenport  
Historic Preservation Commission

Department: Community Planning and Economic Development  
Department  
Contact Info: Ryan Rusnak 563-888-2022  
rrusnak@ci.davenport.ia.us

**Date**  
**10/26/2018**

Subject:  
Consideration of the October 9, 2018 regular meeting minutes.

Recommendation:  
Approve the minutes.

ATTACHMENTS:

Type	Description
▯ Backup Material	10-9-2018 Minutes

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Rusnak, Ryan	Approved	10/30/2018 - 11:58 AM

# HISTORIC PRESERVATION COMMISSION MINUTES

CITY OF DAVENPORT, IOWA

TUESDAY, OCTOBER 9, 2018; 5:00 PM

CITY COUNCIL CHAMBERS 226 WEST 4TH STREET DAVENPORT, IOWA 52801

## I. Call to Order

The meeting was called to order at approximately 5:00 pm.

## II. Commission Secretary's Report

A. Consideration of the September 11, 2018 meeting minutes.

Motion by Cordes, Second by Wonio to approve the September 11, 2018 meeting minutes.

Vote to approve was unanimous by voice vote (6-0).

## III. Communications

There was none.

## IV. Old Business

There was none.

## V. New Business

A. Case LL18-01: Nomination of the Davenport Public Library at 321 Main Street for designation as a Local Historic Landmark. Amy Groskopf with Davenport Public Library, petitioner. [Ward 3]

**The petitioner is requesting that this item be tabled to the November 13, 2018 meeting.**

The Chairperson opened the public hearing and asked if there was anyone present to speak on the item.

No one from the audience spoke.

Motion by McGivern, second by Franken to table the request to the November 13, 2018 meeting. Vote to table was unanimous by voice vote (6-0).

- B. Case DNRHP18-01: Demolish outbuilding at 1009 College Avenue. The Walker Adams House is individually listed on the National Register of Historic Places. Bill Hammes, petitioner. [Ward 5]

The applicant was not present

Rusnak summarized the request.

There was consensus that the Commission wanted an estimate to repair the outbuilding. Also, the Commission wanted to know what the petitioner's intentions were for the area once the outbuilding was demolished.

Motion by Kuehl, second by McGivern to table the request to November 13, 2018 meeting.

Vote to table was unanimous (6-0).

#### VI. Other Business

There was none.

#### VII. Open Forum for Comment

No one from the public spoke.

#### VIII. Adjourn

The meeting adjourned at approximately 5:45 pm.

#### IX. Next Commission Meeting:

November 13, 2018

City of Davenport  
Historic Preservation Commission

Department: Community Planning and Economic Development  
Department  
Contact Info: Ryan Rusnak 563-888-2022  
rrusnak@ci.davenport.ia.us

**Date**  
**10/9/2018**

**Subject:**

Case DNRHP18-01: Demolish outbuilding at 1009 College Avenue. The Walker Adams House is individually listed on the National Register of Historic Places. Bill Hammes, petitioner. [Ward 5]

**This item was tabled from the 10-13-2018 meeting.**

**Recommendation:**

**Finding:**

1. The property would not achieve consistency with Section 17.23.060B of the Davenport City Code to warrant designation as a Local Historic Landmark.

Staff recommends that the Historic Preservation Commission approve the demolition of the outbuilding.

**Background:**

The City of Davenport has ordered a repair or demolish for the outbuilding at 1009 College Avenue.

The Walker Adams House is listed on the National Register of Historic Places. The site inventory form describes the outbuilding as a "frame, clapboard carriage house close to house interprets the less formal aspects of a c.1860 mansion in contrast to more obvious pretensions of the 1880's nearby."

Normally, the Historic Preservation Commission does not regulate properties listed on the National of Historic Places. The exception is when there is a request to demolish a structure that is listed on the National Register of Historic Places.

In order to prevent demolition, the Historic Preservation must vote to delay demolition and direct staff to prepare a nomination to designate the property as a local historic landmark.

It is staff's opinion that the outbuilding is a contributing structure on the property. Does the property rise to the level of being designated as a local historic landmark? The site inventory form indicates the following:

*The Walker Adams House is one of number of of Italianate dwellings located in the Fulton Addition. It is a good example of post-Civil War expression of the Italianate style, with its vertical proportions and millwork decoration at the eaves. The use of a single molding strip to denote the base of the frieze was a locally popular detail in mid 19th century Davenport, and is found on houses remaining from before and just after the Civil War.*

*Walker Adams and his family began residing at this location in 1868. Adams was a partner in a cooperage firm which later operated as Adams and Hayward. Mary Adams, Walker's widow,*

*continued at this address into the 1890s. The house itself may have been the second structure on the site, as its exterior features suggest a date later than 1868.*

To qualify a Local Historic Landmark, a property must satisfy one or more of the following criteria in Section 17.23.060B of the Davenport City Code:

1. It is associated with events or persons that have made a significant contribution to the broad patterns of the history of the city, county, state and/or the nation; and/or
2. It embodies the distinctive characteristics of an architectural style valuable for the study of a type, period or method of construction; and/or
3. It represents the work of a master builder, craftsman, architect, engineer or landscape architect or possesses high artistic values.

It is staff's opinion that the property does not rise to the level of designation as Local Historic Landmark.

City staff recognizes that a work session is normally held to prior to the Historic Preservation Commission's consideration of a demolition. However, considering the demolition is an outbuilding and the City has ordered a repair or demolish, staff placed the request on the regular agenda.

#### **17.23.120 Historic structure demolition review process.**

A. If the owner(s) of record or agent applies for a demolition permit to a building or structure listed on the National Register of Historic Places, which to date has not been designated as a local landmark, the office of construction code enforcement shall not issue the permit but instead shall direct the applicant to the commission secretary. Once the office of construction code enforcement refers the matter to the commission secretary, all demolition activity shall stop, if started, until after the commission or the city council acts on the matter. The commission secretary shall place the demolition request on the agenda for the commission's next meeting.

B. In making its determination on whether to recommend continuance of the demolition stoppage and consideration by the city council for designation as a local landmark, the commission shall consider the criteria as stated in Section 17.23.090 B. of this chapter. The commission, by a three-fourths vote of its members present may request the city council to review a proposed demolition permit for a structure listed on the National Register of Historic Places which has not, to date, been designated as a local landmark. In the event the commission votes to delay demolition, the commission shall have staff prepare an individual property nomination for designation as a local landmark as outlined in Section 17.23.060. Said nomination shall be considered by the commission in a timely manner. In the event the commission vote to nominate the property as a local landmark fails, the demolition permit may be issued and the matter does not proceed to the city council. In the event the commission votes first to delay demolition and then to nominate the property for designation as a local landmark, the commission shall submit written documentation to the city council that the building is presently on the National Register of Historic Places, that the criteria for designation as a local landmark as listed in Section 17.23.060 have been met and that the provisions of Section 17.23.110 of the chapter are not applicable, as well as forward any application material submitted by the petitioner or prepared by staff relevant to either the demolition request or the landmark nomination.

C. The city council shall give appropriate notice that a public hearing will be held on the demo

lition application and nomination for landmark designation. At the public hearing, the city council shall hear all written and oral statements of the interested parties. The city council shall base its decision on all relevant evidence presented at the public hearing, including whether Section 17.23.110 of the chapter is applicable. The city council shall determine by a majority of the entire council either to allow the structure to be demolished or to approve the structure for local landmark status. If the local landmark status is approved the owner shall not be issued a demolition permit by the city. Every effort shall be made by all parties to complete the designation process in the most timely fashion. The city council shall act either allowing the structure to be demolished or designating it a local landmark within one hundred twenty days from the date of the commission's first public hearing.

17.23.090 Commission's demolition review process (staff commentary in italics).

B. Criteria for demolition request. The commission shall request and receive from the applicant all information it deems necessary to adequately consider the demolition of a designated property. This may include, but is not limited to, the following:

1. A report from a licensed engineer or architect with experience in rehabilitation as to the structural soundness of the building(s) on the property, their suitability for rehabilitation, and possible new uses for the property; and

*This information has not been provided. However, the report from the City indicates that the structure is leaning.*

2. The assessed value of the land and improvements thereon according to the two most recent assessments; and

*The assessed value of the land is \$19,200. The assessed value of the building is \$116,090.*

3. The real estate taxes paid during the previous two years; and

*The real estate taxes have been paid during the past two years.*

4. All appraisals obtained by the owner or applicant in connection with his purchase, financing or ownership of the property; and

*No appraisals have been provided.*

5. Any listing of the property for sale or rent, price asked and offers received, if any; and

*The property has not been listed for sale.*

6. All building, fire and housing code violations which have been listed on the property for the past two years; and

*The report is attached.*

7. Any federal, state or local citation(s) which have determined the building to be a nuisance under applicable law; and

*Staff is unaware of any federal, state citations. The City has ordered a repair or demolish for the outbuilding.*

8. Estimated market value of the property after completion of the proposed demolition and after renovation of the existing property for re-use; and

*It is staff's opinion that the market value property will not be affected, since this is an outbuilding.*

9. If the property is income-producing;
- a. Annual gross income from the property for the previous two years; and
  - b. Itemized operating and maintenance expenses for the previous two years; and
  - c. Annual cash flow, if any, for the previous two years; and
  - d. Proof that efforts have been made by the owner to obtain a reasonable return on his investment.

*This information has not been provided.*

ATTACHMENTS:

Type	Description
▣ Backup Material	Estimate to Repair - 10-23-2018
▣ Backup Material	Email from City Assessor - 10-29-2018
▣ Backup Material	Aerial Map
▣ Backup Material	Site Photograph
▣ Backup Material	City of Davenport Notice
▣ Backup Material	Site Inventory Form

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Rusnak, Ryan	Approved	10/5/2018 - 11:27 AM

**MARK CONSTRUCTION L.L.C.**

5431 Taylor Street  
Davenport, IA 52806  
563-579-7869

**Estimate**

Date	Estimate #02
10/23/2018	300

**Address**

Wilfred Hammes  
2194 Hogan Ct. S.  
Bettendorf, IA 52722

**Terms**

Description	Qty	Total
Repair barn located at 1009 College Ave. in Davenport including; repair foundation; replace any rotted base plate; level and support walls and roof; tear off roofing and install new roofing.		38,900.00

Thank you for the opportunity to bid your project.

**Total** \$38,900.00

**Signature** \_\_\_\_\_

Phone # 563-391-4227

## Rusnak, Ryan

---

**From:** Loving, Brett  
**Sent:** Monday, October 29, 2018 10:16 AM  
**To:** VanCamp, Nick  
**Cc:** Rusnak, Ryan  
**Subject:** RE: 1009 College Ave

Ryan,

I assume the building you are referring to is an 1880 built garage with a loft. We have it at 22x28. The current assessed value is \$3770. Do you need any other information or for us to go look at it and confirm?

Brett Loving  
Sr. Residential Appraiser

---

**From:** VanCamp, Nick  
**Sent:** Monday, October 29, 2018 10:01 AM  
**To:** Loving, Brett  
**Subject:** FW: 1009 College Ave

Nicholas "Nick" Van Camp  
City Assessor  
Davenport City Assessor's Office  
600 W 4th St  
Davenport IA 52801  
Office (563)326-8659  
Fax (563)328-3206  
[www.cityofdavenportiowa.com](http://www.cityofdavenportiowa.com)

---

**From:** Rusnak, Ryan  
**Sent:** Monday, October 29, 2018 8:52 AM  
**To:** VanCamp, Nick  
**Subject:** 1009 College Ave

Nick,

There is a request to demolish to accessory building at 1009 College Avenue. The property is historic.

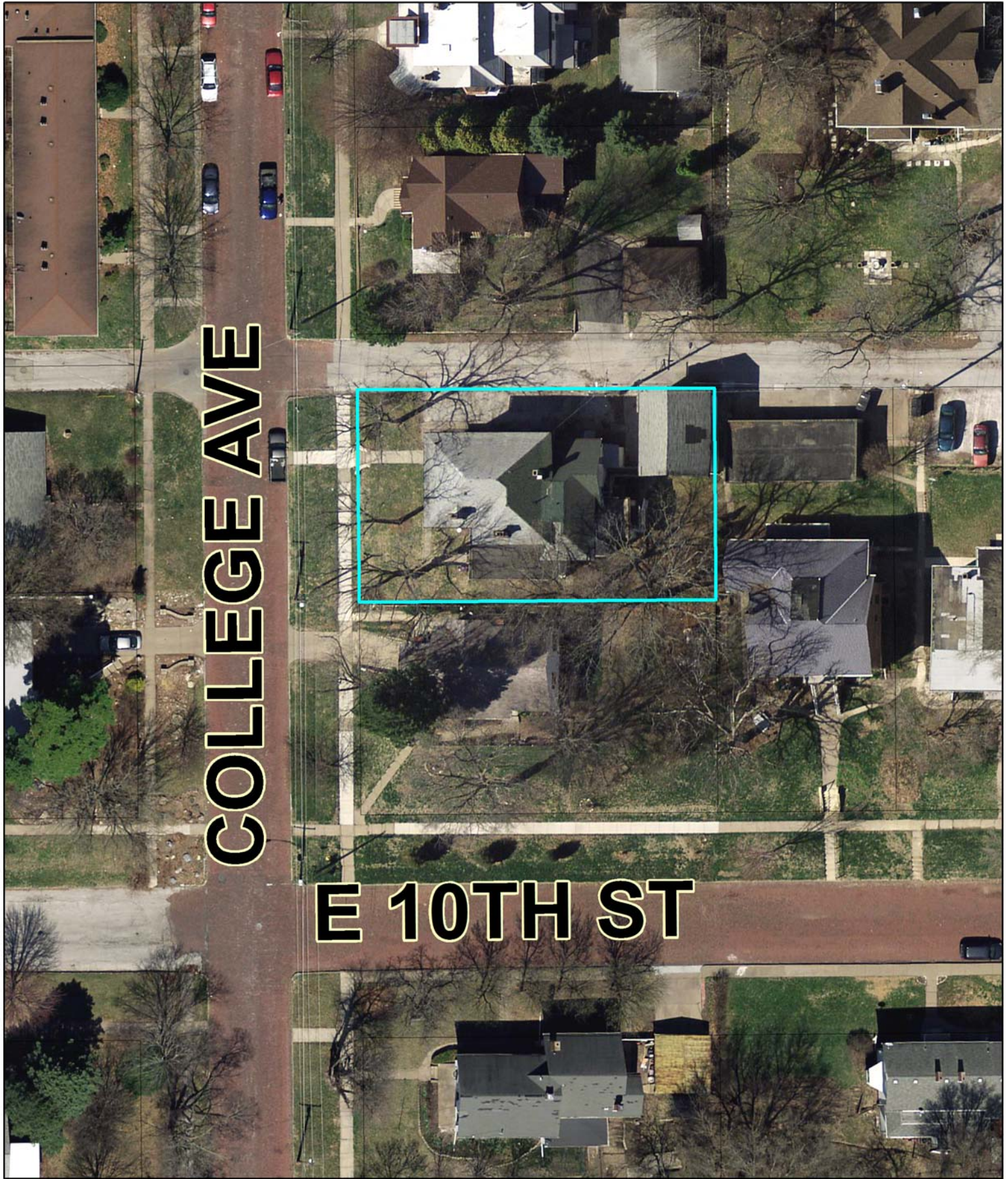
Do you have any valuation for this structure?

Ryan Rusnak, AICP  
Planner III  
City of Davenport  
Community Planning and  
Economic Development Department  
226 West 4<sup>th</sup> Street  
Davenport, Iowa 52801  
(563) 888-2022

E Plan is now live. Click [here](#) for more information.



Click for [more](#) information about the Zoning Ordinance Rewrite. **Spread the Word.**



COLLEGE AVE

E 10TH ST



Subject Property

N







**Neighborhood Services Department**  
1200 E 46th St Davenport, Iowa 52807

4/18/2018

HAMMES WILFRED G  
2194 HOGAN CT S  
BETTENDORF IA 52722

## OFFICIAL NOTICE TO REPAIR/DEMOLISH

Re: 1009 COLLEGE AV

Parcel: F0039-12

Re-Inspection Scheduled: 6/25/2018, 12:00 AM

Dear Property Owner/Manager:

An inspection was conducted at the above captioned address and certain conditions were found to exist which are severe enough in nature that the building has been declared substandard under the provision of Chapter 8.17 of the Davenport Municipal Code and must be either repaired to code or demolished. If applicable, the building has been tagged and no occupancy is permitted until approved by this office. The following is a list of violations that were found to exist:

### Violation

Exterior Walls-Deteriorated/missing exterior wall covering

### Description

Repair/replace any/all identified exterior wall covering as necessary to maintain weather protection to code.

### Notes

Areas of damaged/deteriorated exterior boards/siding around the carriage house/garage

---

### Violation

Roof-Deteriorated/missing/improper roof covering

### Description

Repair/replace any/all applicable roof covering to code as necessary.

### Notes

Areas of worn, curling and deteriorating shingles on the carriage house/garage

---

**Violation**

General/Health-Deteriorated accessory structure(s)

**Description**

Repair/replace the structure(s) to code as required and/or demolish the structure to code.

**Notes**

Carriage house/garage is leaning showing evidence of failing structural members that would need to be either repaired or replaced to maintain the structural integrity of the structure.

**Violation**

Roof-Deteriorated/missing fascia board(s)

**Description**

Repair/replace and/or install any/all applicable fascia board(s) to code as necessary.

**Notes**

Carriage house/gargae

**Violation**

Gutters-Deteriorated gutters/downspouts

**Description**

Repair and/or replace any/all gutter(s)/downspout(s) as necessary.

**Notes**

Gutters are not required, but when installed are required to be operable and in a state of good repair.

**You are hereby ordered to secure all required permits and commence work to repair to code or demolish this building within thirty (30) days and complete work within sixty (60) days from the date of this Official Notice.** Failure to comply within the allotted time period may result in a citation being issued and/or the building being demolished by the City of Davenport with all associated costs becoming a personal obligation of the property owner.

Any person having any record or legal interest in the building may appeal this notice and order pursuant to the procedures set forth in Chapter 2.86 of the Davenport Municipal Code. A valid appeal request must be made within ten (10) days from the date of this notice and submitted, in writing, at City Hall, 226 W. 4th Street, Davenport, IA 52801. It shall include a copy of this notice, a statement regarding the basis for appeal, and must include payment of the \$100.00 administrative hearing fee. Failure to request a hearing within ten (10) days from the date of this notice shall be deemed to constitute a waiver of the right to a hearing and the notice will be in effect and enforceable.

Valid building permits must be obtained and all construction must conform to all applicable codes.

If there are any questions, please contact the Public Works office at 563-326-7923

Respectfully,

Thorian Twyner

Code Enforcement Officer

Neighborhood Services Department

563-888-3030 ttwyner@ci.davenport.ia.us

Ref #18-20232













82-010-376

Davenport  
Department of Community Development  
Iowa Office of Historic Preservation  
Dennett, Muessig & Associates, Ltd.

# DAVENPORT

## SURVEY 1982

**SITE #82-10- CJ-1009**  
**HISTORIC DISTRICT**  
**NAME** Walker Adams House  
**ADDRESS** 1009 College Ave.

**MAP NUMBER** 5



1764/5

**LEGAL DESCRIPTION** Fulton's Add. to East  
Davenport, Blk. 11, N/2 of Lots 1 & 2

**ACREAGE** <1 **ZONE** R-6M **UTM** 15/703900 4600300

**OWNER** Francis G. Freeman, Jr.  
Box 661  
Bettendorf IA

**TITLE** H M.F. Murray & Wife  
10 Waverly Court  
Davenport IA

### DESCRIPTION

**ARCHITECTURAL STYLE** Victorian Italianate **DATE** c.1875  
**FORM** 2 stories, hipped roof, three-bay front with entry to left of center; veranda on south side now enclosed; one-bay entrance porch  
**MATERIALS** brick; wood trim; stone lintels  
**FENESTRATION** 1/1 and 2/2 d.h.s., on first floor front very tall and narrow  
**FEATURES** bracketted cornice; molding strip to indicate frieze; fluted posts with entablature on porches  
**ALTERATIONS** main entry partly filled with plywood; side porch enclosed behind posts  
**SITE** lot slopes to south; mid-late 19C residential area

**ARCHITECTURAL SIGNIFICANCE** This house is one of a number of Italianate dwellings located in the Fulton Addition. It is a good example of the post-Civil War expression of the Italianate style, with its vertical proportions and millwork decoration at the eaves. The use of a single molding strip to denote the base of the frieze was a locally-popular detail in mid-19th century Davenport, and is found on houses remaining from before and just after the Civil War.

**HISTORICAL DATA**

Walker Adams and his family began residing at this location in 1868. Adams was a partner in a cooperage firm which later turned to wholesaling of shingles and staves. By the 1880's, the firm operated as Adams and Hayward. Mary Adams, Walker's widow, continued at this address into the 1890's. The house itself may have been a second structure on the site, as its exterior features suggest a date of later than 1868.

**HISTORICAL SIGNIFICANCE**

**SOURCES** John Milner Associates, East Davenport Survey, 1977  
Davenport City Directories, 1867, 1868, 1873, 1878, 1882-3, 1887

**ARCHITECTURAL EVALUATION**

DESIGN good STATURE incident  
LEVEL OF SIGNIFICANCE local

CONTEXT good FABRIC good  
DISTRICT CLASSIFICATION

**HISTORICAL EVALUATION**

PRIMARY THEME  
LEVEL OF SIGNIFICANCE

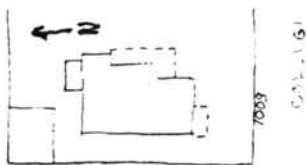
SECONDARY THEME

**NATIONAL REGISTER ELIGIBLE YES**

**PHOTO ID M3-0A,4A; 1764-10**

Martha H. Bowers, Architectural Historian

Marlys Svendsen, Historian

**FOR DIVISION OF HISTORIC PRESERVATION USE ONLY**

1 DATE RECEIVED _____	
2 DATE OF STAFF EVALUATION _____	
A ARCHITECTURAL B HISTORICAL	
ELIGIBLE FOR NRHP <input type="checkbox"/>	<input type="checkbox"/>
NOT ELIGIBLE FOR NRHP <input type="checkbox"/>	<input type="checkbox"/>
3 NRHP ACTION	
A STATE REVIEW COMM APP <input type="checkbox"/> DISAPP <input type="checkbox"/> TABLED <input type="checkbox"/> DATE _____	
B FEDERAL REVIEW APP <input type="checkbox"/> DISAPP <input type="checkbox"/> TABLED <input type="checkbox"/> DATE _____	
4 DHP SOURCES	
<input type="checkbox"/> COUNTY RESOURCES	<input type="checkbox"/> DET OF ELIGIBILITY
<input type="checkbox"/> WSHIELD SURVEY	<input type="checkbox"/> R B C
<input type="checkbox"/> NRHP	<input checked="" type="checkbox"/> DAVENPORT A/H SURVEY
<input type="checkbox"/> GRANT	<input type="checkbox"/>
5 SUBJECT TRACES	6 PHOTO
_____	_____
_____	_____
_____	_____

# Iowa Site Inventory

Office of Historic Preservation  
Iowa State Historical Department  
East 12th & Grand Avenue  
Des Moines, Iowa 50319

Site Number 82-010-376

## Continuation Sheet

Item Number(s) 1009 College - Davenport, Iowa

Photo Roll 1137, Frame 0A



Site No. 82-010-376



Historic Building Data Sheet  
 Village of East Davenport  
 Davenport, Scott County, Iowa  
 Contract # CD-1-20, City of Davenport

View: 3:0A; 3:4A 1137/0A  
 Camera Facing: NE 1137/4A



1. NAME  
Historic  
Common

2. LOCATION  
 Street & No.  
1009 College

Map Ref. Key # 28-10Zoning: R6MMap Reference Key # 28-10

## 3. CLASSIFICATION

CATEGORY (Check One)	OWNERSHIP	STATUS	ACCESSIBLE TO PUBLIC
<u>District</u> <input checked="" type="checkbox"/> Building	<u>Public</u>	<u>Occupied</u>	Yes:
<u>Site</u> <input type="checkbox"/> Structure	<input checked="" type="checkbox"/> Private	<u>Unoccupied</u>	<u>Restricted</u>
<u>Object</u>	<u>Both</u>	<u>Work in Progress</u>	<u>Unrestricted</u>
		<u>Pres.</u> <u>Altera.</u>	<input checked="" type="checkbox"/> No

## PRESENT USE (Check One or More if Applicable)

<u>Agriculture</u>	<u>Government</u>	<u>Museum</u>	<u>Religious</u>	<u>Scientific</u>
<u>Commercial</u>	<u>Industrial</u>	<u>Park</u>	<input checked="" type="checkbox"/> Rental Residence	<u>Transportation</u>
<u>Educational</u>	<u>Military</u>	<u>Private Residence</u> (Owner Occupied)	<u>Single Family</u>	<u>Other</u>
			<u>Double</u>	
			<input checked="" type="checkbox"/> Multiple	

ORIGINAL USE: \_\_\_\_\_

## 4a. OWNERSHIP (Present)

Name:

## 4b. TITLEHOLDER: (if other than 4a)

Robert F. Fashendush and wife  
 Street and Number:

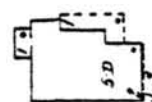
## 4c. ORIGINAL OWNER:

City or Town:

Perhaps John Littig, M.D. \*

## 5. DESCRIPTION

Features (exterior)	Materials
Facade <u>3 bay</u>	<u>brick</u>
Foundations _____	
Trim <u>stress on lentels and sills</u>	<u>wood</u>
Roof Type: <u>flat</u> <u>gable</u> <u>shed</u> <u>"French"</u> <u>gambrel</u> <u>hip</u> <u>other</u>	<u>not visible</u>
Chimney(s) <u>architectural--fireplace &amp; furnace</u>	<u>brick</u>
Porch(es) <u>columned--on south</u>	
Addition(s) _____	
Dimensions & Plan _____ (Sketch):	
Structural System:	
<u>wood frame, interlocking joints</u> <u>wood frame, light member</u>	
<input checked="" type="checkbox"/> masonry load bearing walls <u>log</u> <u>metal</u> <u>other</u>	



## 5. DESCRIPTION (cont.)

Number of Stories 2Other notable features: twinned brackets; square Doric columns at door--floor to ceiling windows, first floorCondition: EXTERIOR Excellent Good x Fair Deteriorated Ruins  
INTERIOR Excellent Good Fair Deteriorated RuinsIntegrity: a. x Original Site b. Moved If so, when and from where \_\_\_\_\_c. Major alterations and dates (if known): porch enclosed, keeping columns in tact  
entrance enclosed with plywood

Site:

Frontage: 150'

Acreage: \_\_\_\_\_

Depth: 125'

Related Outbuildings and Property:

barn x carriage house garage(s) shop shed gardens orchards  
fencing (type) x walling (type) limestone other

Threats and/or intrusions to Building:

none known zoning roads development deterioration other

## 6. INTERRELATIONSHIP OF BUILDING AND SURROUNDINGS

Relationship to Street: Pivotal x Positive Neutral NegativeRelationship to Village: Pivotal x Positive Neutral Negative

## 7. SIGNIFICANCE

Date of Initial Construction:

c.1840 c.1850 x c.1860 c.1870 c.1880 c.1890 c.1900  
c.1910 after 1910 Specific Data (if known) \_\_\_\_\_Style: Frontier x Italianate Neo-Classic Revival Art Deco  
Classic Revival Romanesque Revival English Eclectic Ranch Style  
Gothic Revival Queen Anne Federal Revival Split-Level  
Tuscan Villa Eastlake Bungalow Utilitarian  
Second Empire Georgian Revival Western Stick Style Other

National Register Status:

Presently on National Register \_\_\_\_\_ or suggested as meriting:

national significance state significance local significance none

COMMENTS: (expand on next page)

frame, clapboarded carriage house close to house interprets the less formal aspects of a c. 1860 mansion in contrast to the more obvious pretensions of the 1880's nearby (see 1017 Mississippi-(13-2, 13-2A) compare 1805 E 12--(11-6)

\* research of Joan Walker

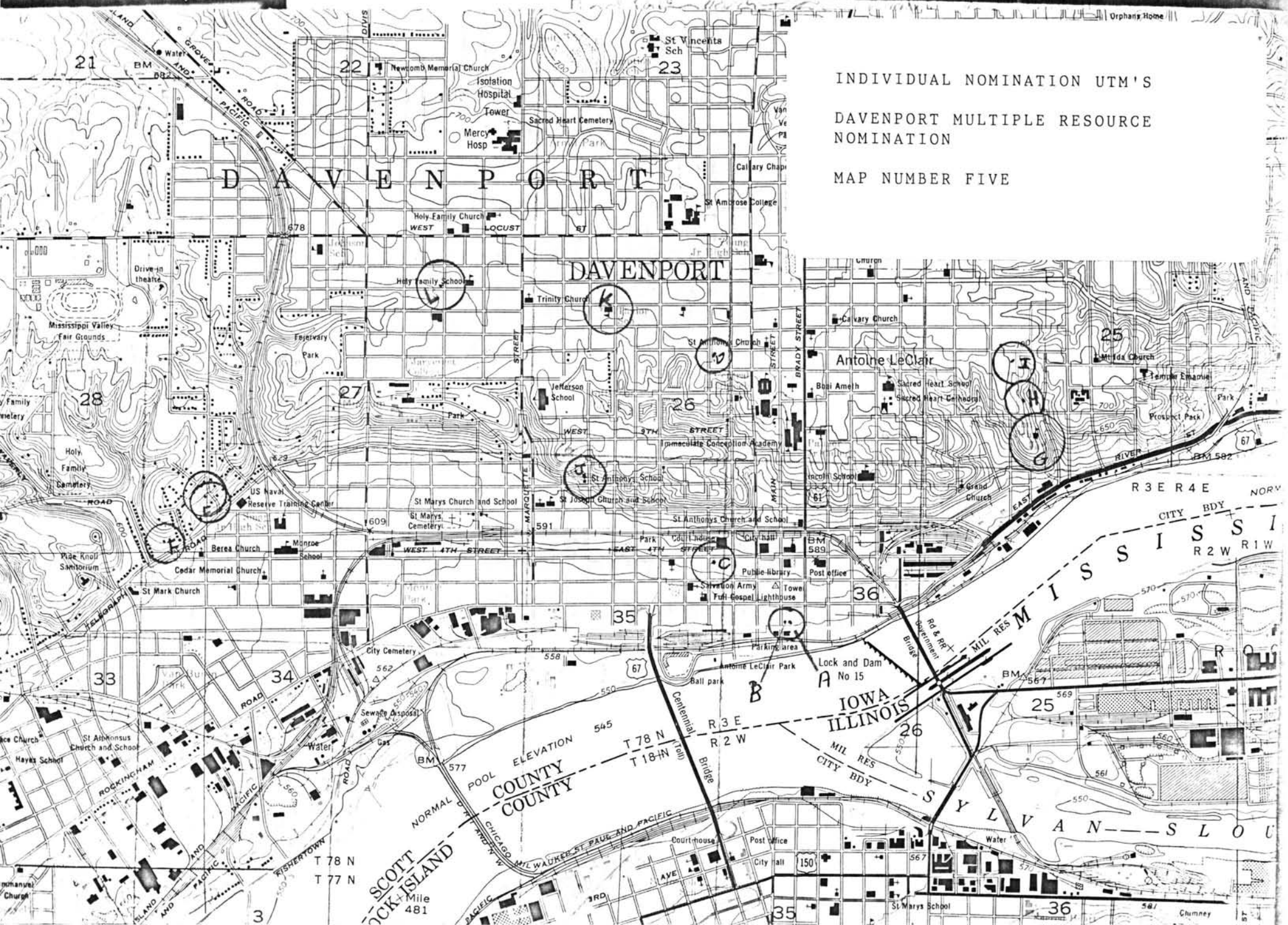
Recorder: SchoolerDate of Inventory 1/25/77Photographer: CavinDate of Exposure 12/14/76

# INDIVIDUAL NOMINATIONS, DAVENPORT MULTIPLE RESOURCE NOMINATION

## MAP NUMBER FIVE

<u>Address</u>	<u>Easting</u>	<u>Northing</u>	<u>Key Reference</u>
126 W. River Drive	702,350	4,599,080	A
130 "	702,320	4,599,080	B
331 Scott	701,950	4,599,480	C
1221 "	701,930	4,600,500	D
2200 Telegraph Rd.	699,360	4,599,660	
	699,360	4,599,660	E
2320 "	699,130	4,599,480	F
901 Tremont	703,580	4,600,130	G
1013 "	703,050	4,600,300	H
1210 "	703,450	4,600,500	I
716 Vine	701,280	4,599,900	J
1400 Warren	701,380	4,600,730	K
1602 Washington	700,510	4,600,820	L

MAP NUMBER FIVE



City of Davenport  
Historic Preservation Commission

Department: Community Planning and Economic Development  
Department  
Contact Info: Ryan Rusnak 563-888-2022  
rrusnak@ci.davenport.ia.us

**Date**  
**10/9/2018**

**Subject:**

Case LL18-01: Nomination of the Davenport Public Library at 321 Main Street for designation as a Local Historic Landmark. Amy Groskopf with Davenport Public Library, petitioner. [Ward 3]

**This item was tabled from the 10-13-2018 meeting.**

**Recommendation:**

**Finding:**

1. The property achieves consistency with Section 17.23.060.3 - embodies a distinctive architectural style and Section 17.23.060.B.3 - work of an architect or possesses high artistic values.

Staff recommends the Historic Preservation Commission accept the listed findings and forward Case LL18-01 to the City Council with a recommendation for approval.

**Background:**

**17.23.060 Commission designation process.**

B. Designation criteria. The commission shall, after such investigation as it deems necessary, make a recommendation to the city council as to whether a nominated structure or district qualifies for the local register. To qualify, a property must satisfy one or more of the following criteria:

1. It is associated with events or persons that have made a significant contribution to the broad patterns of the history of the city, county, state and/or the nation; and/or
2. It embodies the distinctive characteristics of an architectural style valuable for the study of a type, period or method of construction; and/or
3. It represents the work of a master builder, craftsman, architect, engineer or landscape architect or possesses high artistic values.

D. Designation - public meeting. Upon submittal of a complete application, the commission shall conduct a public meeting to consider the designation of the nominated structure and/or district. Any interested person, group of persons or organization may submit oral and/or written testimony concerning the significance of the nominated property. The commission may also consider staff reports, and request and/or hear expert testimony.

E. Burden of documentation. The nominator(s) shall have the burden of proof to provide sufficient evidence and documentation that the nominated structure and/or district is worthy of local landmark status.

F. Recommendation by the commission. To recommend the designation of local landmarks or historic districts, the commission must pass by a simple majority vote of the members present, a vote in the affirmative. In the case of a proposed historic district, when owners of more than thirty-

three and one-third percent of the proposed district's area, excluding public rights-of-way and other publicly-owned property, state their disapproval in writing on an owner comment on designation form before or during the commission's first public meeting conducted to formally consider the nomination, a super-majority vote of three-fourths of the commission members present shall be required to recommend designation as a local historic district. The commission's recommendation for approval of the designation shall be forwarded to the city council for final review and consideration. If the commission determines that the nominated property does not satisfy the criteria for designation, the nomination process shall cease. However, a property denied designation as part of a proposed historic district may seek individual local landmark status at any time following the commission's or city council's first denial. An individual structure denied designation as a local landmark may be considered for the Local Register as part of a nominated historic district at any time following its initial denial.

G. Documentation of recommendation. All commission recommendations shall be adopted by vote in a public meeting and shall be accompanied by a report stating the following information:

1. A map showing the location of the nominated structure and/or the boundaries of the proposed district; and
2. An explanation of the architectural and/or historical significance of the nominated structure and/or district as it relates to the designation criteria listed in Section 17.23.060B; and
3. An inventory of the significant exterior architectural features and property improvements that should be protected from inappropriate alterations; and
4. In the case of a designated district, a brief statement of the architectural and/or historical significance and character unique to the neighborhood that should be preserved for future generations. This statement may include design guidelines for new construction or infill development, signage, parking regulations and streetscape design or any other development

#### ATTACHMENTS:

Type	Description
Backup Material	Nomination Form
Backup Material	Aerial Map
Backup Material	Section 17.23.060 of the Davenport City Code

#### REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Rusnak, Ryan	Approved	10/5/2018 - 11:27 AM



# City of Davenport

Nomination No: \_\_\_\_\_

## "INDIVIDUAL PROPERTY" NOMINATION

for the

### DAVENPORT REGISTER OF HISTORIC PROPERTIES

#### Historic Preservation Commission City of Davenport, Iowa

---

**Please Provide the following information:** (Please type or print)

Address of the Property: 321 Main Street, Davenport, Iowa 52801

Legal Description of the Property: Subdivision Name: LeClaire's Addition

Block: 45 Lot: W 39.7 ft of lot 8, lots 9-10

Historic Name (or proposed historic name): Davenport Public Library - Edward Durell Stone Building

Date listed on *National Register of Historic Places* (if applicable): \_\_\_\_\_

( If listed, NRHP Site No. #82-10- )

NRHP Historic District (if applicable): \_\_\_\_\_

Who is the PETITIONER for Nomination: Owner(s) of Record: X HPC: \_\_\_\_\_ (check one)

Owner(s) of Record: Davenport Public Library

Owner(s) Address: (Name) Davenport Public Library

(Street) 321 Main St

(City, State & ZIP) Davenport, Iowa 52801

Owner(s) Telecommunications: Work: 328-6850 Home: \_\_\_\_\_ Mobile: \_\_\_\_\_

Fax: \_\_\_\_\_ Email: agroskopf@davenportlibrary.com

Current Use of the Property: Public Library

Original Function of the Property: Public Library

---

#### ***The Petitioner shall submit the following information:***

- (1) Four 4" x 6" photographs showing all elevations (These will become part of the Commission's permanent file and cannot be returned.)
- (2) Any historical photographs, if available. (Clear photocopies of the photographs are acceptable at the time of application as long as petitioner brings reprints and/or slides of historical photographs to the meeting for HPC review. These will be returned after consideration of the nomination is complete.)
- (3) Physical Description of the Property: (Applicant may use as many continuation sheets as necessary)

Date of Construction: 1967 (completed Oct 1968) Architectural Style: New Formalist

Building Materials: Foundation: concrete Walls: precast concrete block

Roof: EPDM Other: \_\_\_\_\_

Distinctive Features: slitted overhang ; central floating staircase; grid lighting in ceiling

Alterations: no permanent alterations. railing added to front porch c ,1990. exterior lighting no longer functional

- (4) A narrative describing why the property satisfies the "Designation Criteria" listed in Section 17.23.060(2) of the 1990 Municipal Code. Please describe both the property's present and historic physical appearance as it relates to the definitions of Architectural and Historical significance in contained in Section 17.23.030<sup>1</sup>.

The "Designation Criteria" are defined in the 1990 Municipal Code as follows:

Designation Criteria: Section 17.23.060(2). The Commission shall, after such investigation as it deems necessary, make a recommendation to the City Council as to whether a nominated structure or district qualifies for the Local Register. To qualify, a property must satisfy one or more of the following criteria:

- (A) It is associated with events or persons that have made a significant contribution to the broad patterns of history of the city, county, state and/or nation; and/or
- (B) It embodies the distinctive characteristics of an architectural style valuable for the study of a type, period or method of construction; and/or
- (C) It represents the work of a master builder, craftsman, architect, engineer or landscape architect or possesses high artistic, values.

- (5) A list of major bibliographical references.  
see attached

"I, petitioner for the nomination of the aforementioned property to the Davenport Register of Historic Properties, do hereby state that all the information contained herein is, to the best of my knowledge, accurate and that there are no negligent or fraudulent misrepresentations of fact. I also understand that fraudulent misrepresentations of fact contained in this nomination form shall be sufficient cause to immediately nullify the nomination process.

  
Owner(s) of Record or Authorized Agent

Oct 10, 2018  
Date

<sup>1</sup> Definitions of Architectural and Historical significance can be found in Sections 17.23.030(3) and 17.23.030(19) respectively.

Please return the completed application to the:

Historic Preservation Commission  
Community & Economic Development Department  
226 W. 4<sup>th</sup> Street  
Davenport, Iowa 52801

Direct your questions to the Commission Secretary at 326-7765.

Your Nomination for Designation will be considered by the Historic Preservation Commission at its public meeting scheduled for:

\_\_\_\_\_  
month day year

All Historic Preservation Commission Public Meetings are held in the City Council Chambers at City Hall on the 2<sup>nd</sup> Tuesday of every month at 4:30 p.m. unless otherwise notified.

Staff will keep the original signed nomination form and will return to the petitioner a photocopy of the application with staff comments.

**PLEASE NOTE: The owner(s) of record, or an agent acting on their behalf (petitioner), should plan to attend the Commission meeting in person. It is important for someone to be present to respond to the Commission's inquiries and comments. If no one is present, the nomination process may be delayed indefinitely.**

---

For Staff Only:  
Received by: Ryan Rusnak 10-10-2018

\_\_\_\_\_  
Commission Secretary or Designee Date

Is application complete? ☒ Yes ☐ No

If not, explain: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

### **Physical Description of Property:**

The Main Library building is located on the northeast corner of Main and 4<sup>th</sup> Streets and was dedicated Oct 6, 1968. Designed by noted architect Edward Durell Stone, it is an important example of Mid-Century Modern architecture in Davenport. The architecture is quite similar to the Kennedy Center in Washington, DC which was also designed by Stone. The building is constructed of poured concrete and white, pre-cast concrete block. Columns in the building also serve for air-handling through vents in the top of the columns.

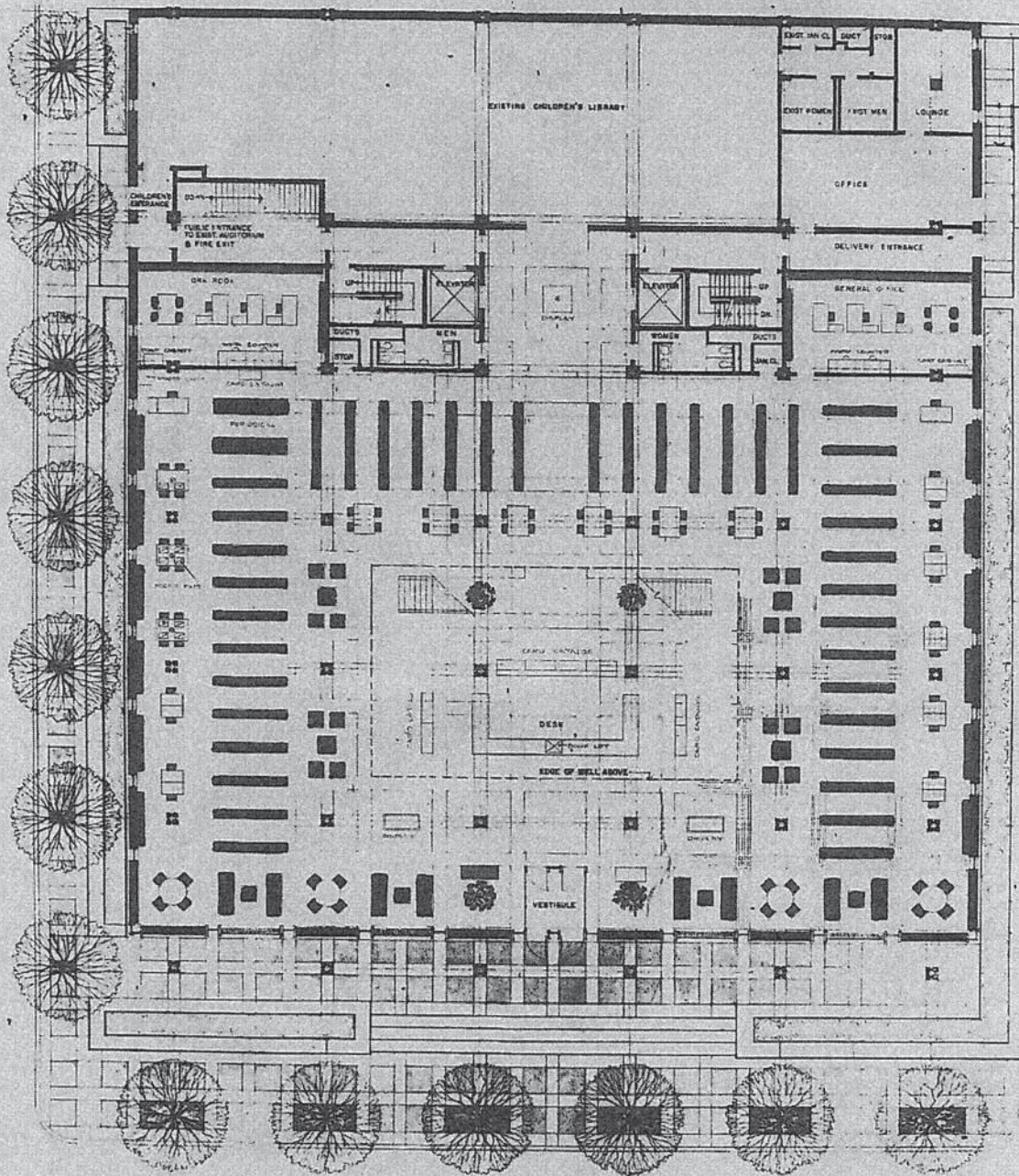
Total square footage of the building is 63,000 sq.ft. Of this total, 53,000 sq.ft are the “new” part of the library building. The remainder is the Children’s addition that was opened in 1963. The Children’s addition is at the back (East side) of the building. Entrance to that portion of the building is through double doors that are in a direct line east from the front doors. Both structures are encased in the same architectural block making it virtually impossible to tell from the exterior that the library is actually two buildings.

The entrance to the Library is characterized by 6 columns supporting a wide, slitted overhang creating the library’s front porch. The front of the building has tall glass windows that provide visibility to the interior architectural features of tall columns and a ceiling with lighting in a geometric grid. The grid ceiling is in squares that are also reflected in the architectural block that is on the exterior and interior walls of the building. The effect of the grid lighting is especially visible at night. There have been no changes to the front entrance of the building since 1968 other than the installation of banners on the front columns and installation of a wrought-iron railing to prevent skate-board use.

The north and south elevations of the building feature the same architectural block, a roof overhang and floor to ceiling windows. The east elevation has no windows, but the same overhang dimensions as the north and south elevations and is covered in the same exterior block.

The interior of the Library retains many original features. One of the most important is the open, floating, terrazzo staircase to the second floor mezzanine. The railing around the opening from the mezzanine to the first floor is also original. The original open floor plan is largely unchanged as well. The exception is the room constructed at the front of the library around 2010 to house automated materials handling equipment. To not impair the view of the ceiling lighting from the exterior, the room was constructed of a glass curtain wall that echoes the exterior windows and is installed around the ceiling grid. Current renovation plans for the building call for the removal of this room.

The floor plan shows the existing children’s library that was opened in 1963. The corridor that runs the width of the building from 4<sup>th</sup> street to the alley is where the two buildings meet.



F I R S T F L O O R P L A N

### **Statement on Designation Criteria:**

The Davenport Public Library Main Library, dedicated in October of 1968, meets Designation Criteria B for its embodiment of the Modern Movement architectural style and Designation Criteria C as it represents the work of architect Edward Durell Stone.

In the mid-1960's, Downtown Davenport experienced significant urban renewal. New construction projects included the Davenport YMCA, the Lee Building, the Clayton Motel Hotel, the Priester Construction Company Building (on the National Register) and the First Federal Saving and Loan Association Building (on the Davenport Register of Historic Properties). These projects all embraced the Modern Movement design, which was widely accepted nationwide as the standard for urban construction.

Edward Durell Stone was born in 1902 in Fayetteville, AR and attended the University of Arkansas from 1920-23. He then went to Boston, MA where his brother was an architect and studied architecture at Massachusetts Institute of Technology. He left MIT in 1927 before finishing his degree when he won a travelling scholarship that allowed him to visit the avant-garde modernist architecture of Europe.

Stone first gained a reputation designing International Style homes. The United States Embassy in New Delhi, India, designed in 1954, is considered the signature work that cemented his reputation as an architect of the Modern Movement. At the time the Embassy was built, the design was a radical change from mainstream modern architecture, and was a strong influence on a style that came to be known as New Formalism. With subsequent design of the Stanford University Medical Center in Palo Alto, CA; Stuart Pharmaceutical Company in Pasadena, CA and the United States Pavilion at the 1958 Brussels World's Fair, Stone established himself as a leading formalist.

Buildings designed in the New Formalist style exhibit many classical elements including strict symmetrical elevations, building proportion and scale, classical columns, highly stylized entablatures and colonnades. Buildings in this style are often set on a podium. Stone's New Delhi Embassy is considered the symbolic start of New Formalism.

The Davenport Public Library includes many of the features that Stone himself saw as most important to his designs. In his book, *Recent & Future Architecture*, Stone indicates "I rely heavily on the contrast of multi-storied central areas with smaller elements groups around the periphery". He also lauds the idea of corridor-free buildings. These two elements are very much part of the Library design: the open design with the open staircase to the second floor mezzanine and the very minimal corridors in the building.

In the same volume, Stone also shares his thoughts on the building materials he used in his designs: "Architecture is a grimly serious business. It should be timeless and convey by its very fiber the assurance of permanence; stone, bricks and concrete all have this characteristic." Materials used in the Main library – precast and poured concrete – certainly follow this recommendation.

A list of projects by Stone based on his archives held by the University of Arkansas does not indicate any projects in Iowa other than the Davenport Public Library. That said, the Voxman Music Building on the University of Iowa Campus was designed by Stone. It was razed due to damage incurred from the 2008 flood.

While the Kennedy Center for the Performing Arts in Washington, DC is the building that most Stone aficionados view as being most similar in appearance to the Davenport Public Library, a number of other Stone designs have similar features, among them the Stuhr Museum of the Prairie Pioneer near Grand Island, NE.

Edward Durell Stone designed a small number of public libraries during his career. The Stone archives project database lists 6 library projects. The Rinconada library in Palo Alto, CA was designed in 1958 early in Stone's career and does not have many of the New Formalism features of his later works. The Undergraduate Library at the University of South Carolina opened in 1963. Its design shares similar features to the Davenport Public Library, including the use of exterior columns supporting a slitted overhang and open floor plan.

The Davenport Public Library building epitomizes the architectural style of New Formalism and was designed by one of the most celebrated architects who designed in this style.

Photos:



Front (West) view of the Main Library building. The railing/fence along the porch was added around 1990 to deter skateboard use. (Sept 2018)



North side. To the east of the double doors in this image is the area that is the Children's addition that was constructed on the back of the old Carnegie Library in 1963. (Sept 2018)



View from the north west corner. This image shows the slitted overhang that Stone used in many of his designs. (Sept 2018)



View from the south east corner of the building (Sept 2018)



View from the south west corner. (Sept 2018)



View from south west corner of the Main Library – February 1969



Exterior view from the south west corner taken about 1969. This night time view shows the lighted grid ceiling.



Stuhr Museum of the Prairie Pioneer – Grand Island, NE. Designed by Stone in 1963



United States Embassy in New Delhi, India. Designed in 1954.

# Bibliography

## In Special Collections at Davenport Public Library:

Boxes 68-74, Physical Plant – E.D. Stone Building, Davenport Public Library Archives, Richardson-Sloane Special Collections Center, Davenport Public Library, Davenport, IA. (Research materials on Stone collected by Kay Runge in Box 60)

Excerpts from interviews with Stone in:

Peter, John. *The Oral History of Modern Architecture: Interviews with the Greatest Architects of the Twentieth Century*. New York: Harry N. Abrams, 1994.

Ephemera-Biography

Stone, Edward Durell. *Recent & future architecture*. New York: Horizon Press, 1968.

SC CLOSED STACKS 724.9 STO

## Newspaper articles

"A Library for Tomorrow: A Special Times- Democrat Section to Mark the Opening of the New Davenport Public Library, Oct. 6, 1968." *Davenport Sunday Times-Democrat* (Davenport, IA), Oct. 6, 1968.

Arpy, Jim. "Stranger in Town." *Sunday Times-Democrat* (Davenport, IA), Apr. 26, 1964.

Others in "Libraries-Davenport" clipping file/vertical file; those that may be found with Newspapers.com

## **Additional sources:**

Hunting, Mary Anne. *Edward Durell Stone: modernism's populist architect*. New York: W.W. Norton and Company, 2013. 9780393733013

Stone, Hicks. *Edward Durell Stone a son's untold story of a legendary architect*. New York: Rizzoli, 2011. 9780847835683

"Edward Durell Stone, Architect." <https://www.edwarddurellstone.org>.

Edward Durell Stone papers 1927-1969 (bulk 1940-1963), Special Collections Department, University of Arkansas Libraries, Fayetteville, AK. Finding aid online at:

<https://libraries.uark.edu/specialcollections/findingaids/stone/index.html>



W 5TH ST

BRADY ST

W 4TH ST

E 4TH ST

W 3RD ST

E 3RD ST

MAIN ST



Subject Property



**17.23.060 Commission designation process.**

A. Application process. The legal owner(s) of record or the commission, may nominate a single structure for designation as a local landmark or an area as a historic district. Upon application, the commission secretary shall inform the applicant of the information needed by the commission to adequately consider the nomination.

To nominate a district for designation by the legal owners of record, a petition requesting nomination must be signed and submitted by the owners of record representing at least fifty-one percent of the total area of the proposed district, excluding public rights-of-way. After the names on the petition are verified as legal real property owners within the proposed district, the commission secretary shall notify the applicant(s) that the nomination process may continue. A copy of the petition shall also be submitted to the State Historical Society of Iowa for its review and recommendation.

B. Designation criteria. The commission shall, after such investigation as it deems necessary, make a recommendation to the city council as to whether a nominated structure or district qualifies for the local register. To qualify, a property must satisfy one or more of the following criteria:

1. It is associated with events or persons that have made a significant contribution to the broad patterns of the history of the city, county, state and/or the nation; and/or
2. It embodies the distinctive characteristics of an architectural style valuable for the study of a type, period or method of construction; and/or
3. It represents the work of a master builder, craftsman, architect, engineer or landscape architect or possesses high artistic values.

C. Notification of nomination. Upon receipt of a properly completed application for designation, the commission shall place the nomination on the agenda within sixty calendar days. A notice shall be placed in a newspaper of general circulation not less than four nor more than twenty calendar days prior to the scheduled meeting stating the commission's intent to consider an application for designation. It shall contain, at the minimum, the nominated property's address, legal description and the date, time and location of the public meeting. If a district is nominated, in addition to the published public notice, a letter explaining the proposed designation shall be sent by regular mail to the owner(s) of record of real property within the proposed historic district. The commission's meeting agenda shall also be posted on the first floor city hall bulletin board used for such purposes no less than one business day prior to the scheduled time of the meeting.

D. Designation - public meeting. Upon submittal of a complete application, the commission shall conduct a public meeting to consider the designation of the nominated structure and/or district. Any interested person, group of persons or organization may submit oral and/or written testimony concerning the significance of the nominated property. The commission may also consider staff reports, and request and/or hear expert testimony.

E. Burden of documentation. The nominator(s) shall have the burden of proof to provide sufficient evidence and documentation that the nominated structure and/or district is worthy of local landmark status.

F. Recommendation by the commission. To recommend the designation of local landmarks or historic districts, the commission must pass by a simple majority vote of the members present, a vote in the affirmative. In the case of a proposed historic district, when owners of more than thirty-three and one-third percent of the proposed district's area, excluding public rights-of-way and other publicly-owned property, state their disapproval in writing on an owner comment on designation form before or during the commission's first public meeting conducted to formally consider the nomination, a super-majority vote of three-fourths of the commission members present shall be required to recommend designation as a local historic district.

The commission's recommendation for approval of the designation shall be forwarded to the city council for final review and consideration. If the commission determines that the nominated property does not satisfy the criteria for designation, the nomination process shall cease. However, a property denied designation as part of a proposed historic district may seek individual local landmark status at any time following the commission's or city council's first denial. An individual structure denied designation as a local landmark may be considered for the Local Register as part of a nominated historic district at any time following its initial denial.

G. Documentation of recommendation. All commission recommendations shall be adopted by vote in a public meeting and shall be accompanied by a report stating the following information:

1. A map showing the location of the nominated structure and/or the boundaries of the proposed district; and
2. An explanation of the architectural and/or historical significance of the nominated structure and/or district as it relates to the designation criteria listed in Section 17.23.060B; and
3. An inventory of the significant exterior architectural features and property improvements that should be protected from inappropriate alterations; and
4. In the case of a designated district, a brief statement of the architectural and/or historical significance and character unique to the neighborhood that should be preserved for future generations. This statement may include design guidelines for new construction or infill development, signage, parking regulations and streetscape design or any other development issues affecting the physical appearance and use of the district.

H. Interim permit process. No building, sign or demolition permit for exterior work shall be issued for the alteration, construction, reconstruction, relocation or demolition of a nominated local landmark or for a property located within a nominated historic district from the date of filing an application for nomination with the commission until final disposition of said nomination by the commission and/or city council. The commission shall, however, establish and exercise procedures allowing for the review and approval of emergency repairs during this process. In no event shall this limitation on permits apply for more than one hundred twenty calendar days without permission of the owner(s) of record of the property.

I. Nonapplicability. This section nor this chapter is in no way intended to and shall not prevent the demolition of a structure or object that the city housing, building, fire or legal department or the city council had identified as being an immediate threat to the life, health and safety of the general public pursuant to the Uniform Housing Code, is a fire hazard pursuant to Uniform Fire Code or is a nuisance under state or city law.

This section or this chapter shall have no effect on and shall not prevent demolition of any building already documented as being in substantial violation of the city's building, fire and/or housing codes before the date this chapter is adopted. (Ord. 99-562 §§ 2, 3; Ord. 97-318 §§ 1, 2; Ord. 95-453 § 2; Ord. 91-737 § 1 (part)).

**17.23.070 Designation by city council.**

A. Action by city council. The city council may vote to approve with modifications or deny the ordinance for a proposed landmark or historic district designation. If the city council denies local landmark status for the property and/or district, the same nominated

property(s) may not be reconsidered by the commission for designation during the twenty-four month period following the date of denial by the city council, except pursuant to the exceptions stated in Section 17.23.060G.

B. Notification of decision. The commission secretary shall notify the nominator(s) by regular mail, of the city council's determination. The notification letter shall be postmarked no later than fifteen business days after the date of the city council's ruling on said designation.

If the property is designated, the commission shall pay for and cause said designation to be recorded on the property's chain of title by the Scott County, Iowa Recorder of Deeds.

C. Amendments or rescissions. The designation of any landmark or historic district may be amended or rescinded through the same procedure utilized for the original designation. (Ord. 99-562 § 4; Ord. 91-737 § 1 (part)).

City of Davenport  
Historic Preservation Commission

Department: Community Planning and Economic Development  
Department  
Contact Info: Ryan Rusnak 563-888-2022  
rrusnak@ci.davenport.ia.us

**Date**  
**11/9/2018**

**Subject:**

Case COA18-11: Request of Dianna Walter to replace the front stairs at 614 West 5th Street. The Henry C. (Jr.) and Johanna (Wessel) Struck House (#1) is located in the Local Historic Hamburg District.

**Recommendation:**

The petitioner replaced the deck without a permit. Preservation Commission approval was never obtained. The design of the deck changes slightly as stairs were added to the west side. The previous deck was pressure treated.

**Background:**

The petitioner began rebuilding the decks without a permit. Preservation Commission approval was never obtained. The design of the deck is similar to the previously constructed decks. The previous deck was pressure treated.

**ATTACHMENTS:**

Type	Description
▢ Backup Material	Application
▢ Backup Material	New Deck
▢ Backup Material	Previous Deck
▢ Backup Material	Survey Form

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Rusnak, Ryan	Approved	10/25/2018 - 12:51 PM



**Property Address\***

226 West 4th Street Davenport IA 52801

\*If no property address, please submit a legal description of the property.

**Applicant (Primary Contact)**

Name:

DeAnna Walter

Company:

Address:

City/State/Zip:

Phone:

Email:

226 West 4th Street  
Davenport IA 52801  
563-328-1350  
dawalter@gmail.com

*Application Type:*

**Plan and Zoning Commission**

Rezoning (Zoning Map Amendment)

Subdivision

Final Development Plan

Right-of-way or Easement Vacation

Voluntary Annexation

Zoning Ordinance Text Amendment

**Owner** (if different from Applicant)

Name:

Company:

Address:

City/State/Zip

Phone:

Email:

N/A

**Engineer** (if applicable)

Name:

Company:

Address:

City/State/Zip

Phone:

Email:

N/A

**Architect** (if applicable)

Name:

Company

Address:

City/State/Zip:

Phone:

Email:

N/A

**Attorney** (if applicable)

Name:

Company:

Address:

City/State/Zip:

Phone:

Email:

N/A

**Zoning Board of Adjustment**

Hardship Variance

Special Use Permit

Special Use Permit - New Cell Tower

Home Occupation Permit

Special Exception

Appeal from an Administrative Decision

**Design Review Board**

Certificate of Design Approval Demolition

Request in the Downtown

**Historic Preservation Commission**

Certificate of Appropriateness

Landmark Nomination

Demolition Request



## Historic Resource:

- ☒ Local Hamburg Historic District
- ☐ Iowa Soldier's Orphans' Historic District
- ☐ Marycrest College Historic District
- ☐ Individually Listed Local Historic Landmark

**Not sure if you have a Historic Resource?** You can click [here](#) to access the City's GIS Map.

Historic Resources requiring a Certificate of Appropriateness are mapped with a  or .

If you are unsure, please contact the Community Planning and Economic Development staff at (563) 326-7765 or [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) and we can help you.

## When is a certificate of appropriateness required?

Prior to the commencement of the work.

## What type of activity requires the approval of a certificate of appropriateness?

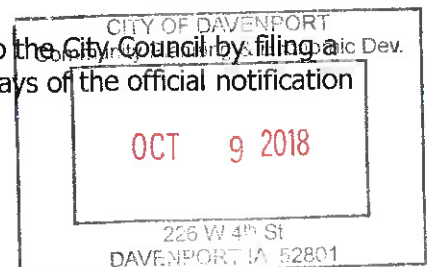
Any activity requiring a building or sign permit, except demolition, that would change the exterior architectural appearance of a structure. Examples include new construction, exterior alterations, relocations, reconstructions and infill development.

## Submittal Requirements

- The following items should be submitted to [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) for review:
  - Please contact Community Planning and Economic Development staff at (563) 326-7765 or [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) so we can help you determine what exactly is required to be submitted. Incomplete applications will not be accepted.
  - The completed application form.
  - A work plan that accurately and completely describes the work to be done.
  - Manufacturer's specifications for all products being used.
  - For new construction and additions, a site plan drawn to scale showing dimensions of the structure and setbacks to property lines.
  - Color photographs depicting the building elevations and proposed construction.

## Determination of the request by the Historic Preservation Commission

- Only work described in the application may be approved by the Commission.
- The commission shall review a completed application within 60 calendar days to determine if the proposed activity will change any exterior architectural features of the property. The commission shall accept, review and request additional evidence and testimony from the applicant during the public hearing. The applicant may modify his/her plans as a result of the discussions with the Commission and resubmit them for approval. If the commission finds, by a simple majority, that the proposed activity conforms to the standards for review, as defined herein, then a Certificate of Appropriateness shall be issued approving said activity. If the Commission fails to decide on an application within the specified time period, the application shall be deemed approved.
- The owner(s) of record may appeal the Commission's decision to the City Council by filing a written appeal with the city clerk's office within thirty calendar days of the official notification of determination.



**The applicant hereby acknowledges and agrees to the following requirements:**

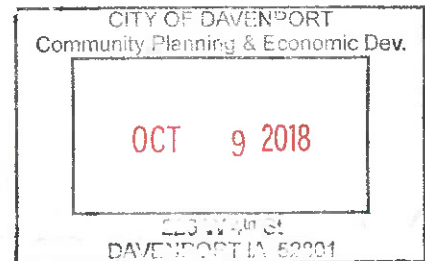
- (1) The applicant must be present at the public meeting.
- (2) No work shall commence until the Historic Preservation Commission has approved the Certificate of Appropriateness.
- (3) All work shall be in accordance with the approved Certificate of Appropriateness . Changes not in accordance with the approval may require a subsequent Certificate of Appropriateness.
- (4) Historic Preservation Commission approval does not vest against other required land development regulations or other regulatory approvals that may apply. The applicant must contact Davenport Public Works 1200 East 46th Street, Davenport, IA 52807 to apply for all necessary permits prior to the commencement of said work.

Applicant: DeAnna Uhlir Date: 9/30/18  
Do you acknowledge and agree to the aforementioned submittal requirements, formal procedure and understand that you must be present at scheduled meetings? Yes ☒

Received by: \_\_\_\_\_ Date: \_\_\_\_\_  
Planning staff

Date of the Public Meeting: \_\_\_\_\_

Meetings are held in City Hall Council Chambers located at 226 West 4<sup>th</sup> Street, Davenport, Iowa.



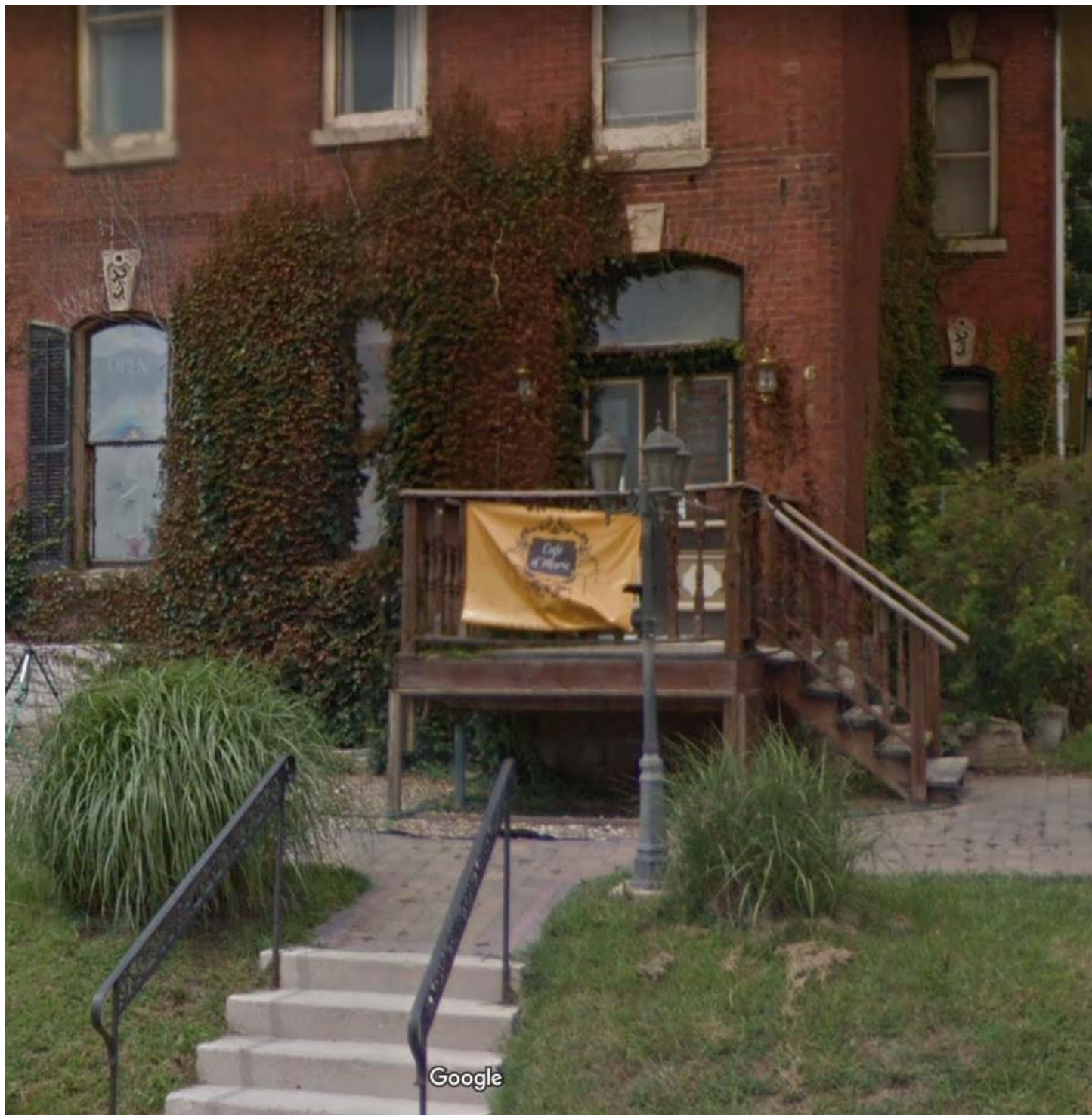
## Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Commission.

Remove and replace green treated deck boards and hand rails with the same.







# Iowa Site Inventory Form

## State Historic Preservation Office

(July 2014)

State Inventory Number: 82-00478 ☐ New ☒ Supplemental

9-Digit SHPO Review & Compliance (R&C) Number: \_\_\_\_\_

☐ Non-extant Year: \_\_\_\_\_

**Read the Iowa Site Inventory Form Instructions carefully, to ensure accuracy and completeness before completing this form. The instructions are available on our website: <http://www.iowahistory.org/historic-preservation/statewide-inventory-and-collections/iowa-site-inventory-form.html>**

### • Property Name

A) Historic name: Henry C. (Jr.) and Johanna (Wessel) Struck House (#1)

B) Other names: Field site #A-09, NRHP Map #3

### • Location

A) Street address: 614 W. 5<sup>th</sup> Street

B) City or town: Davenport (☐ Vicinity) County: Scott

C) Legal description:

Rural: Township Name: \_\_\_\_\_ Township No.: \_\_\_\_\_ Range No.: \_\_\_\_\_ Section: \_\_\_\_\_ Quarter: \_\_\_\_\_ of Quarter: \_\_\_\_\_

Urban: Subdivision: Original Town Block(s): 29 Lot(s): west half of 3

### • Classification

**A) Property category:** *Check only one*

- ☒ Building(s)  
☐ District  
☐ Site  
☐ Structure  
☐ Object

**B) Number of resources (within property):**

*If eligible property, enter number of:*

Contributing Noncontributing

1 Buildings \_\_\_\_\_

\_\_\_\_\_ Sites \_\_\_\_\_

\_\_\_\_\_ Structures \_\_\_\_\_

\_\_\_\_\_ Objects \_\_\_\_\_

1 **Total** \_\_\_\_\_

*If non-eligible property, enter number of:*

\_\_\_\_\_ Buildings

\_\_\_\_\_ Sites

\_\_\_\_\_ Structures

\_\_\_\_\_ Objects

\_\_\_\_\_ **Total**

**C) For properties listed in the National Register:**

National Register status: ☒ Listed ☐ De-listed ☐ NHL ☐ NPS DOE

**D) For properties within a historic district:**

- ☒ Property contributes to a National Register or local certified historic district.  
☐ Property contributes to a potential historic district, based on professional historic/architectural survey and evaluation.  
☐ Property *does not* contribute to the historic district in which it is located.

Historic district name: Hamburg Historic District Historic district site inventory number: 82-00027

**E) Name of related project report or multiple property study, if applicable:**

MPD title

Historical Architectural Data Base #

### • Function or Use *Enter categories (codes and terms) from the Iowa Site Inventory Form Instructions*

**A) Historic functions**

01A01: Domestic / residence

**B) Current functions**

01A01: Domestic / residence

### • Description *Enter categories (codes and terms) from the Iowa Site Inventory Form Instructions*

**A) Architectural classification**

09A01: House – gable front

**B) Materials**

Foundation (visible exterior): 04: Stone

Walls (visible exterior): 03: Brick

Roof: 08A: Asphalt shingles

Other: \_\_\_\_\_

**C) Narrative description** ☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED

Site Number: 82-00478 Address: 614 W. 5<sup>th</sup> St City: Davenport County: Scott District Number: 82-00027

• **Statement of Significance**

**A) Applicable National Register Criteria:** *Mark your opinion of eligibility after applying relevant National Register criteria*

Criterion A: Property is associated with significant events. ☒ Yes ☐ No ☐ More research recommended

Criterion B: Property is associated with the lives of significant persons. ☐ Yes ☒ No ☐ More research recommended

Criterion C: Property has distinctive architectural characteristics. ☒ Yes ☐ No ☐ More research recommended

Criterion D: Property yields significant information in archaeology/history. ☐ Yes ☐ No ☐ More research recommended

**B) Special criteria considerations:** *Mark any special considerations; leave blank if none*

☐ A: Owned by a religious institution or used for religious purposes.

☐ E: A reconstructed building, object, or structure.

☐ B: Removed from its original location.

☐ F: A commemorative property.

☐ C: A birthplace or grave.

☐ G: Property less than 50 years of age or achieved significance within the past 50 years.

☐ D: A cemetery

**C) Areas of significance**

*Enter categories from instructions*

Community development / Social history

Architecture

**D) Period(s) of significance**

**E) Significant dates**

*Construction date*

c. 1877 ☒ check if circa or estimated date

*Other dates, including renovations*

**F) Significant person**

*Complete if Criterion B is marked above*

**G) Cultural affiliation**

*Complete if Criterion D is marked above*

**H) Architect/Builder**

*Architect*

*Builder/contractor*

Whitaker, John

**I) Narrative statement of significance** ☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED

• **Bibliography** ☒ See continuation sheets for the list of research sources used in preparing this form

• **Geographic Data** Optional UTM references ☐ See continuation sheet for additional UTM or comments

Zone	Easting	Northing	NAD	Zone	Easting	Northing	NAD
1				2			
3				4			

• **Form Preparation**

Name and Title: Ryan Rusnak, Planner III

Date: June 9, 2016

Organization/firm: Davenport Historic Preservation Commission

E-mail: rrusnak@ci.davenport.ia.us

Street address: City Hall, 226 W. 4<sup>th</sup> Street

Telephone: 563-888-2022

City or Town: Davenport

State: Iowa

Zip code: 52801

• **ADDITIONAL DOCUMENTATION** *Submit the following items with the completed form*

**A) For all properties, attach the following, as specified in the Iowa Site Inventory Form Instructions:**

1. Map of property's location within the community.

2. Glossy color 4x6 photos labeled on back with property/building name, address, date taken, view shown, and unique photo number.

3. Photo key showing each photo number on a map and/or floor plan, using arrows next to each photo number to indicate the location and directional view of each photograph.

4. Site plan of buildings/structures on site, identifying boundaries, public roads, and building/structure footprints.

**B) For State Historic Tax Credit Part 1 Applications, historic districts and farmsteads, and barns:**

*See lists of special requirements and attachments in the Iowa Site Inventory Form Instructions.*

**State Historic Preservation Office (SHPO) Use Only Below This Line**

*The SHPO has reviewed the Site Inventory and concurs with above survey opinion on National Register eligibility:*

☐ Yes ☐ No ☐ More research recommended

☐ This is a locally designated property or part of a locally designated district.

Comments: \_\_\_\_\_

SHPO authorized signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00478  
 Related District Number: 82-00027

Page 1

Henry C. (Jr.) and Johanna Struck House (#1)	Scott
Name of Property	County
614 W. 5 <sup>th</sup> Street	Davenport
Address	City

This Iowa Site Inventory form has been prepared to supplement and document research for the amended Hamburg Historic District nomination project. Research was completed in 2014-16 by Ryan Rusnak, Rebecca Lawin McCarley, interns with the City of Davenport, and members of the Davenport Historic Preservation Commission. Research was reviewed by Rebecca Lawin McCarley and incorporated into the amended nomination with the information on the table below. The table below summarizes the research and architectural notes for this property. Additional information and final determinations of eligibility may also be found in the amended NRHP nomination (McCarley 2016). This project was funded by a FY2015 Historic Resource Development Program grant, through the State Historical Society of Iowa, with matching funds and staff hours contributed by the City of Davenport.

<b>614 W 5th St</b>  State #82-00478	<b>Henry C. (Jr) and Johanna (Wessel) Struck House (#1)</b>	1877 Gable-front - 2 story, 3 bay (McClelland type) (2 story)	Walls: brick (solid) Foundation: stone Roof: gable-front - asphalt shingles
Map #3 Field Site #A-09 Parcel #G0052-06  Updated district status: 1 contributing building (A, C)  1983 NRHP status: Contributing (key)	1877 - west half bought by Henry C. Struck - house built by contractor John H. Whitaker (Oszuscik 1979: 305); 1877-1898 - Henry and Johanna Struck (Henry C Struck & Son Hardware; 1892 - secretary and cashier at Davenport Savings Bank) 1880 census: Struck, Henry C. (Jr) (26, hardware) - born in Germany - Holstein (Germany - Holsteain, Germany - Holstein); wife: Johanna (24) - born in Holstein - Germany (Holsteain - Germany, Holstein - Germany) 1898-1900s - Hans and Anna Soenke; 1900s-1912 - Anna Sochke, also daughter Agnes Ruge and husband William; 1912-15 - William and Agnes Ruge 1910 Sanborn map: house - 2 story - extant 1910 census: Sochke, Anna (67, widow) - born in US - IA (Germany, Germany); wife: Roge, William (39) and Agnes (34 - daughter of Anna) - born in US - IA (US - IA, Germany) 1915-1933 - series of owners - vacant in 1915, 1925 (William Koester, Henry Jebens, Edward Berrigan, F.B. Huggins, Thomas Agar, Henry Hinrichs, Henry Moeller, George W. Barnes, M.H. Koch, Henry Moeller, Mae Moeller) 1933-1964 - Domenico and Rosina Giametta (Bay State Shoe Repair) - lived in one unit - second unit as rental by 1935; 1964-1971 - Giametta heirs 1956 Sanborn map: house - 2 story - extant 2010 - Café D'Marie opened on first story; residence on second story Current use: café and residence - owner occupied	Architect/builder: Whitaker, John (contractor/architect) Porch: entry deck (later) Windows: 1/1 wood windows - segmental arch brick lintel with carved keystones Architectural details: segmental arch brick lintels with carved keystones, double-door entry with transom, circular gable window, one story angled bay window Modifications: Historic: -; Non-historic: 2000s - front porch replaced by entry deck Garage: none Other site features:	

**Narrative Description**

This is a two-story, three-bay gable-front house that was built around 1877 for Henry C. and Johanna Struck. The brick house sits on a cut stone foundation. The gable-front roof is clad in asphalt shingles. The house features segmental arch brick lintels with carved stone keystones, a double-door entry, one-over-one-light double-hung wood windows and a circular gable window.

The façade is the south elevation of the house, facing West 5<sup>th</sup> Street. The double-door entry with fixed transom is accessed from a later wood deck. There are two one-over-one-light double-hung wood windows on the first floor and three one-over-one-light double-hung wood windows on the second floor, with lintels and keystones as noted. The east elevation of the main house has a cross gable square section that projects near the rear of this elevation. The south side of this projection has a one one-over-one-light double-hung wood window on the first floor and a one one-over-one-light double-hung wood window on the second floor, with lintels and keystones as noted. The east side of this projection

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 2

Henry C. (Jr.) and Johanna Struck House (#1)	Scott
Name of Property	County
614 W. 5 <sup>th</sup> Street	Davenport
Address	City

has a one-over-one light double-hung window, which appears to be later alteration. The north side of this projection has a one one-over-one-light double-hung wood window on the second floor, with lintel and keystone as noted. The east elevation of the one-story brick addition has two one-over-one light double-hung wood windows, with lintels and keystones as noted. The second floor of the north elevation of the main house has a one one-over-one light double-hung wood window and an entry door with non-historic storm door, which is accessed by a wood deck. The north elevation of the brick addition has a one-over-one light double-hung wood window. The north elevation has a one-story frame addition with wood weatherboard siding, which contains a one-over-one light double-hung wood window and fixed octagonal window. The west elevation of the main house has a one-story bay window near the center of this elevation, which contains a one-over-one light double-hung wood window, with lintel and keystone as noted. There is a one-over-one light double-hung wood window to either side of the bay window and three one-over-one light double-hung wood windows on the second floor, with lintels and keystones as noted.

**Narrative Statement of Significance**

The Henry C. (Jr.) and Johanna Struck House (#1) is noted as contributing historically under Criteria A and architecturally under Criterion C within the revised boundary for the Hamburg Historic District in Davenport. The garage is non-contributing within the historic district due to its later period of construction. The retaining wall is noted as a significant site feature. The house was previously noted as contributing in the original Hamburg Historic District in 1983 as well.

*Developmental history of the property*

On July 22, 1864, George L. Davenport transferred Lot 3 (Block 29) to John Bahls. City directories list John Bahls at 5<sup>th</sup> Street, north side, one west of Western Avenue in 1867. City directories list John Bhals as living at 5<sup>th</sup> Street, north wide, one west of Western in 1870. City directories John Bahls at 5<sup>th</sup> Street, north side, three east of Gaines Street in 1873". City directories list John Bahls at 610 West 5<sup>th</sup> Street in 1876 and 1880. His house appears to be the house that was on the east portion of the lot, not this current house on the west half of the lot. This part of the lot appears vacant through this period. On May 1, 1877, John Bahls transferred the west 40 feet of Lot 3 (Block 29) to Henry Struck. According to Philippe Oszusick, "A History of the Architecture and Urbanization of Nineteenth Century Davenport, Iowa," the house was built in 1877 by John H. Whitaker for Henry Struck Jr. (page 305). The 1877 city directory lists John. H. Whitaker - carpenter and builder with a business location at 1016 Front Street. The 1880 federal census lists the Struck family at 614 West 5<sup>th</sup> Street, including H.C. (26 – hardware dealer – born in Holstein (Germany) – parents too), Johanna (24 - born in Holstein (Germany), and Allas (7 months – daughter). A servant also lived with them (Caralina – born in Holstein (Germany)). Subsequent city directories in 1880 to 1885 list Henry C. Struck Jr. at 614 West 5<sup>th</sup> Street, working for the hardware store of Henry C Struck & Son. John Bahls continued to live to the east at 610 West 5<sup>th</sup> Street (demolished). The 1885 Iowa census lists Henrich C. Struck (31 – hardware merchant – born in Germany), Johannah (29 – born in Germany),their son Kuno (10 – born in Scott County, United States), and housekeeper Lydia Heachez (born in Scott County, United States). The 1886 Sanborn map depicts a two-story house with a one-story bay window at the side (west), a one-story porch at the rear (north) and at the rear corner (northeast). The family continued living at this location as they are listed in the 1888 and 1892 city directories. Henry was a city collector in 1888, and he was the county treasurer and cashier of Davenport Savings Bank in 1892. The 1892 Sanborn

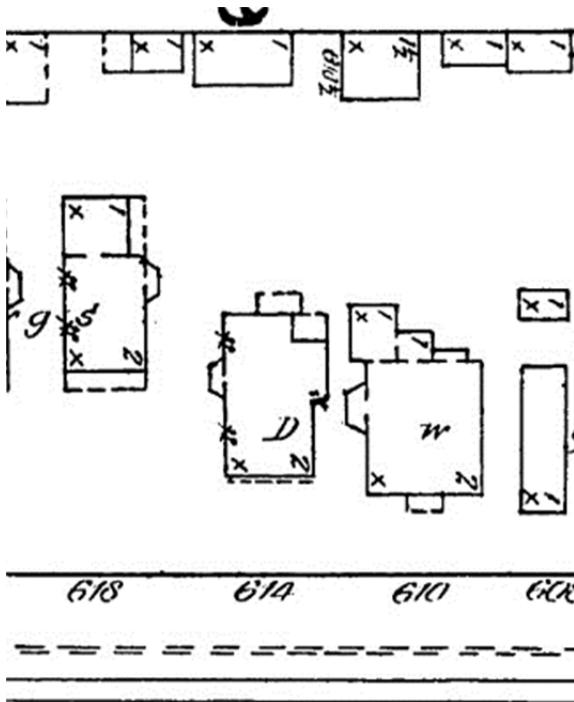
**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00478  
 Related District Number: 82-00027

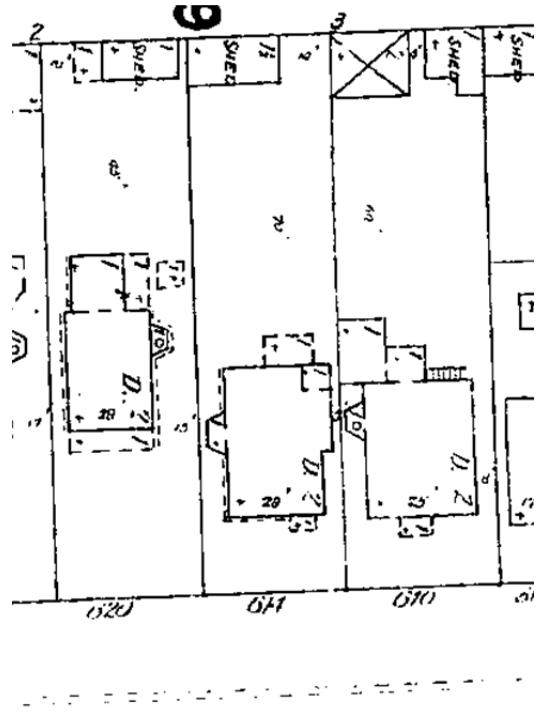
Page 3

Henry C. (Jr.) and Johanna Struck House (#1)	Scott
Name of Property	County
614 W. 5 <sup>th</sup> Street	Davenport
Address	City

map shows the same basic footprint as the 1886 map, except there is a small entry porch at the front (south).



1886 Sanborn fire insurance map



1892 Sanborn fire insurance map

Per the Gold Coast home tour brochure in 2011, Henry Struck Jr. built three homes in this neighborhood over his lifetime: this one at 614 West 5<sup>th</sup> Street, a Queen Anne house now located at 703 Ripley Street, and "The Castle" at 615 Ripley Street. 614 West 5<sup>th</sup> Street was the first of Henry's homes. Henry C. Struck Jr. was born in Schleswig-Holstein in 1853. He came to America with his parents in 1854. The family lived in New Orleans for a few months then took a steamboat to Davenport in the summer of 1855. His father, Henry C. Struck Sr., worked as a mason and stonebreaker for a year before renting a farm in Scott County. His hard work in agriculture paid off, he eventually bought hundreds of acres and the family prospered. Henry Jr. began training as a bookkeeper at age 13, working for several Davenport firms until he and his father opened Henry C. Struck & Son, a hardware store, when Henry was 25. Later, he served as city collector, then as county treasurer. In 1892, he became Secretary and Cashier for the Davenport Savings Bank. He eventually rose to the position of Director. The Strucks lived at 614 West 5th Street until they moved into their new home on Ripley in 1897. On April 1, 1898 Johanna Struck and husband transferred the west half of Lot 3 (Block 29) to Hans Soenke. The 1902 city directory lists Hans and Anna Soenke at 614 West 5<sup>th</sup> Street. The 1910 federal census lists Anna Soenke (67 – widow - born in Germany – came to the United States in 1862) at 614 West 5<sup>th</sup> Street in the household of her daughter Agnes and her husband William Roge. Their family includes William Roge (39 - married for 14 years - born in Iowa, United States), Agnes (34 - works as an agent for real estate - born in Iowa, United States) and their children Waldo (12), Clarence (10), Hans (7), Etta (4), and Boetta (10 months). The 1910 Sanborn map shows the same basic footprint as the 1892 map, except the front porch has been removed. On May 18, 1912, Heinrich Peter

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 4

Henry C. (Jr.) and Johanna Struck House (#1)	Scott
Name of Property	County
614 W. 5 <sup>th</sup> Street	Davenport
Address	City

Soenke, executor transferred the west half of Lot 3 (Block 29) to Agnes Ruge. On May 1, 1915, Agnes Ruge transferred the west half of Lot 3 (Block 29) to William Koester and wife. The 1915 city directory lists 614 West 5th Street as vacant. The property then was owned by a series of people. On January 6, 1919, William Koester and wife transferred the property to Henry Jebens and wife (west half of Lot 3, Block 29). On December 15, 1921, Henry Jebens and wife transferred the west half of Lot 3 (Block 29) to Edward Berrigan. On August 30, 1922, Edward Berrigan and wife transferred the west half of Lot 3 (Block 29) to F. B. Huggins and wife. On January 11, 1923, F. B. Huggins transferred the west half of Lot 3 (Block 29) to A. G. Wilcox and Thomas Agar. On February 28, 1923, Thomas Agar and wife transferred the west half of Lot 3 (Block 29) to Henry Hinrichs. On March 3, 1925, Henry Hinrichs, widower, transferred the west half of Lot 3 (Block 29) to Henry Moeller. On September 16, 1925, Henry Moeller and wife transferred the west half of Lot 3 (Block 29) to George W. Barnes and wife. The 1925 city directory listed 614 West 5th Street as vacant. The property was then again owned by a series of people. On June 13, 1927, George W. Barnes and wife transferred the west half of Lot 3 (Block 29) to M. H. Koch. On September 3, 1930, Frank D. Martin, Sheriff, transferred the west half of Lot 3 (Block 29) to Henry Moeller. On October 5, 1931, Henry Moeller and wife transferred the west half of Lot 3 (Block 29) to Mae A. Moeller. On August 15, 1933, Mae A. Moeller transferred the west half of Lot 3 (Block 29) to Domenico Giametta. The property was listed as having two units by 1935, with Dominic Giametta living at 614 1/2 West 5<sup>th</sup> Street, and the unit at 614 West 5<sup>th</sup> Street listed with a renter (Ollie Pittser – driller and his wife Elsie). On February 10, 1937, a building permit was issued to Dominic Grandinetti to excavate 12 inches below rubble foundation and install 8 inch concrete retaining wall. On October 2, 1939, a building permit was issued to owner Dominic Grandinetti to excavate under the porch for a coal bin and to build a concrete wall under the same. On May 10, 1941, Domenico Giametta transferred west half of Lot 3 (Block 29) to Rosina Giametta. City directories show that he continued living at 614 1/2 West 5<sup>th</sup> Street. City directories list Mrs. Grace A. Philebar - machine operator, Geraldine Philebar - office secretary at Warren-Nicholson Company and Virgil R. Philebar - station attendant at 614 W. 5<sup>th</sup> Street in 1945 city directory. City directories list Dominico Giammetta at 614 West 5<sup>th</sup> Street in the 1955. The 1956 Sanborn map shows the same footprint as 1910 map, except a two story front porch was added. On November 2, 1964, Rosa Giammetta, deceased, willed the west half of Lot 3, (Block 29) to Donato Giametta et al.

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 5

Henry C. (Jr.) and Johanna Struck House (#1)

Scott

Name of Property

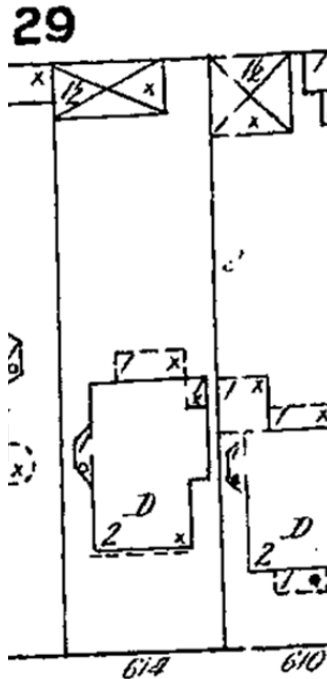
County

614 W. 5<sup>th</sup> Street

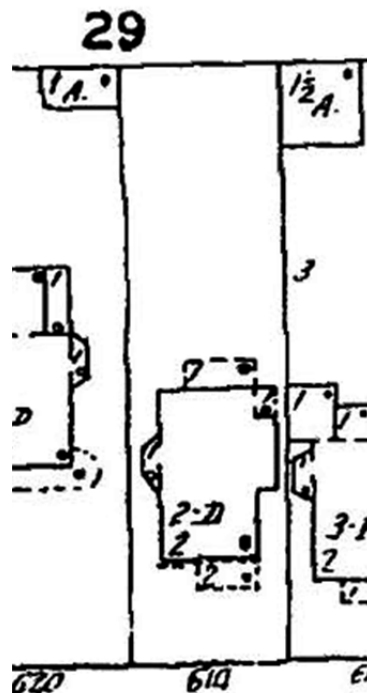
Davenport

Address

City



1910 Sanborn fire insurance map



1956 Sanborn fire insurance map

Per the Gold Coast home tour brochure in 2011, the duplex was not owner occupied after 1972. By 1988, it was one of four houses on the block listed as vacant. In 1999, Mike Gustafson purchased the home and began limited renovations. The owners at that time (2011) purchased it in 2001. The home was noted as the only part of the Gold Coast neighborhood zoned for commercial use. Their plan was to open a coffee shop and chiropractic clinic, as well as retaining residential space. Work began immediately, but a waterline break on the second floor damaged kitchen renovations in 2004. Café D'Marie opened in fall 2010. The building's first floor also housed a massage therapist in 2011, open by appointment. The owners continued to maintain a home on the second floor. In 2013, the property was transferred by quit claim deed to Deanna Walter, who continues to live here and operate the Café D'Marie.

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 6

Henry C. (Jr.) and Johanna Struck House (#1)	Scott
Name of Property	County
614 W. 5 <sup>th</sup> Street	Davenport
Address	City

**Bibliography**

Bowers, Martha H. "Historical and Architectural Resources of Davenport, Iowa," Multiple Resource Application, National Register of Historic Places nomination form. Dennett, Muessig & Associates, Iowa City, Iowa. Revised July 1983. Listed on May 29, 1984.

Bowers, Martha H. "Hamburg Historic District," part of Historical and Architectural Resources of Davenport, Iowa, Multiple Resource Application, National Register of Historic Places nomination form. Dennett, Muessig & Associates, Iowa City, Iowa. January 1982. Listed on May 5, 1983.

Building permits. Building Department, City of Davenport, Public Works, 1200 E. 46<sup>th</sup> Street, Davenport, Iowa.

Census records, federal and Iowa. Researched online through Ancestry.com.

City directories, Davenport, Iowa. Special Collections, Davenport Public Library, Davenport, Iowa, and also online through Ancestry.com.

Deed and transfer book records. Auditor's Office and Recorder's Office, Scott County Administration Building, Davenport, Iowa.

Gold Coast home tour brochures. In collection of Marion Meginnis, Davenport, Iowa.

McCarley, Rebecca Lawin. "Hamburg Historic District (amendment, increase, decrease)," National Register of Historic Places nomination form. SPARK Consulting Davenport, Iowa. Draft nomination, April 2016.

Oszuscik, Philippe. "A History of the Architecture and Urbanization of Nineteenth Century Davenport, Iowa." Ph.D. Dissertation, University of Iowa, 1979.

Sanborn Map Company. "Davenport, Iowa," fire insurance maps. New York: Sanborn Map Company, 1886, 1892, 1910, 1956.

Svendsen, Marlys and Martha H. Bowers. *Davenport: Where the Mississippi Runs West*. Davenport: Department of Community Development, 1982.

# Iowa Site Inventory Form

State Historic Preservation Office  
Continuation Sheet

Site Number: 82-00478  
Related District Number: 82-00027

Page 7

Henry C. (Jr.) and Johanna Struck House (#1)

Name of Property

Scott

County

614 W. 5<sup>th</sup> Street

Address

Davenport

City

## Location map



Field site numbers, initial coding by date: Z99 - built by 1930 Z99 - built since 1930 Z99 - moved since 1930  
(Hamburg Historic District - 1982 nomination - period of significance c.1848-c.1932)

0 100 200 400 Feet

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 8

Henry C. (Jr.) and Johanna Struck House (#1)

Name of Property

Scott

County

614 W. 5<sup>th</sup> Street

Address

Davenport

City

**Revised district map**



**Building Key:**  
Z99 - Contributing  
Z00 - Non-contributing

**Hamburg Historic District (amended)**  
R.L. McCarley, February 2016 draft  
initial/draft evaluations

0 100 200 400 Feet

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 9

Henry C. (Jr.) and Johanna Struck House (#1)

Name of Property

Scott

County

614 W. 5<sup>th</sup> Street

Address

Davenport

City

**Site plan (from Scott County GIS website)**



-  614 West 5th Street
-  Buildings

0 5 10 20 Feet  


2014 Aerial Photograph



# Iowa Site Inventory Form

## State Historic Preservation Office

### Continuation Sheet

Site Number: 82-00478  
Related District Number: 82-00027

Page 10

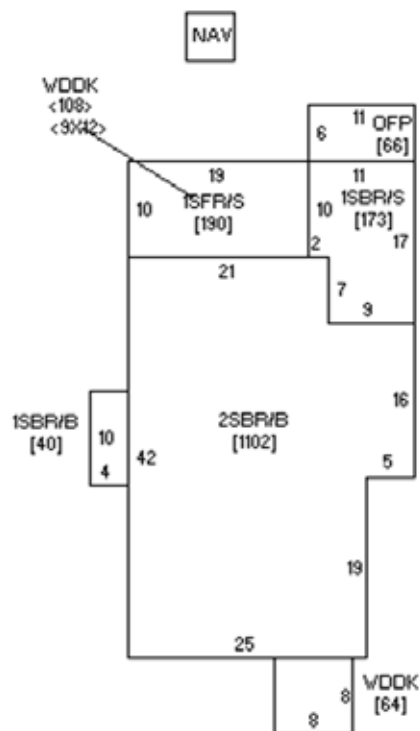
Scott

County \_\_\_\_\_

Davenport

City \_\_\_\_\_

### Building plan (from assessor's website)



Sketch by [www.camavision.com](http://www.camavision.com)

## Historic images

**None identified during this project**

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 11

Henry C. (Jr.) and Johanna Struck House (#1)

Name of Property

Scott

County

614 W. 5<sup>th</sup> Street

Address

Davenport

City

**Photograph from 1981-82 survey/nomination project**



**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 12

Henry C. (Jr.) and Johanna Struck House (#1)

Name of Property

Scott

County

614 W. 5<sup>th</sup> Street

Address

Davenport

City

**Digital photographs**



Photograph 82-00478-001 - House, looking northwest (March 2015)

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 13

Henry C. (Jr.) and Johanna Struck House (#1)

Scott

Name of Property

County

614 W. 5<sup>th</sup> Street

Davenport

Address

City



Photograph 82-00478-002 – House, looking west (March 2015)

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00478  
Related District Number: 82-00027

Page 14

Henry C. (Jr.) and Johanna Struck House (#1)

Name of Property

Scott

County

614 W. 5<sup>th</sup> Street

Address

Davenport

City



**Photograph 82-00478-003 – House, looking southeast (March 2015)**

City of Davenport  
Historic Preservation Commission

Department: Community Planning and Economic Development  
Department  
Contact Info: Ryan Rusnak 563-888-2022  
rrusnak@ci.davenport.ia.us

**Date**  
**11/9/2018**

**Subject:**

Case COA18-12: Request of Eyreka Barnes to replace decks at 528 West 6th Street.  
The Petersen-Schricker House is located in the Local Historic Hamburg District.

**Recommendation:**

**Finding:**

The deck replacements are a replacement in kind.

**Recommendation:**

Staff recommends approval of COA18-12 in accordance with the work write up and renderings.

**Background:**

The petitioner began replacing these decks without a permit. Preservation Commission approval was never obtained. The design of the deck is similar to the previous decks, which were pressure treated.

**ATTACHMENTS:**

Type	Description
▣ Backup Material	Application
▣ Backup Material	Site Photographs
▣ Backup Material	Survey Form

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Rusnak, Ryan	Approved	10/25/2018 - 12:54 PM

# Certificate of Appropriateness Application

226 West 4<sup>th</sup> Street  
Davenport, Iowa 52801  
(563) 326-7765  
Planning@ci.davenport.ia.us

COMMUNITY PLANNING & ECONOMIC DEVELOPMENT

**Property Address\*** 528 W 6th St Davenport, IA 52803

**\*If no property address, please submit a legal description of the property.**

## **Applicant (Primary Contact)\*\***

Name: Eyreka Barnes  
Company: Massut, LLC  
Address: 4439 Devil's Glen Rd PO Box 404  
City/State/Zip: Bettendorf, IA 52722  
Phone: 563-209-8761  
Email: massutllc@gmail.com

## **Owner (if different from Applicant)**

Name:   
Company:   
Address:   
City/State/Zip:   
Phone:   
Email:

## **Engineer (if applicable)**

Name:   
Company:   
Address:   
City/State/Zip:   
Phone:   
Email: massutllc@gmail.com

## **Architect (if applicable)**

Name:   
Company:   
Address:   
City/State/Zip:   
Phone:   
Email:

## **Attorney (if applicable)**

Name:   
Company:   
Address:   
City/State/Zip:   
Phone:   
Email:

## *Application Form Type:*

### **Plan and Zoning Commission**

- Rezoning (Zoning Map Amendment) ☐  
Zoning Ordinance Text Amendment ☐  
Right-of-way or Easement Vacation ☐  
Final Development Plan ☐  
Voluntary Annexation ☐  
Subdivision ☐

### **Zoning Board of Adjustment**

- Appeal from an Administrative Decision ☐  
Special Use Permit - New Cell Tower ☐  
Home Occupation Permit ☐  
Special Exception ☐  
Special Use Permit ☐  
Hardship Variance ☐

### **Design Review Board**

- Certificate of Design Approval ☐  
Demolition Request in the Downtown ☐

### **Historic Preservation Commission**

- Certificate of Appropriateness ☒  
Landmark Nomination ☐  
Demolition Request ☐

### **Administrative**

- Floodplain Development ☐  
Cell Tower Co-Location ☐  
Identification Signs ☐  
Site Plan ☐

**\*\*If the applicant is different from the property owner, please submit an authorization form or an accepted contract for purchase.**

## Historic Resource:

- ☒ Local Hamburg Historic District
- ☐ Iowa Soldier's Orphans' Historic District
- ☐ Marycrest College Historic District
- ☐ Individually Listed Local Historic Landmark

**Not sure if you have a Historic Resource?** You can click [here](#) to access the City's GIS Map.

Historic Resources requiring a Certificate of Appropriateness are mapped with a  or .

If you are unsure, please contact the Community Planning and Economic Development staff at (563) 326-7765 or [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) and we can help you.

## When is a certificate of appropriateness required?

Prior to the commencement of the work.

## What type of activity requires the approval of a certificate of appropriateness?

Any activity requiring a building or sign permit, except demolition, that would change the exterior architectural appearance of a structure. Examples include new construction, exterior alterations, relocations, reconstructions and infill development.

## Submission requirements

- The following items should be submitted to [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) for review:
- Please contact Community Planning and Economic Development staff at (563) 326-7765 or [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) so we can help you determine what exactly is required to be submitted.
- Incomplete applications will not be accepted.
- The completed application form.
- A work plan that accurately and completely describes the work to be done.
- Manufacturer's specifications for all products being used.
- For new construction and additions, a site plan drawn to scale showing dimensions of the structure and setbacks to property lines.
- Color photographs depicting the building elevations and proposed construction.

## Determination of the request by the Historic Preservation Commission

- Only work described in the application may be approved by the Commission.
- The commission shall review a completed application within 60 calendar days to determine if the proposed activity will change any exterior architectural features of the property. The commission shall accept, review and request additional evidence and testimony from the applicant during the public hearing. The applicant may modify his/her plans as a result of the discussions with the Commission and resubmit them for approval. If the commission finds, by a simple majority, that the proposed activity conforms to the standards for review, as defined herein, then a Certificate of Appropriateness shall be issued approving said activity. If the Commission fails to decide on an application within the specified time period, the application shall be deemed approved.
- The owner(s) of record may appeal the Commission's decision to the City Council by filing a written appeal with the city clerk's office within thirty calendar days of the official notification of determination.

**The applicant hereby acknowledges and agrees to the following requirements:**

- (1) No Application for a Certificate of Appropriateness will be presented to the Historic Preservation Commission for consideration until the applicant has submitted all requested information to the Commission Secretary.
- (2) No work subject to Historic Preservation Commission approval may commence until the Historic Preservation Commission has issued a Certificate of Appropriateness approving said work.
- (3) All work shall be in accordance with Historic Preservation Commission approval. Changes not in accordance with the approval may require a subsequent Historic Preservation Commission approval.
- (4) Historic Preservation Commission approval would not vest against other required land development regulations or other regulatory approvals that may apply. The applicant must contact the City's Office of Construction Code Enforcement located in the Public Works Facility at East 46th Street and Tremont Avenue (1200 Tremont) to apply for all necessary permits prior to the commencement of said work.

Applicant:  Date:

By typing your name, you acknowledge and agree to the aforementioned submittal requirements and formal procedure and that you must be present at scheduled meetings.

Received by:  Date:   
Planning staff

Date of the Public Meeting:

Meetings are held in City Hall Council Chambers located at 226 West 4<sup>th</sup> Street, Davenport, Iowa.

## Work Plan

Please describe the work being performed. Please note that only work described in the application may be approved by the Commission.

Replacement in kind of upper deck and lower porch. Due to City Order (Tony Haut) and deterioration, deck and porch will be replaced with exact copies of what was already there.

Lower



## Building Guide

ILLOWA Chapter of ICC

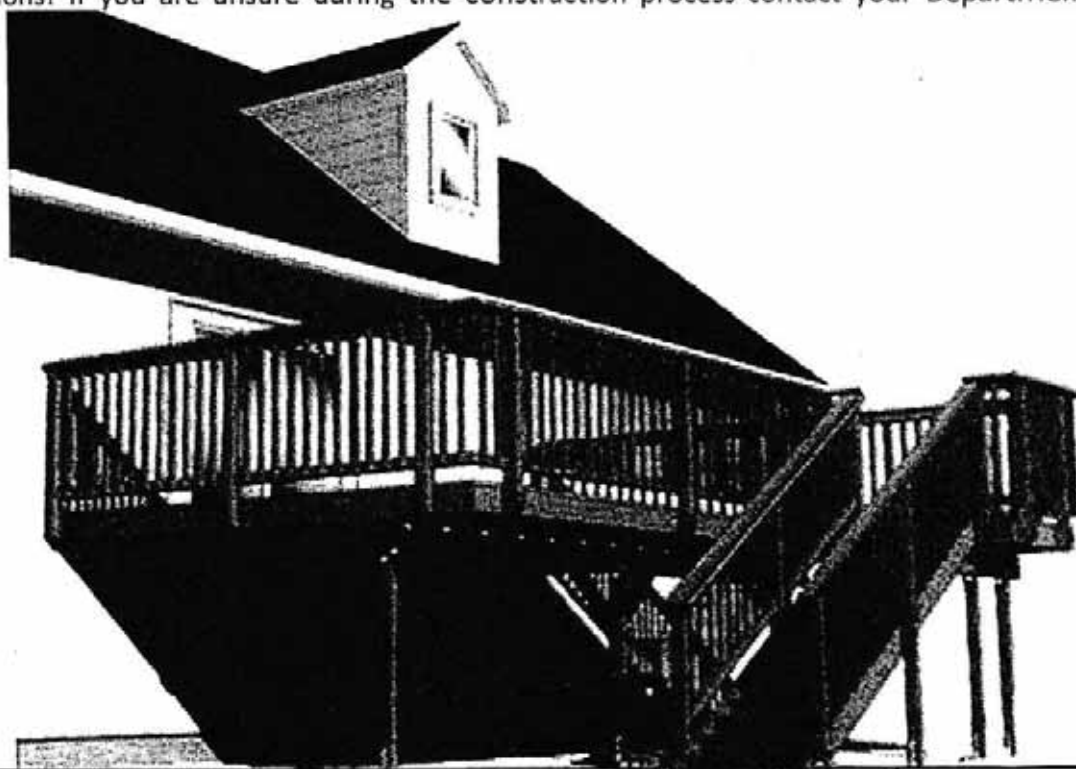


### Single Family Residential Uncovered Deck and Porches

#### How to use this guide:

This guide was designed to assist the do-it-yourselfer create a construction plan to build a simple deck using conventional construction methods. Non-conventionally constructed decks may require a design professional.

1. **Complete this Building Guide** by filling in the blanks on page two and three and indicating which construction details will be used.
2. **Provide a Site Plan** showing the dimensions of your project and its relationships to existing buildings or structures, utilities, property lines and easements. In addition to project dimensions, your plot plan must also show other details such as post locations and spacing, joist and beam spans, and any other pertinent information not shown on the section drawing.
3. **Now you are ready to apply for your building permit.** The majority of permit applications can be processed with little delay. The submitted documents will help determine if the project is in compliance with building codes, zoning ordinances and other applicable laws.
4. **Inspections.** A footing inspection is required before they can be poured. A framing inspection is required before you lay decking or attach handrails to verify plans are being followed and that proper connections are used. All projects must receive a final inspection in order to verify that your project meets code, is safe to use and to close out the permit. Remember YOU are responsible to get the inspections! If you are unsure during the construction process contact your Department of Building Safety.



DISCLAIMER: ILLOWA Chapter of the ICC has created this handout to assist with plans submittal under the 2009 International Residential Code, and it is not intended to cover all circumstances. Please check with the Department of Building Safety for additional requirements.

# Single Family Residential—Uncovered Deck and Porches

## Directions:

1. List homeowner name and address of project.
2. Fill in the blanks on pages 2 and 3 with dimensions and materials which will be used to build the structure. Please print legibly.
3. Choose which post to beam detail from page 4 that will be used.

Address:

---



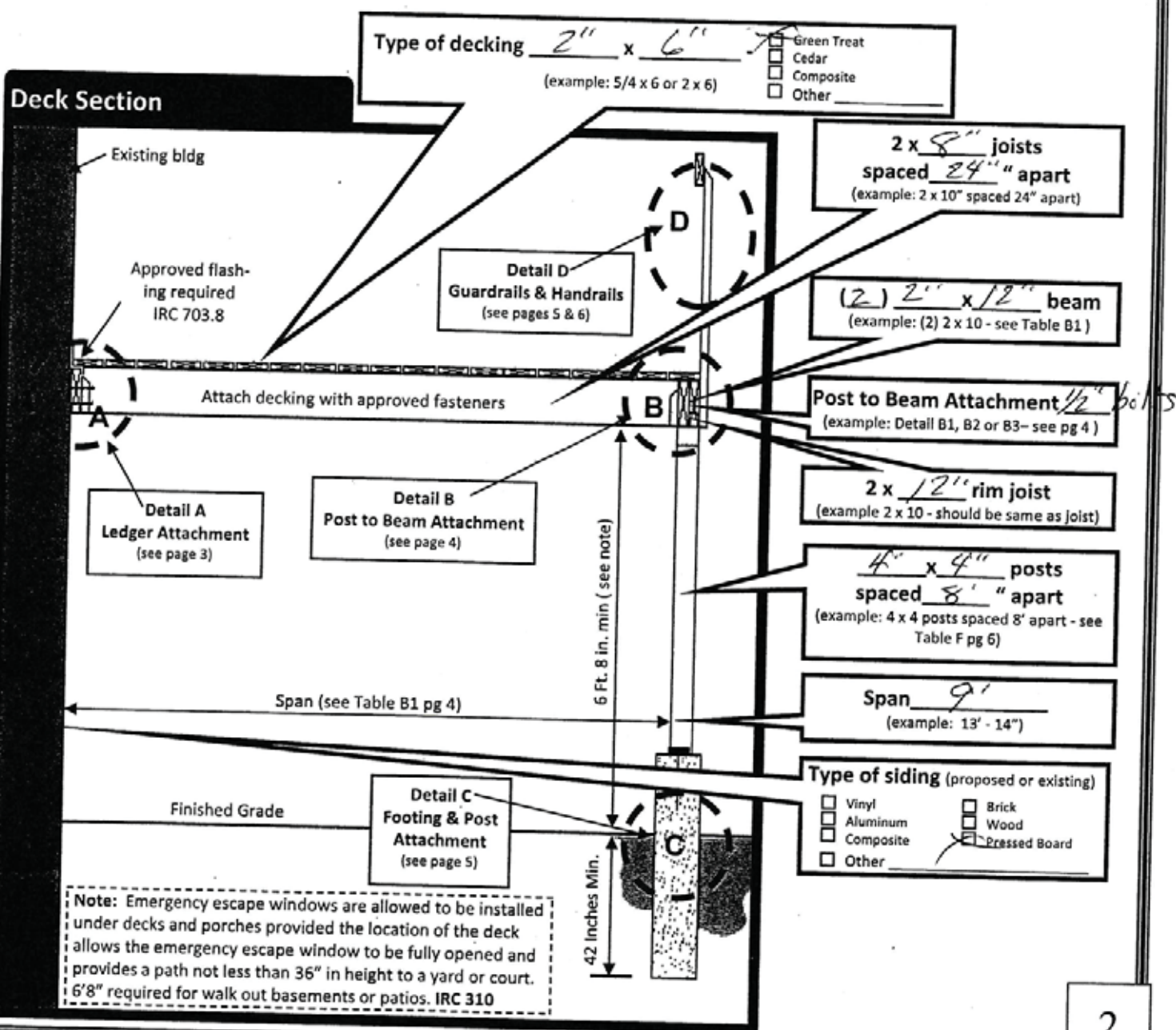
---



---

## Minimum Requirements:

- All lumber shall be naturally durable wood or pressure treated.
- All screws, bolts, and nails for use with preservative treated wood shall be hot-dipped galvanized, stainless steel, silicon bronze or copper. Fasteners to be hot-dipped galvanized shall meet the requirements of ASTM A 153, Standard Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware, Class D for fasteners 3/8" in diameter and smaller or Class C for fasteners with diameters over 3/8". IRC 317.3.1
- All hardware (joist hangers, cast-in-place post anchors, etc.) shall be galvanized or shall be stainless steel. Hardware to be hot-dipped prior to fabrication shall meet ASTM A 653, Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process, G-185 coating. Hardware to be hot-dipped galvanized after fabrication shall meet ASTM A123, Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products.



# Single Family Residential—Uncovered Deck and Porches

## Detail A

### DIRECTIONS:

1. Identify Ledger Size  $2 \times 12$  X  $10'$  (example  $2' \times 10" \times 10'$ )
2. Identify # of fasteners needed \_\_\_\_\_ Size \_\_\_\_\_ X \_\_\_\_\_  
(example two  $1/2" \times 6"$  lags @  $18"$  O.C. See Table A1) \*If using fasteners other than  $1/2$  lag or bolts, provide manufacturer's specs.
3. Location of lateral load connections \_\_\_\_\_ (see Figure A2)

- ☐  $1/2$  Lags  
☐  $1/2$  Bolts  
☐  $1/2$  Bolts w washers  
☐ Other\* \_\_\_\_\_ @ \_\_\_\_\_ O.C.

**NOTE:** This is for attached decks only. Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting (502.2.2).

IRC TABLE 502.2.2.1

Table A1

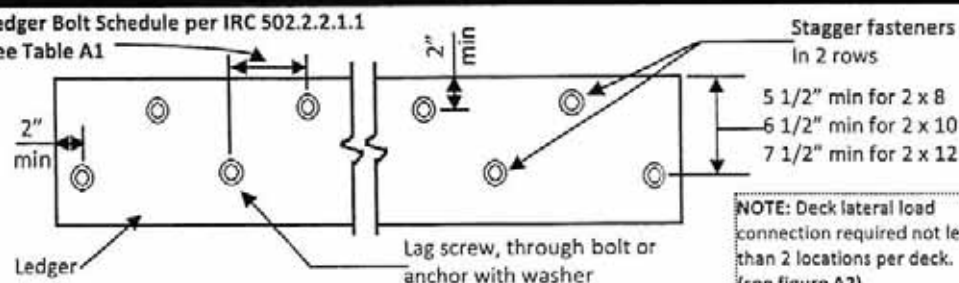
FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST <sup>c,f,g</sup> (Deck live load = 40 psf, deck dead load = 10 psf)

FLOOR JOIST SPAN	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
Connection details	On-center spacing of fasteners <sup>d,e</sup>						
$1/2$ inc diameter lag screw with $15/32$ inch maximum sheathing <sup>a</sup>	30	23	18	15	13	11	10
$1/2$ inch diameter bolt with $15/32$ inch maximum sheathing	36	36	34	29	24	21	19
$1/2$ inch diameter bolt with $15/32$ inch maximum sheathing and $1/2$ inch stacked washers <sup>b,h</sup>	36	36	29	24	21	18	16

Figure A1

### Ledger Bolt Schedule per IRC 502.2.2.1.1

See Table A1

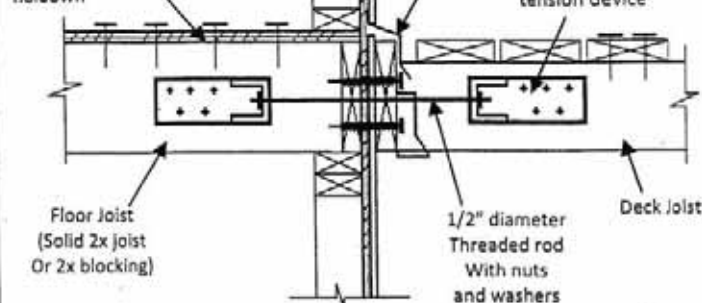


- The tip of the lag screw shall fully extend beyond the inside face of the band joist.
- The maximum gap between the face of the ledger board and face of the band joist.
- Ledgers shall be flashed to prevent water from contacting the house band joist.
- Lag screws and bolts shall be staggered in accordance with the diagram above.
- Deck ledger shall be minimum  $2 \times 8$  pressure-preservative-treated No. 2 grade lumber, or other approved materials by standard engineering practice.
- When solid-sawn preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, LVL or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.
- A minimum  $1 \times 9 1/2$  Douglas Fir LVL rimboard shall be permitted in lieu of the 2-inch nominal band joist.
- Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.

Figure A2

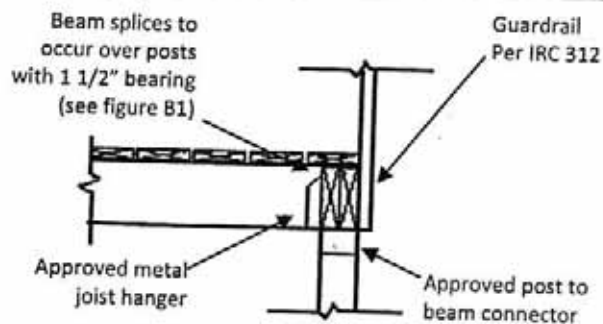
### Deck lateral load connection R502.2.2.3

Floor sheathing nailed at 6" max on center to joist with holddown

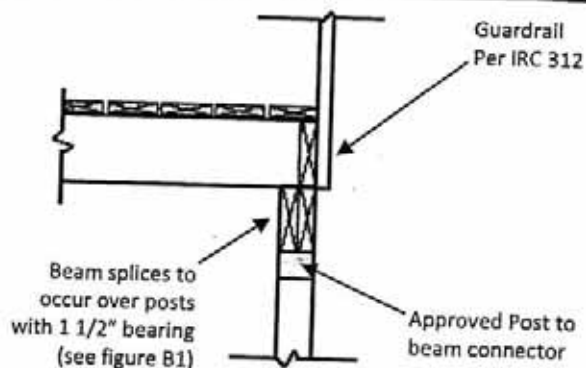


# Single Family Residential—Uncovered Deck and Porches

## Detail B1

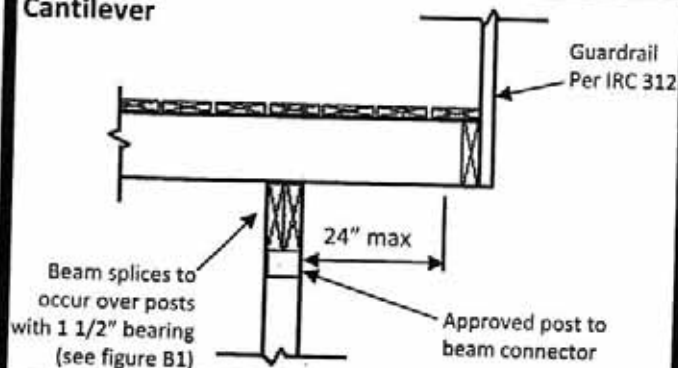


## Detail B2



## Detail B3

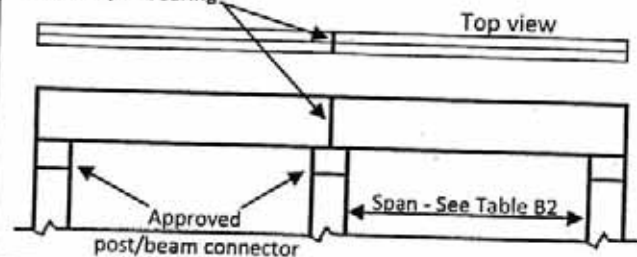
### Cantilever



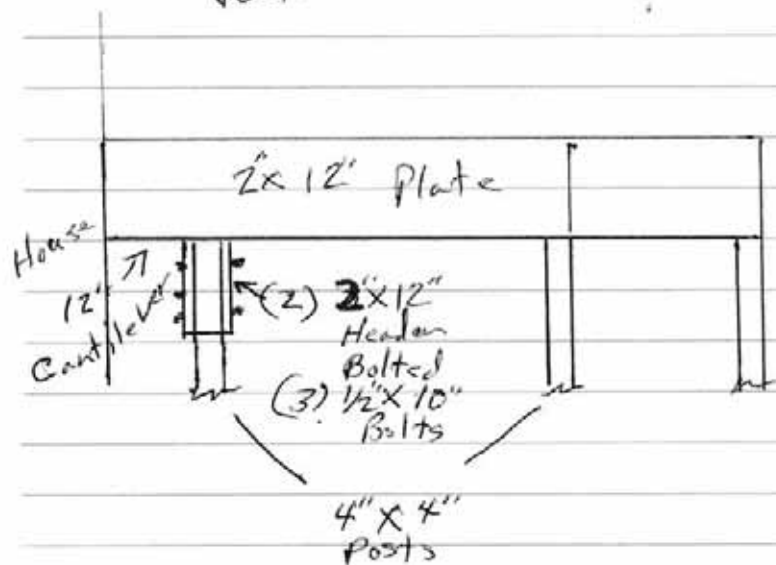
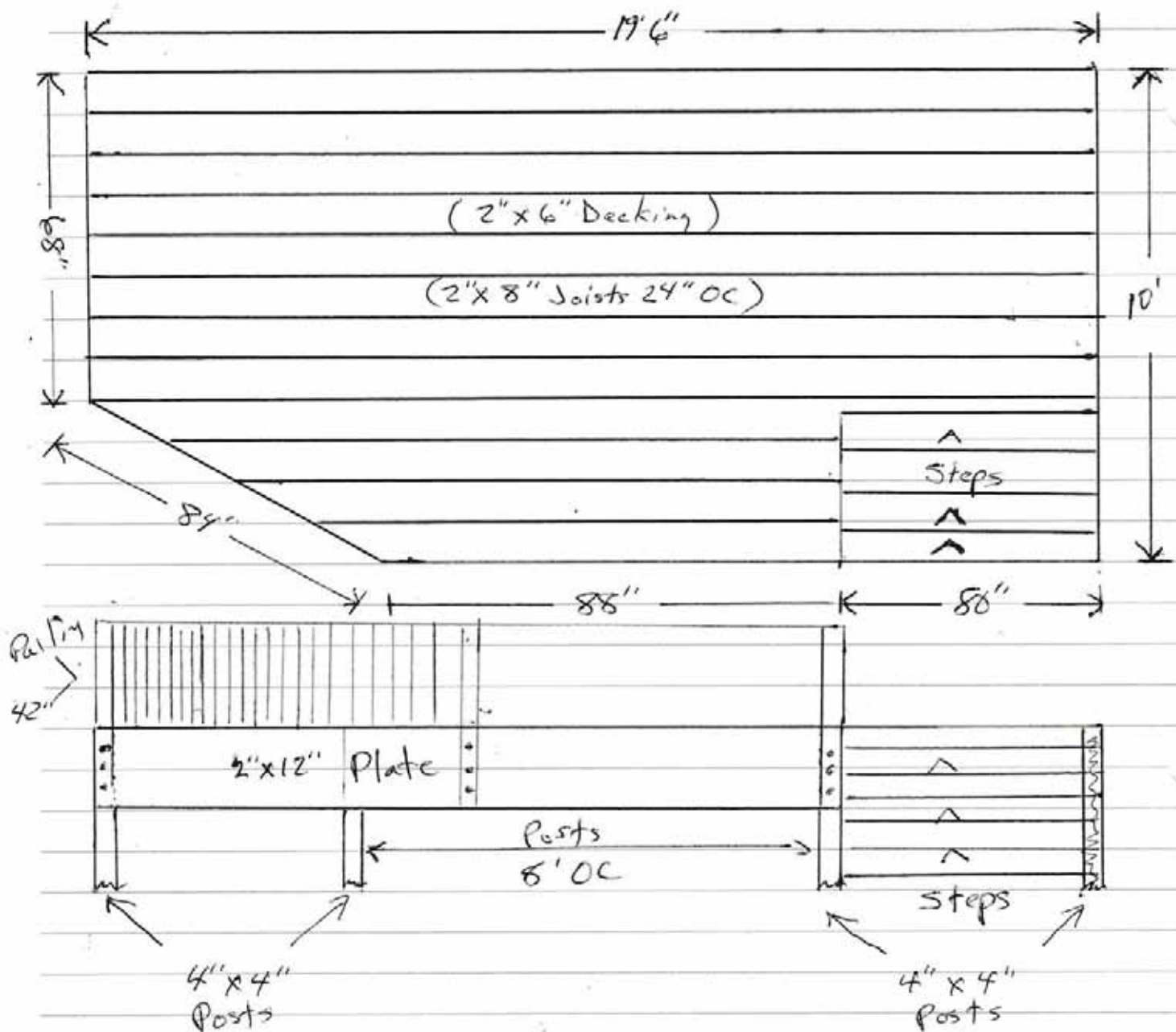
## Figure B1

### Beam Splices

Splice must occur over posts with 1 1/2" bearing



DISCLAIMER: ILLOWA Chapter of the ICC has created this handout to assist with plans submittal under the 2009 International Residential Code, and it is not intended to cover all circumstances. Please check with the Department of Building Safety for additional requirements.



Railing per code  
42" From Deck to Top  
Spindles 4" spacing  
OC

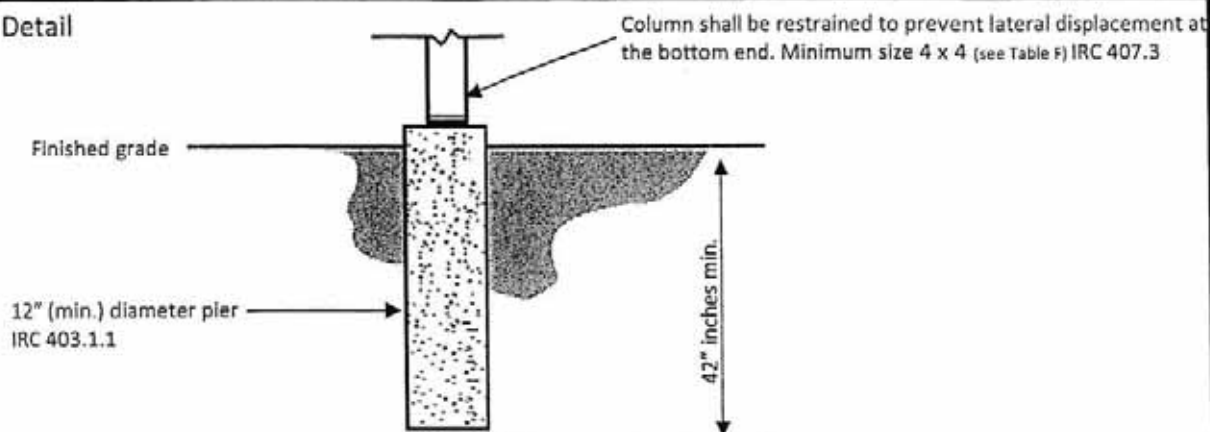
(Fastenings Per code)

All material  
Green Treated

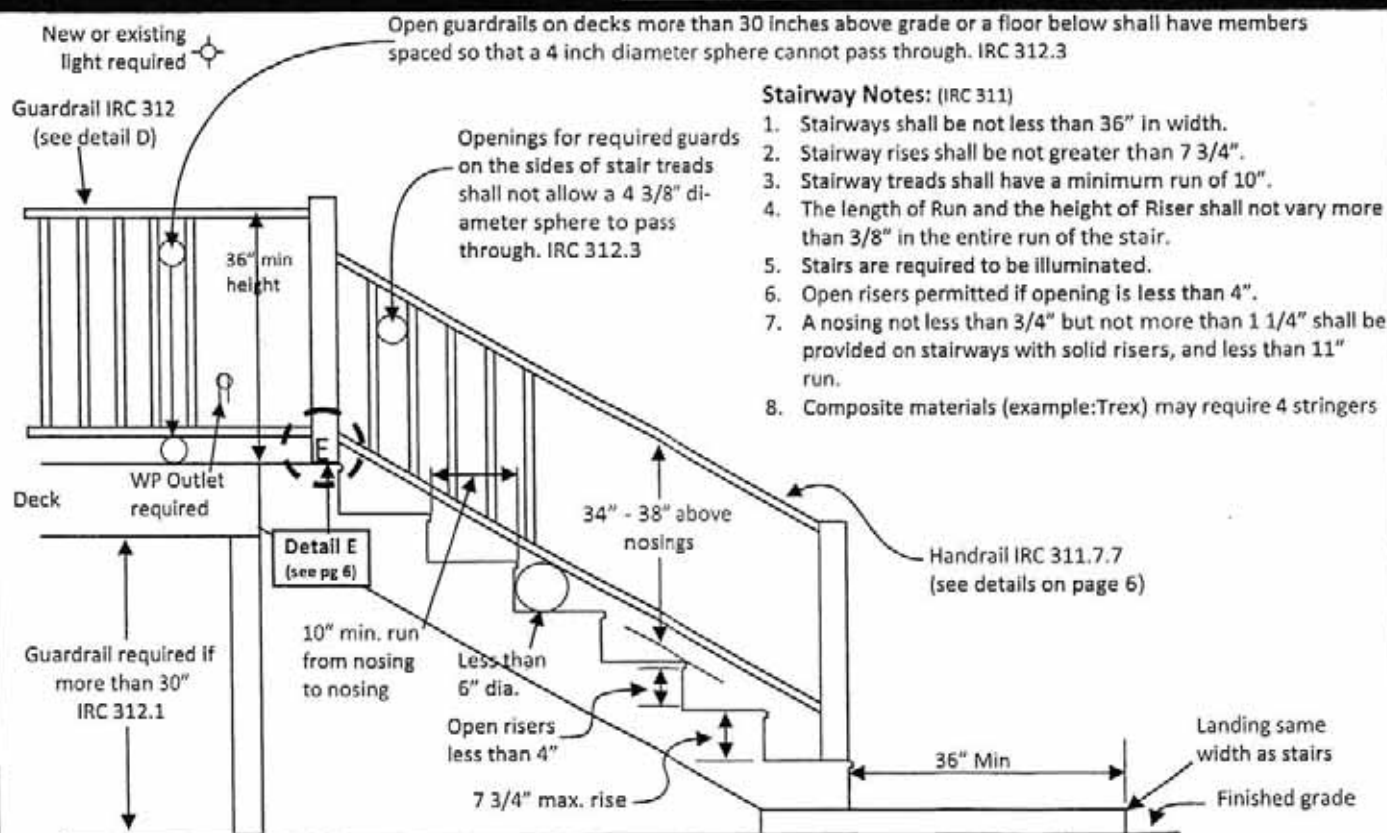
# Single Family Residential—Uncovered Deck and Porches

## Detail C

### Post & Footing Detail



## Detail D - Stair & Handrail Specifications



### Stairway Notes: (IRC 311)

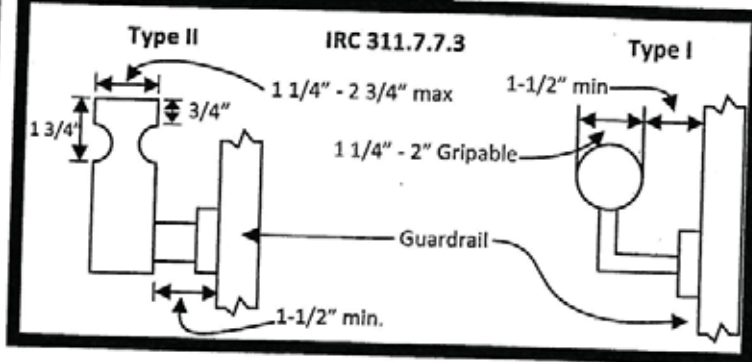
1. Stairways shall be not less than 36" in width.
2. Stairway rises shall be not greater than 7 3/4".
3. Stairway treads shall have a minimum run of 10".
4. The length of Run and the height of Riser shall not vary more than 3/8" in the entire run of the stair.
5. Stairs are required to be illuminated.
6. Open risers permitted if opening is less than 4".
7. A nosing not less than 3/4" but not more than 1 1/4" shall be provided on stairways with solid risers, and less than 11" run.
8. Composite materials (example:Trex) may require 4 stringers

### Handrail Notes:

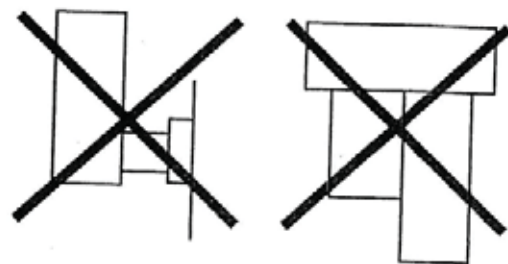
1. Handrails shall be continuous on at least one side of stairs with 4 or more risers. IRC 311.7.7.2
2. Top of the handrails shall be placed not less than 34 inches nor more than 38 inches above stair nosings. 311.7.7.1
3. The handgrip portion of handrails shall be not less than 1-1/4 inches nor more than 2 1/4 inches in cross section for non circular handrails.
4. Handrails shall be placed not less than 1-1/2 inches from any wall or other surface. IRC 311.7.7.2

# Single Family Residential—Uncovered Deck and Porches

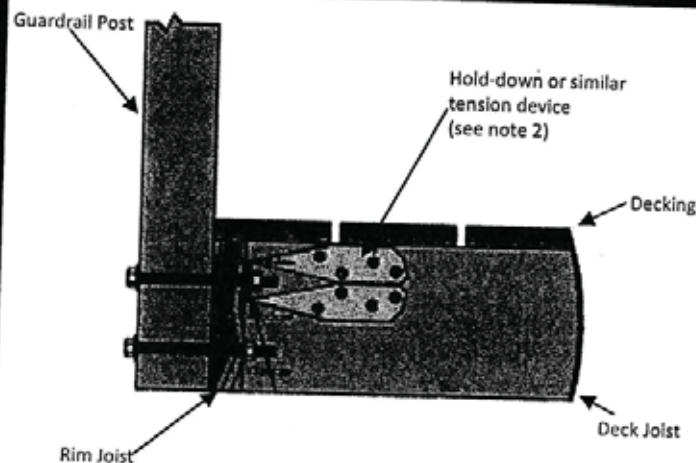
## Preferred Handrail Details



## Unacceptable Handrails



## Detail E



### Guardrail Notes:

1. Shall be able to resist a single concentrated load applied in any direction at any point along the top of 200 lbs/sq ft. (Table 301.5)
2. Approved fasteners shall be used to connect post to deck and be able to resist 1700 lb force.
3. Guard in-fill components, balusters, and panel fillers shall be designed to withstand a horizontally applied normal load of 50 lbs on an area equal to one sq ft. (Table 301.5)
4. Guard in-fill components, balusters, and panel fillers shall be designed to shed water.
5. 4 x 4 posts should be spaced every 6 ft.
6. 4 x 4 posts cannot be notched.

**Table F**

**RECOMMENDED POST SIZE**

Deck height	Load Area *				
	48	72	96	120	124
0' to 6'	4 x 4	4 x 4	6 x 6	6 x 6	6 x 6
6' and up	6 x 6	6 x 6	6 x 6	6 x 6	6 x 6

\*To calculate "Load area" multiply the distance between the beams by the distance between the posts (in feet).

DISCLAIMER: ILLOWA Chapter of the ICC has created this handout to assist with plans submittal under the 2009 International Residential Code, and it is not intended to cover all circumstances. Please check with the Department of Building Safety for additional requirements.

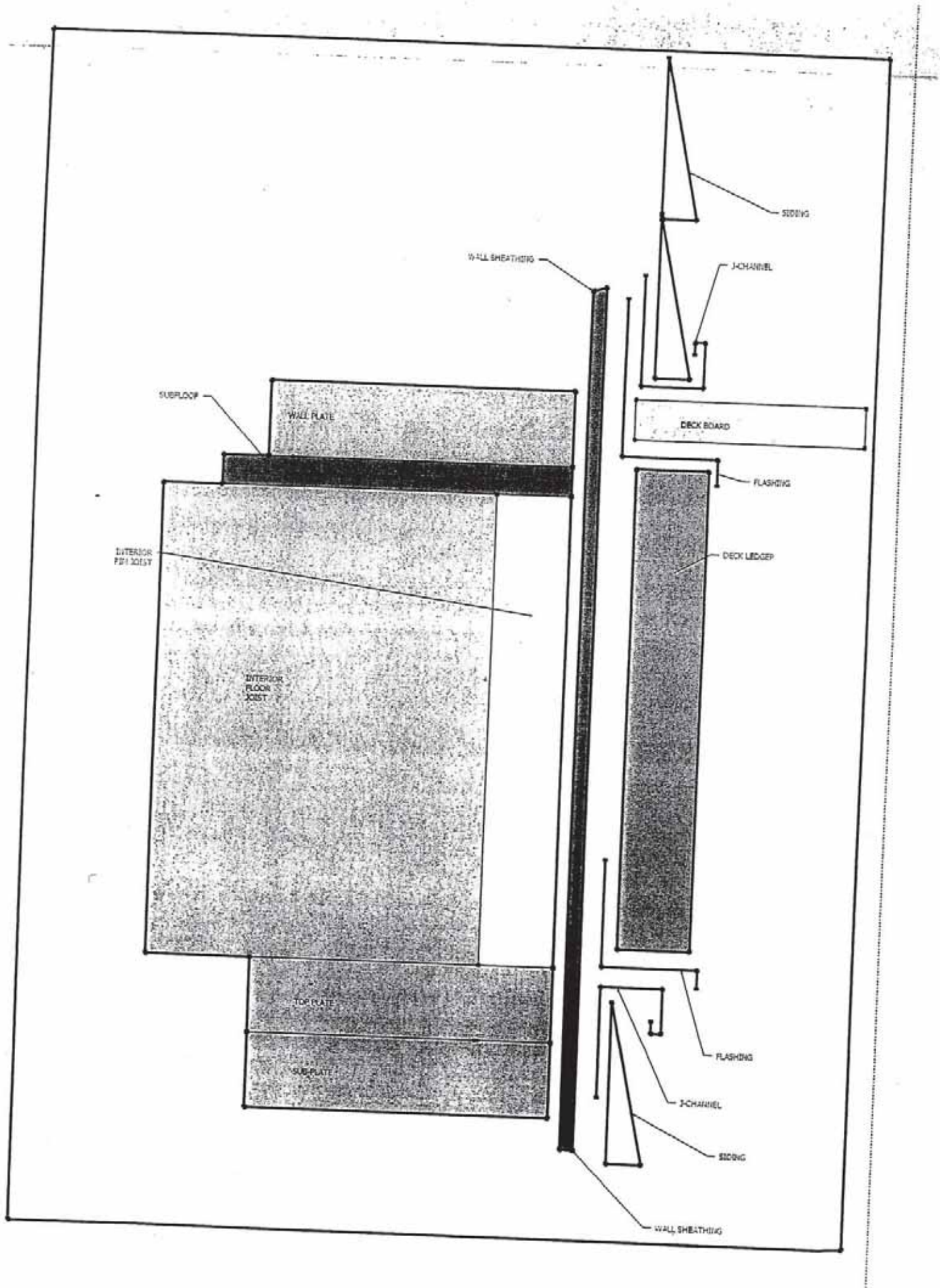
### JOIST SPANS

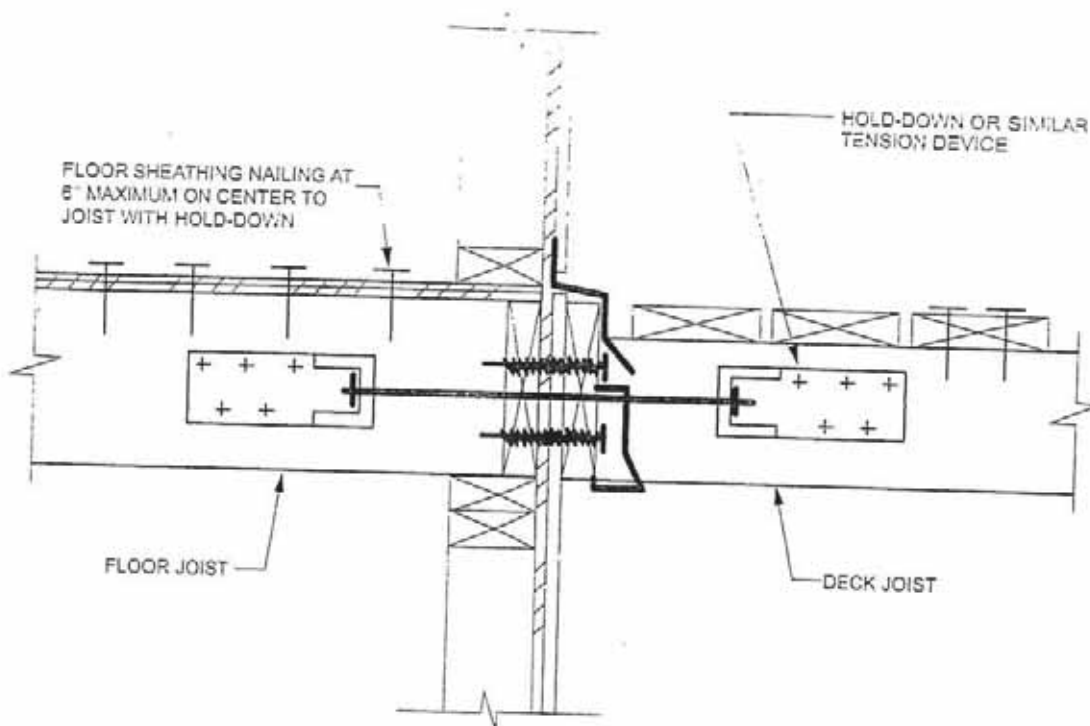
SPECIES	SIZE	SPACING OF DECK JOISTS WITH NO CANTILEVER			SPACING OF DECK JOISTS WITH CANTILEVERS		
		12	16	24	12	16	24
SOUTHERN PINE	2X6	9-11	9-0	7-7	6-8	6-8	6-8
	2X8	13-1	11-10	9-8	10-1	10-1	9-8
	2X10	16-2	14-0	11-5	14-6	14-0	11-5
	2X12	18-0	16-6	13-6	18-0	16-6	13-6
DOUGLAS FIR-LARCH HEM-FIR SPRUCE-PINE-FIR	2X6	9-6	8-8	7-2	6-3	6-3	6-3
	2X8	12-6	11-1	9-1	9-5	9-5	9-1
	2X10	15-8	13-7	11-1	13-7	13-7	11-1
	2X12	18-0	15-9	12-10	18-0	15-9	12-10
REDWOOD, WESTERN CEDARS, PONDEROSA PINE, RED PINE	2X6	8-10	8-0	7-0	5-7	5-7	5-7
	2X8	11-8	10-7	8-8	8-6	8-6	8-6
	2X10	14-11	13-0	10-7	12-3	12-3	10-7
	2X12	17-5	15-1	12-4	16-5	15-1	12-4
NOTES: #2 grade, wet service factor; 40 psf, live load; 10 psf, dead load; 220 point load applied to end of cantilevers.							

### BEAM SPANS

SPECIES	SIZE	DECK JOIST SPAN LESS THAN OR EQUAL TO: (IN FEET)						
		6	8	10	12	14	16	18
SOUTHERN PINE	2-2X6	6-11	5-11	5-4	4-10	4-6	4-3	4-0
	2-2X8	8-9	7-7	6-9	6-2	5-9	5-4	5-0
	2-2X10	10-4	9-0	8-0	7-4	6-9	6-4	6-0
	2-2X12	12-2	10-7	9-5	8-7	8-0	7-6	7-0
	3-2X6	8-2	7-5	6-8	6-1	5-8	5-3	5-0
	3-2X8	10-10	9-6	8-6	7-9	7-2	6-8	6-4
	3-2X10	13-0	11-3	10-0	9-2	8-6	7-11	7-6
	3-2X12	15-3	13-3	11-10	10-9	10-0	9-4	8-10
DOUGLAS FIR-LARCH HEM-FIR SPRUCE-PINE-FIR REDWOOD WESTERN CEDARS PONDEROSA PINE RED PINE	3X6 OR 2-2X6	5-5	4-8	4-2	3-10	3-6	3-1	2-9
	3X8 OR 2-2X8	6-10	5-11	5-4	4-10	4-6	4-1	3-8
	3X10 OR 2-2X10	8-4	7-3	6-6	5-11	5-6	5-1	4-8
	3X12 OR 2-2X12	9-8	8-5	7-6	6-10	6-4	5-11	5-7
	4X6	6-5	5-6	4-11	4-6	4-2	3-11	3-8
	4X8	8-5	7-3	6-6	5-11	5-6	5-2	4-10
	4X10	9-11	8-7	7-8	7-0	6-6	6-1	5-8
	4X12	11-5	9-11	8-10	8-1	7-6	7-0	6-7
	3-2X6	7-4	6-8	6-0	5-6	5-1	4-9	4-6
	3-2X8	9-8	8-6	7-7	6-11	6-5	6-0	5-8
	3-2X10	12-0	10-5	9-4	8-6	7-10	7-4	6-11
	3-2X12	13-11	12-1	10-9	9-10	9-1	8-6	8-11
NOTES: #2 grade, wet service factor; 40 psf, live load; 10 psf, dead load; beams supporting deck joists from one side only.								

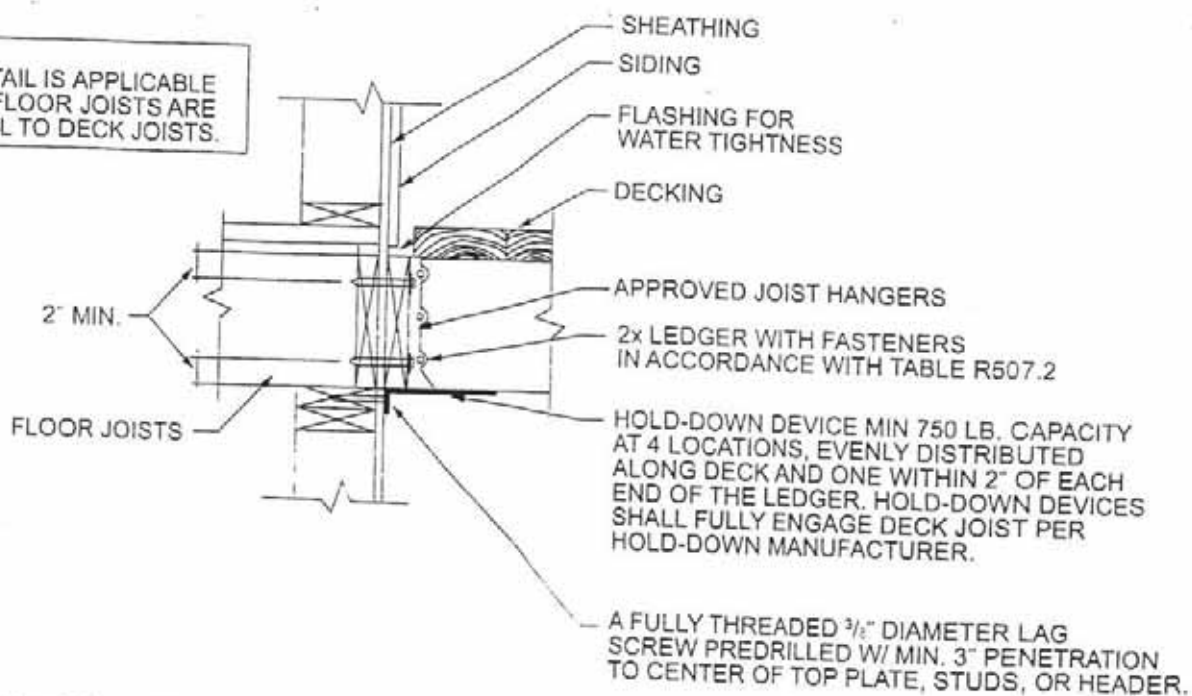
\* Tables based on tables in the 2015 IRC.





For SI: 1 inch = 25.4 mm.

FIGURE 507.2.3(1)  
DECK ATTACHMENT FOR LATERAL LOADS



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R507.2.3(2)  
DECK ATTACHMENT FOR LATERAL LOADS



## Building Guide

ILLOWA Chapter of ICC

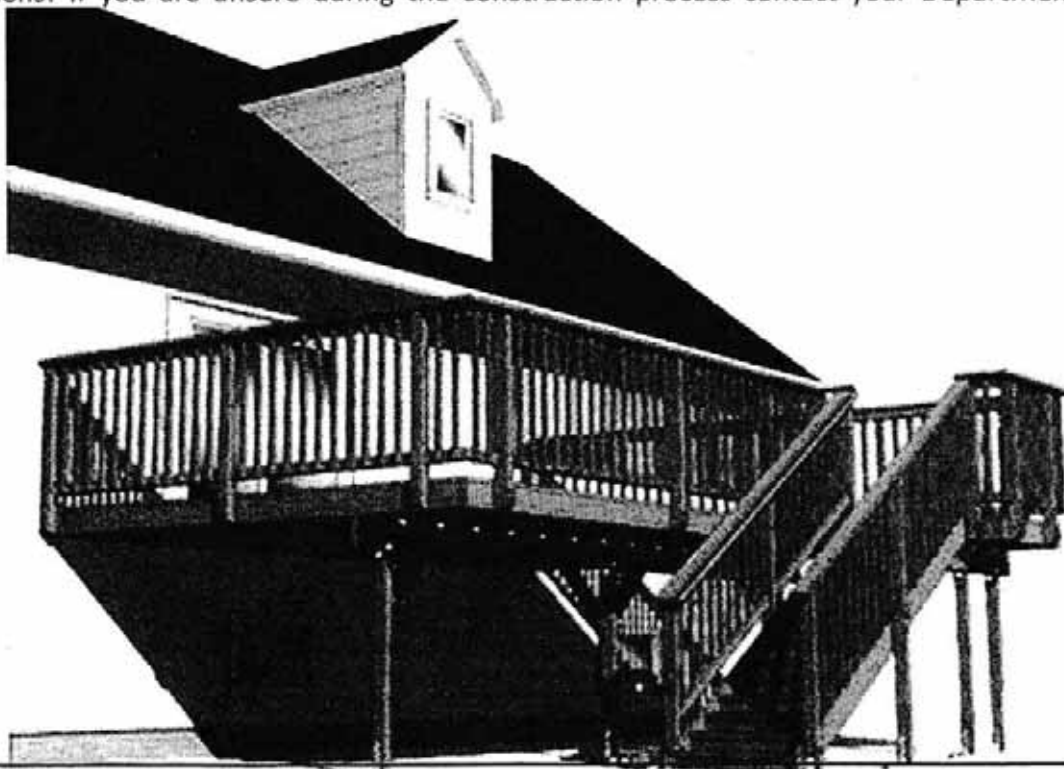


### Single Family Residential Uncovered Deck and Porches

#### How to use this guide:

This guide was designed to assist the do-it-yourselfer create a construction plan to build a simple deck using conventional construction methods. Non-conventionally constructed decks may require a design professional.

1. **Complete this Building Guide** by filling in the blanks on page two and three and indicating which construction details will be used.
2. **Provide a Site Plan** showing the dimensions of your project and its relationships to existing buildings or structures, utilities, property lines and easements. In addition to project dimensions, your plot plan must also show other details such as post locations and spacing, joist and beam spans, and any other pertinent information not shown on the section drawing.
3. **Now you are ready to apply for your building permit.** The majority of permit applications can be processed with little delay. The submitted documents will help determine if the project is in compliance with building codes, zoning ordinances and other applicable laws.
4. **Inspections.** A footing inspection is required before they can be poured. A framing inspection is required before you lay decking or attach handrails to verify plans are being followed and that proper connections are used. All projects must receive a final inspection in order to verify that your project meets code, is safe to use and to close out the permit. Remember YOU are responsible to get the inspections! If you are unsure during the construction process contact your Department of Building Safety.



DISCLAIMER: ILLOWA Chapter of the ICC has created this handout to assist with plans submittal under the 2009 International Residential Code, and it is not intended to cover all circumstances. Please check with the Department of Building Safety for additional requirements.

# Single Family Residential—Uncovered Deck and Porches

## Directions:

1. List homeowner name and address of project.
2. Fill in the blanks on pages 2 and 3 with dimensions and materials which will be used to build the structure. Please print legibly.
3. Choose which post to beam detail from page 4 that will be used.

Address:

## Minimum Requirements:

- All lumber shall be naturally durable wood or pressure treated.
- All screws, bolts, and nails for use with preservative treated wood shall be hot-dipped galvanized, stainless steel, silicon bronze or copper. Fasteners to be hot-dipped galvanized shall meet the requirements of ASTM A 153, Standard Specification for Zinc Coating (Hot-Dip) on Iron and Steel Hardware, Class D for fasteners 3/8" in diameter and smaller or Class C for fasteners with diameters over 3/8". IRC 317.3.1
- All hardware (joist hangers, cast-in-place post anchors, etc.) shall be galvanized or shall be stainless steel. Hardware to be hot-dipped prior to fabrication shall meet ASTM A 653, Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process, G-185 coating. Hardware to be hot-dipped galvanized after fabrication shall meet ASTM A123, Specification for Zinc (Hot-Dip Galvanized) Coatings on Iron and Steel Products.

## Deck Section

Type of decking 2" x 6" ☒ Green Treat  
☐ Cedar  
☐ Composite  
☐ Other \_\_\_\_\_  
 (example: 5/4 x 6 or 2 x 6)

Existing bldg

Approved flash-  
ing required  
IRC 703.8

Detail A  
Ledger Attachment  
(see page 3)

Attach decking with approved fasteners

Detail B  
Post to Beam Attachment  
(see page 4)

Span (see Table B1 pg 4)

Finished Grade

Detail C  
Footing & Post  
Attachment  
(see page 5)

Note: Emergency escape windows are allowed to be installed under decks and porches provided the location of the deck allows the emergency escape window to be fully opened and provides a path not less than 36" in height to a yard or court. 6'8" required for walk out basements or patios. IRC 310

Detail D  
Guardrails & Handrails  
(see pages 5 & 6)

6 Ft. 8 in. min (see note)

42 inches Min.

2 x 8" joists  
spaced 24" apart  
(example: 2 x 10" spaced 24" apart)

(2) 2" x 12" beam  
(example: (2) 2 x 10 - see Table B1)

Post to Beam Attachment 3/8" bolts  
(example: Detail B1, B2 or B3 - see pg 4)

2 x 12" rim joist  
(example 2 x 10 - should be same as joist)

6" x 6" posts  
spaced 9' apart  
(example: 4 x 4 posts spaced 8' apart - see Table F pg 6)

Span 6'6"  
(example: 13' - 14')

Type of siding (proposed or existing)  
☐ Vinyl ☐ Brick  
☐ Aluminum ☐ Wood  
☐ Composite ☒ Pressed Board  
☐ Other \_\_\_\_\_

# Single Family Residential—Uncovered Deck and Porches

## Detail A

### DIRECTIONS:

1. Identify Ledger Size 2 x 12' X 12' (example 2' x 10' X 10')
2. Identify # of fasteners needed Lags Size 5/8 X 6  
(example two 1/2" X 8" lags @ 18" O.C. See Table A1)\* If using fasteners other than 1/2 lag or bolts, provide manufacturer's specs.
3. Location of lateral load connections \_\_\_\_\_ (see Figure A2)

**NOTE:** This is for attached decks only. Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting (502.2.2).

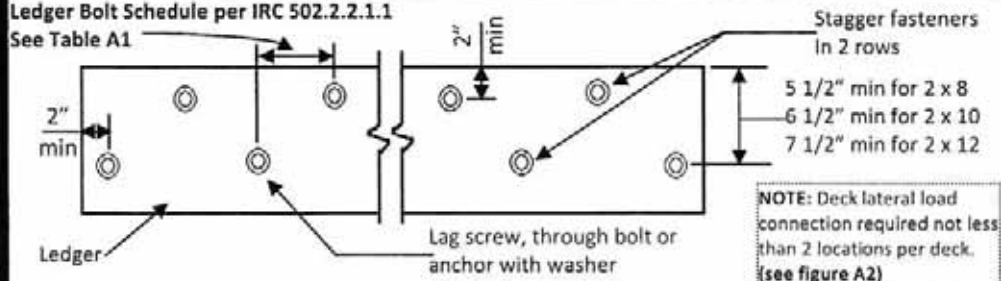
**Table A1**

**IRC TABLE 502.2.2.1**  
**FASTENER SPACING FOR A SOUTHERN PINE OR HEM-FIR DECK LEDGER AND A 2-INCH NOMINAL SOLID-SAWN SPRUCE-PINE-FIR BAND JOIST<sup>C,F,G</sup>** (Deck live load = 40 psf, deck dead load = 10 psf)

FLOOR JOIST SPAN	6' and less	6'1" to 8'	8'1" to 10'	10'1" to 12'	12'1" to 14'	14'1" to 16'	16'1" to 18'
Connection details	On-center spacing of fasteners <sup>d,e</sup>						
1/2 inch diameter lag screw with 15/32 inch maximum sheathing <sup>a</sup>	30	23	18	15	13	11	10
1/2 inch diameter bolt with 15/32 inch maximum sheathing	36	36	34	29	24	21	19
1/2 inch diameter bolt with 15/32 inch maximum sheathing and 1/2 inch stacked washers <sup>b,h</sup>	36	36	29	24	21	18	16

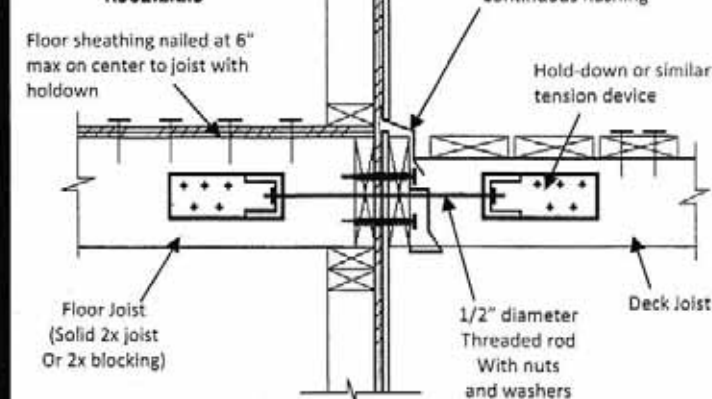
**Figure A1**

Ledger Bolt Schedule per IRC 502.2.2.1.1  
See Table A1



**Figure A2**

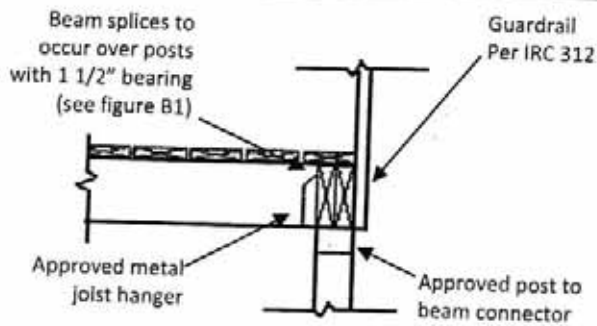
Deck lateral load connection  
R502.2.2.3



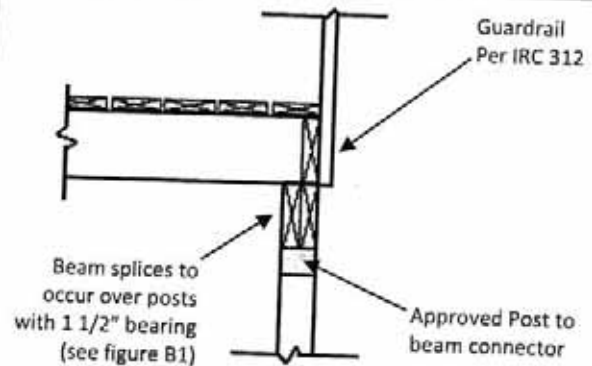
- a. The tip of the lag screw shall fully extend beyond the inside face of the band joist.
- b. The maximum gap between the face of the ledger board and face of the band joist.
- c. Ledgers shall be flashed to prevent water from contacting the house band joist.
- d. Lag screws and bolts shall be staggered in accordance with the diagram above.
- e. Deck ledger shall be minimum 2 x 8 pressure-preservative-treated No. 2 grade lumber, or other approved materials by standard engineering practice.
- f. When solid-sawn preservative-treated deck ledgers are attached to a minimum 1 inch thick engineered wood product (structural composite lumber, LVL or wood structural panel band joist), the ledger attachment shall be designed in accordance with accepted engineering practice.
- g. A minimum 1 x 9 1/2 Douglas Fir LVL rimboard shall be permitted in lieu of the 2-inch nominal band joist.
- h. Wood structural panel sheathing, gypsum board sheathing or foam sheathing not exceeding 1 inch thickness shall be permitted. The maximum distance between the face of the ledger board and the face of the band joist shall be 1 inch.

# Single Family Residential—Uncovered Deck and Porches

**Detail B1**

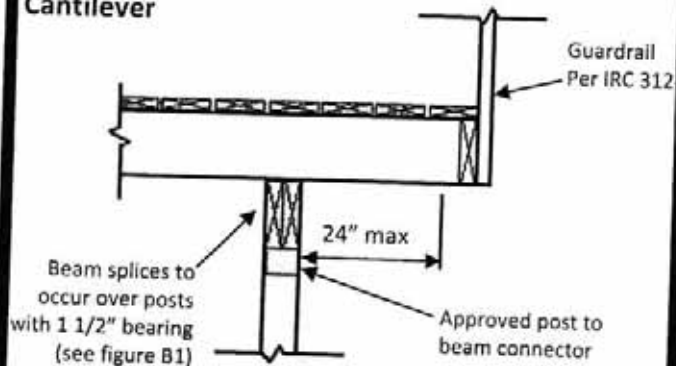


**Detail B2**



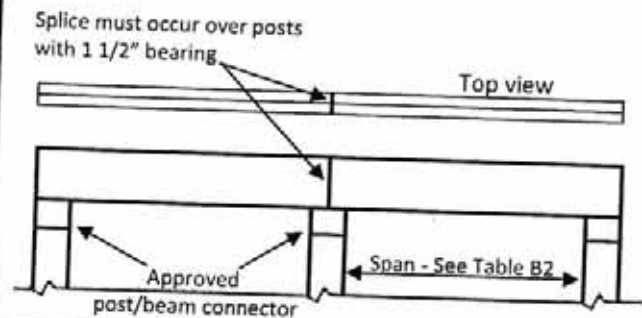
**Detail B3**

**Cantilever**

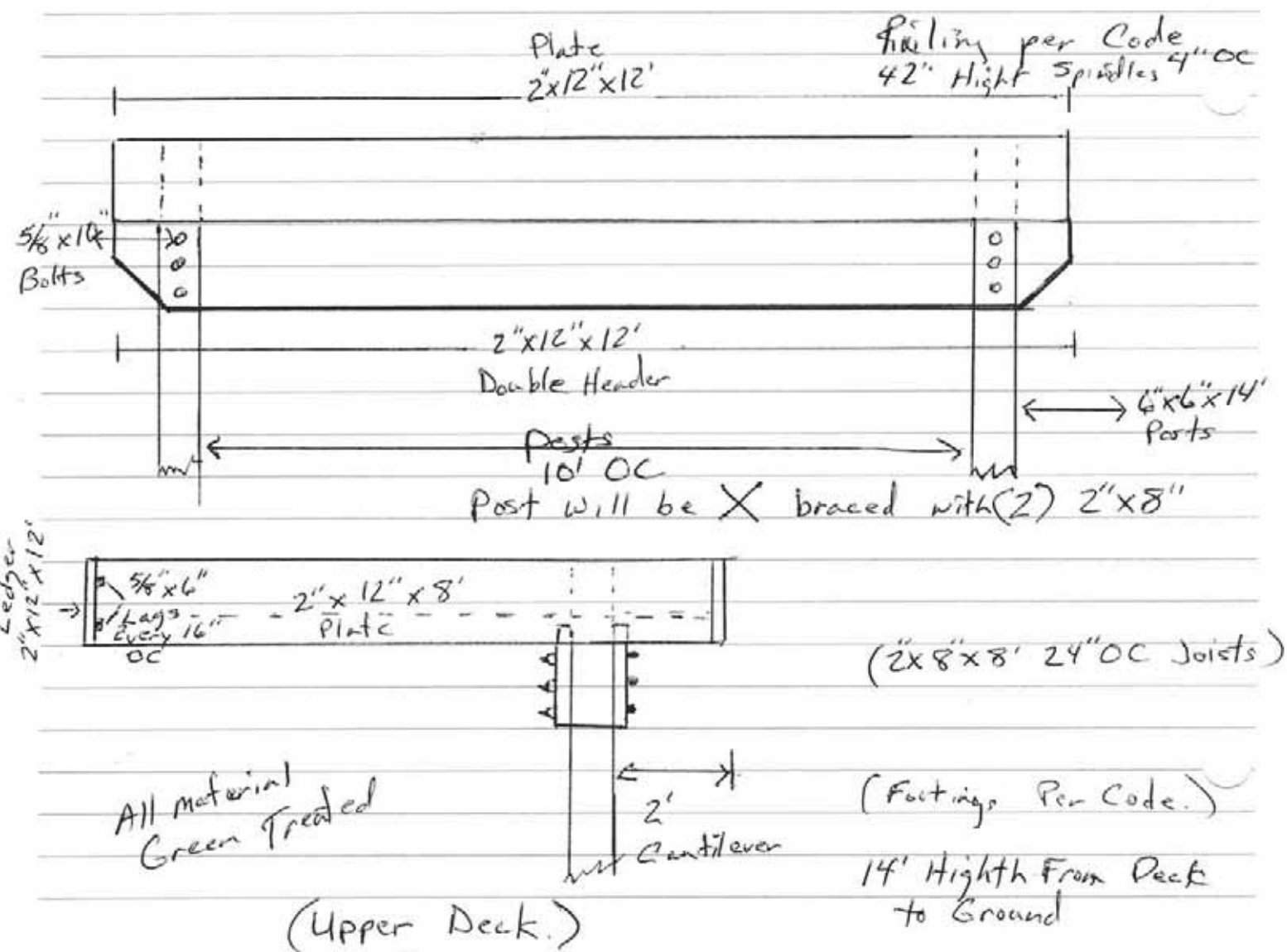
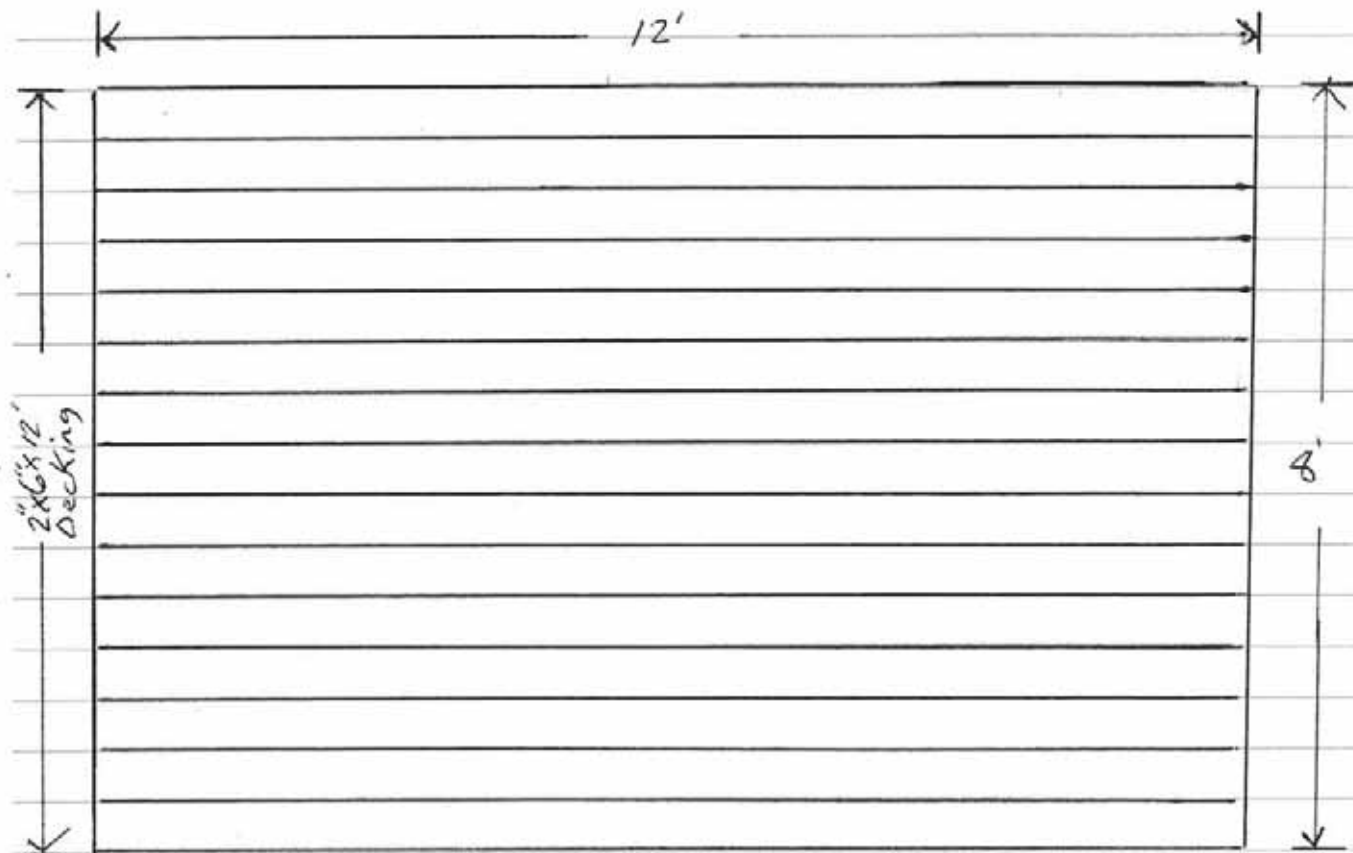


**Figure B1**

**Beam Splices**



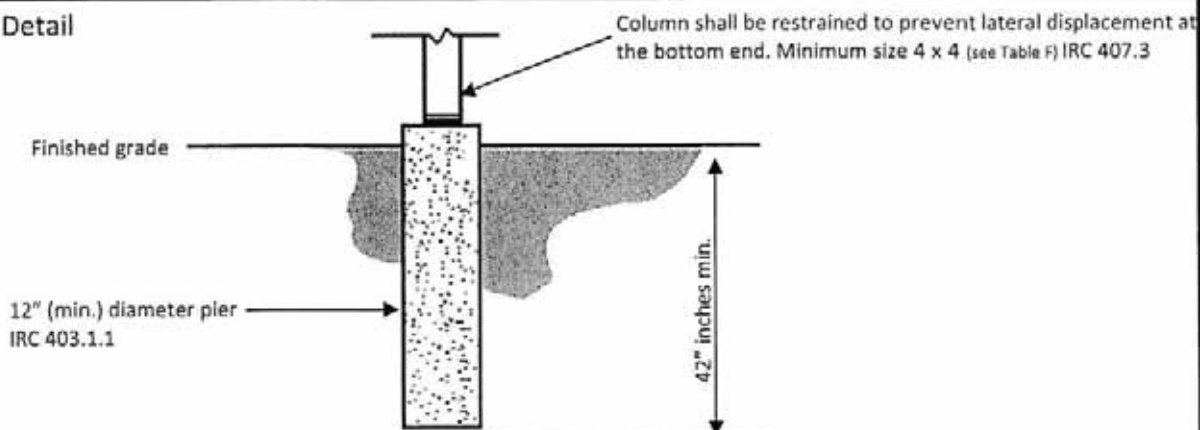
DISCLAIMER: ILLNOVA Chapter of the ICC has created this handout to assist with plans submittal under the 2009 International Residential Code, and it is not intended to cover all circumstances. Please check with the Department of Building Safety for additional requirements.



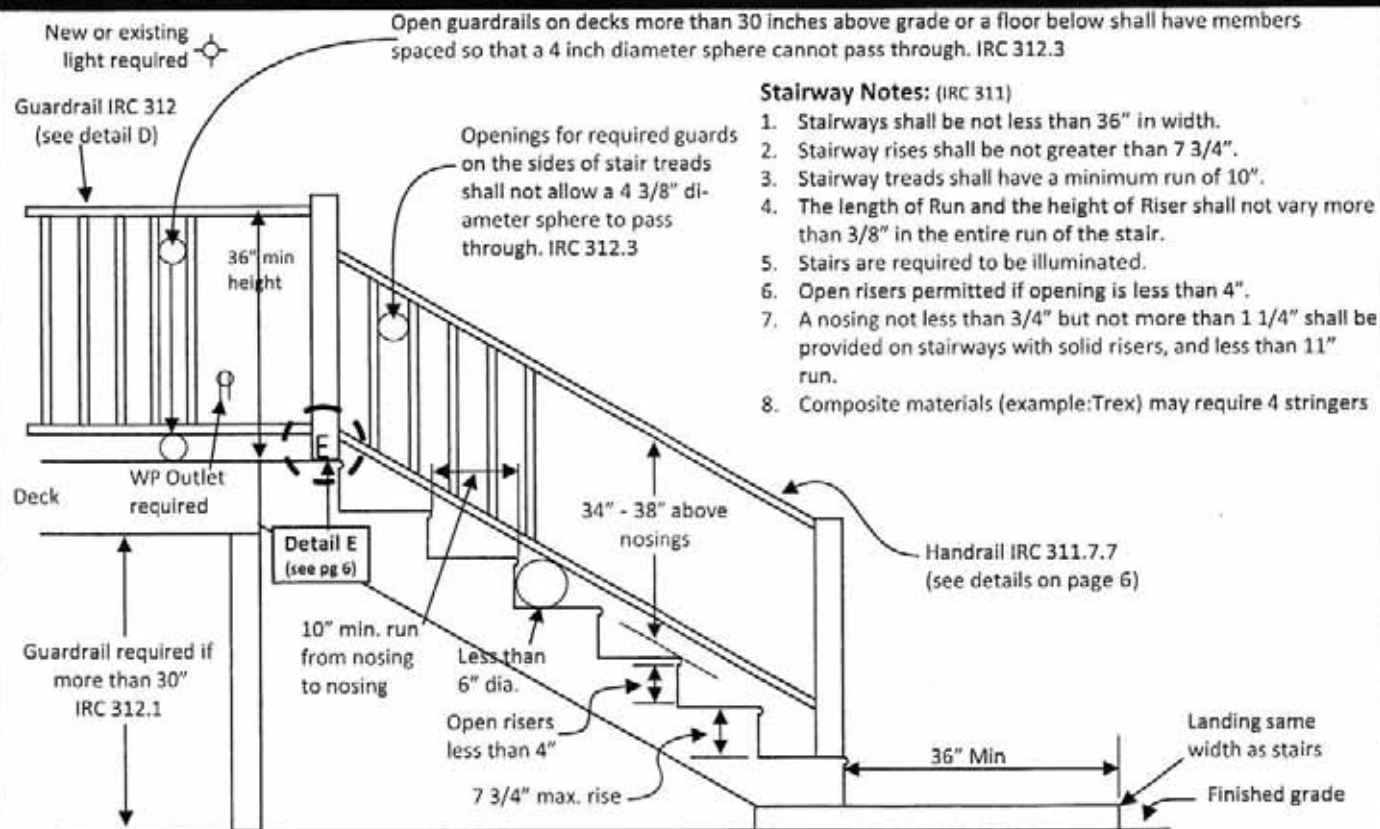
# Single Family Residential—Uncovered Deck and Porches

## Detail C

### Post & Footing Detail



## Detail D - Stair & Handrail Specifications

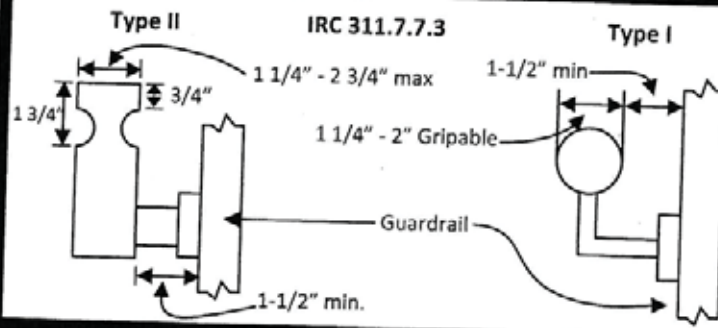


### Handrail Notes:

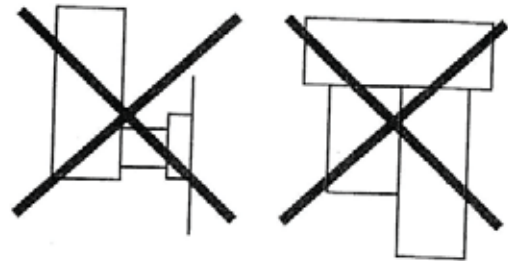
1. Handrails shall be continuous on at least one side of stairs with 4 or more risers. IRC 311.7.7.2
2. Top of the handrails shall be placed not less than 34 inches nor more than 38 inches above stair nosings. 311.7.7.1
3. The handgrip portion of handrails shall be not less than 1-1/4 inches nor more than 2 1/4 inches in cross section for non circular handrails.
4. Handrails shall be placed not less than 1-1/2 inches from any wall or other surface. IRC 311.7.7.2

# Single Family Residential—Uncovered Deck and Porches

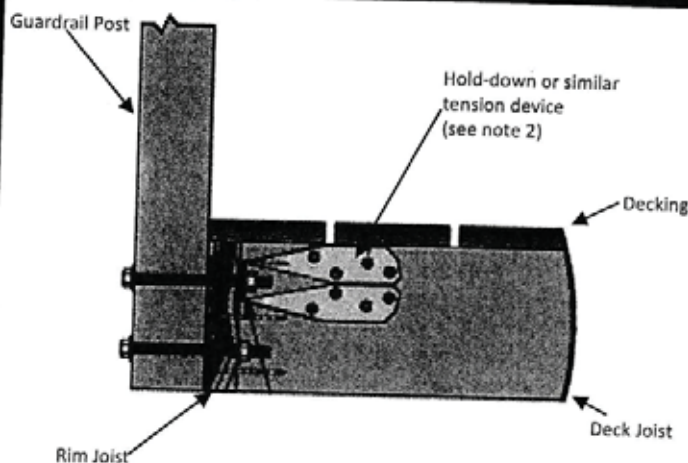
## Preferred Handrail Details



## Unacceptable Handrails



## Detail E



### Guardrail Notes:

1. Shall be able to resist a single concentrated load applied in any direction at any point along the top of 200 lbs/sq ft. (Table 301.5)
2. Approved fasteners shall be used to connect post to deck and be able to resist 1700 lb force.
3. Guard in-fill components, balusters, and panel fillers shall be designed to withstand a horizontally applied normal load of 50 lbs on an area equal to one sq ft. (Table 301.5)
4. Guard in-fill components, balusters, and panel fillers shall be designed to shed water.
5. 4 x 4 posts should be spaced every 6 ft.
6. 4 x 4 posts cannot be notched.

**Table F** RECOMMENDED POST SIZE

Deck height	Load Area *				
	48	72	96	120	124
0' to 6'	4 x 4	4 x 4	6 x 6	6 x 6	6 x 6
6' and up	6 x 6	6 x 6	6 x 6	6 x 6	6 x 6

\*To calculate "Load area" multiply the distance between the beams by the distance between the posts (in feet).

DISCLAIMER: ILLOWA Chapter of the ICC has created this handout to assist with plans submittal under the 2009 International Residential Code, and it is not intended to cover all circumstances. Please check with the Department of Building Safety for additional requirements.

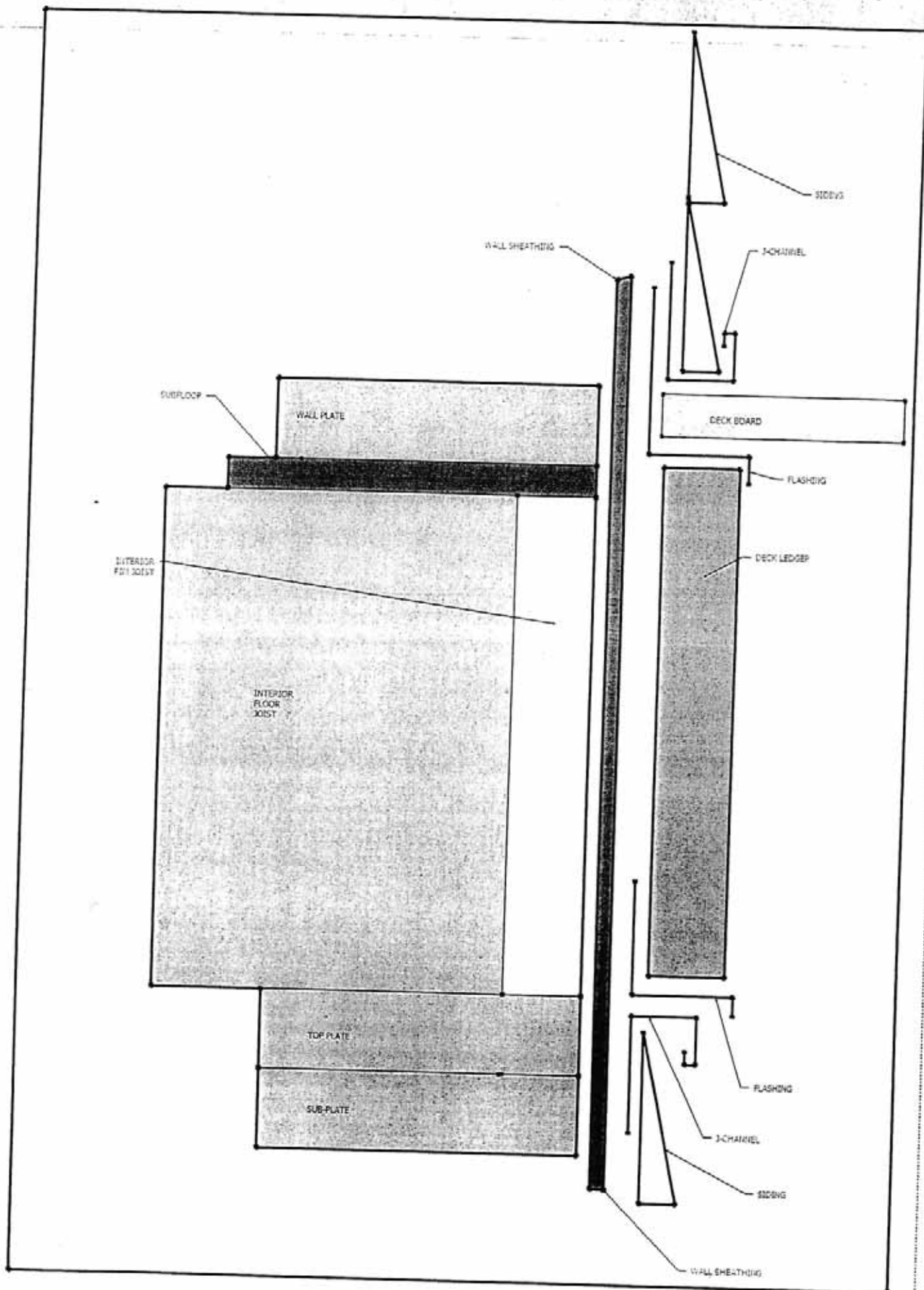
### JOIST SPANS

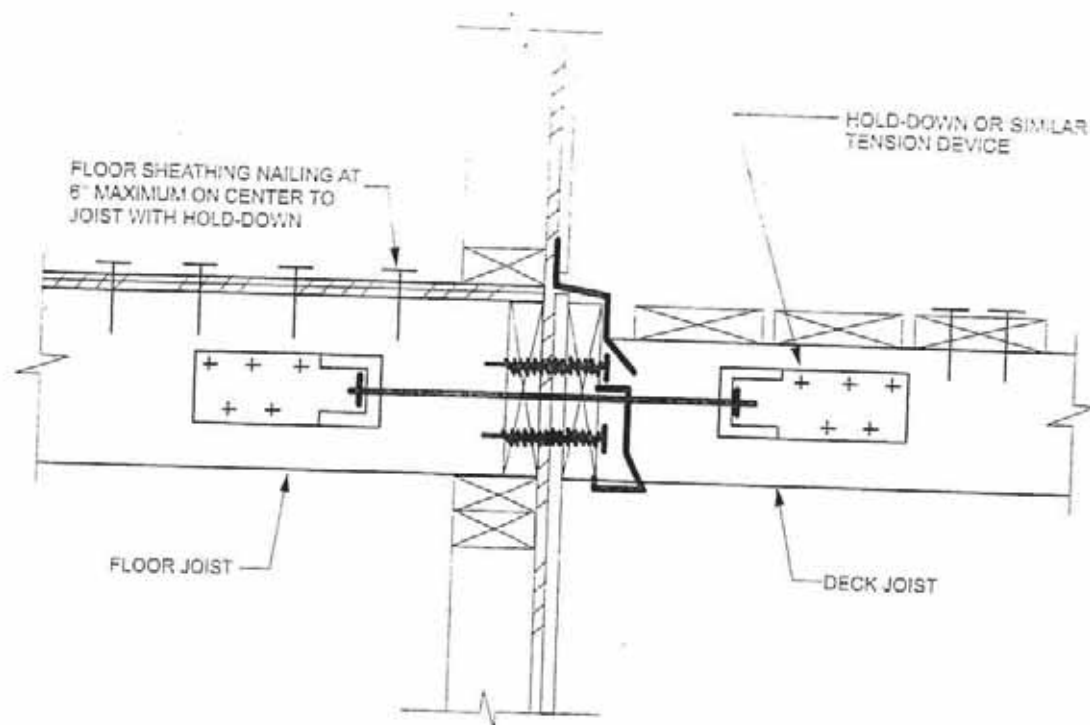
SPECIES	SIZE	SPACING OF DECK JOISTS WITH NO CANTILEVER			SPACING OF DECK JOISTS WITH CANTILEVERS		
		12	16	24	12	16	24
SOUTHERN PINE	2X6	9-11	9-0	7-7	6-8	6-8	6-8
	2X8	13-1	11-10	9-8	10-1	10-1	9-8
	2X10	16-2	14-0	11-5	14-6	14-0	11-5
	2X12	18-0	16-6	13-6	18-0	16-6	13-6
DOUGLAS FIR-LARCH HEM-FIR SPRUCE-PINE-FIR	2X6	9-6	8-8	7-2	6-3	6-3	6-3
	2X8	12-6	11-1	9-1	9-5	9-5	9-1
	2X10	15-8	13-7	11-1	13-7	13-7	11-1
	2X12	18-0	15-9	12-10	18-0	15-9	12-10
REDWOOD, WESTERN CEDARS, PONDEROSA PINE, RED PINE	2X6	8-10	8-0	7-0	5-7	5-7	5-7
	2X8	11-8	10-7	8-8	8-6	8-6	8-6
	2X10	14-11	13-0	10-7	12-3	12-3	10-7
	2X12	17-5	15-1	12-4	16-5	15-1	12-4
NOTES: #2 grade, wet service factor; 40psf, live load; 10 psf, dead load; 220 point load applied to end of cantilevers.							

### BEAM SPANS

SPECIES	SIZE	DECK JOIST SPAN LESS THAN OR EQUAL TO: (IN FEET)						
		6	8	10	12	14	16	18
SOUTHERN PINE	2-2X6	6-11	5-11	5-4	4-10	4-6	4-3	4-0
	2-2X8	8-9	7-7	6-9	6-2	5-9	5-4	5-0
	2-2X10	10-4	9-0	8-0	7-4	6-9	6-4	6-0
	2-2X12	12-2	10-7	9-5	8-7	8-0	7-6	7-0
	3-2X6	8-2	7-5	6-8	6-1	5-8	5-3	5-0
	3-2X8	10-10	9-6	8-6	7-9	7-2	6-8	6-4
	3-2X10	13-0	11-3	10-0	9-2	8-6	7-11	7-6
	3-2X12	15-3	13-3	11-10	10-9	10-0	9-4	8-10
DOUGLAS FIR-LARCH HEM-FIR SPRUCE-PINE-FIR REDWOOD WESTERN CEDARS PONDEROSA PINE RED PINE	3X6 OR 2-2X6	5-5	4-8	4-2	3-10	3-6	3-1	2-9
	3X8 OR 2-2X8	6-10	5-11	5-4	4-10	4-6	4-1	3-8
	3X10 OR 2-2X10	8-4	7-3	6-6	5-11	5-6	5-1	4-8
	3X12 OR 2-2X12	9-8	8-5	7-6	6-10	6-4	5-11	5-7
	4X6	6-5	5-6	4-11	4-6	4-2	3-11	3-8
	4X8	8-5	7-3	6-6	5-11	5-6	5-2	4-10
	4X10	9-11	8-7	7-8	7-0	6-6	6-1	5-8
	4X12	11-5	9-11	8-10	8-1	7-6	7-0	6-7
	3-2X6	7-4	6-8	6-0	5-6	5-1	4-9	4-6
	3-2X8	9-8	8-6	7-7	6-11	6-5	6-0	5-8
	3-2X10	12-0	10-5	9-4	8-6	7-10	7-4	6-11
	3-2X12	13-11	12-1	10-9	9-10	9-1	8-6	8-11
NOTES: #2 grade, wet service factor; 40 psf, live load; 10 psf, dead load; beams supporting deck joists from one side only.								

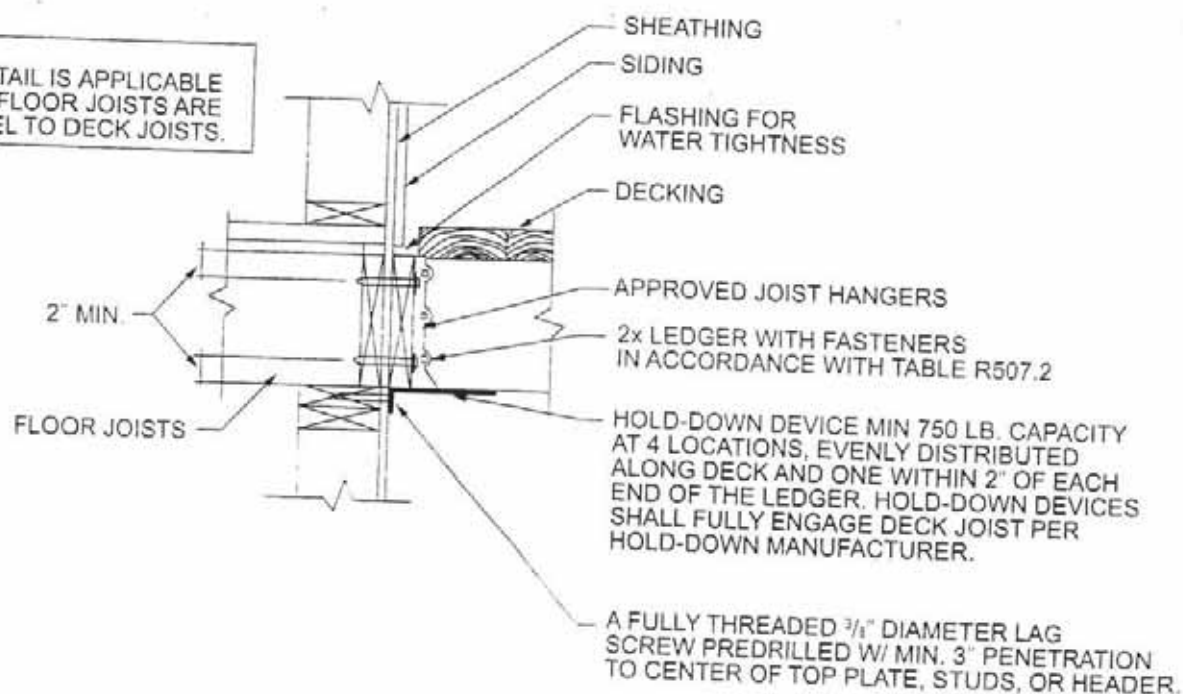
\* Tables based on tables in the 2015 IRC.





For SI: 1 inch = 25.4 mm.

FIGURE 507.2.3(1)  
DECK ATTACHMENT FOR LATERAL LOADS



For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R507.2.3(2)  
DECK ATTACHMENT FOR LATERAL LOADS





# Iowa Site Inventory Form

## State Historic Preservation Office

(July 2014)

State Inventory Number: 82-00549 ☐ New ☒ Supplemental

9-Digit SHPO Review & Compliance (R&C) Number: \_\_\_\_\_

☐ Non-extant Year: \_\_\_\_\_

**Read the Iowa Site Inventory Form Instructions carefully, to ensure accuracy and completeness before completing this form. The instructions are available on our website: <http://www.iowahistory.org/historic-preservation/statewide-inventory-and-collections/iowa-site-inventory-form.html>**

### • Property Name

A) Historic name: Petersen-Schricker House

B) Other names: Field site #C-06, NRHP Map #034

### • Location

A) Street address: 528 W 6<sup>th</sup> St

B) City or town: Davenport (☐ Vicinity) County: Scott

C) Legal description:

Rural: Township Name: \_\_\_\_\_ Township No.: \_\_\_\_\_ Range No.: \_\_\_\_\_ Section: \_\_\_\_\_ Quarter: \_\_\_\_\_ of Quarter: \_\_\_\_\_

Urban: Subdivision: Original Town Block(s): 35 Lot(s): west 70 feet of 2

### • Classification

A) Property category: *Check only one*

- ☒ Building(s)  
☐ District  
☐ Site  
☐ Structure  
☐ Object

B) Number of resources (within property):

*If eligible property, enter number of:*

Contributing Noncontributing

1 Buildings \_\_\_\_\_

\_\_\_\_\_ Sites \_\_\_\_\_

\_\_\_\_\_ Structures \_\_\_\_\_

\_\_\_\_\_ Objects \_\_\_\_\_

1 **Total** \_\_\_\_\_

*If non-eligible property, enter number of:*

\_\_\_\_\_ Buildings

\_\_\_\_\_ Sites

\_\_\_\_\_ Structures

\_\_\_\_\_ Objects

\_\_\_\_\_ **Total**

C) For properties listed in the National Register:

National Register status: ☒ Listed ☐ De-listed ☐ NHL ☐ NPS DOE

D) For properties within a historic district:

- ☒ Property contributes to a National Register or local certified historic district.  
☐ Property contributes to a potential historic district, based on professional historic/architectural survey and evaluation.  
☐ Property *does not* contribute to the historic district in which it is located.

Historic district name: Hamburg Historic District Historic district site inventory number: 82-00027

E) Name of related project report or multiple property study, if applicable:

MPD title

Historical Architectural Data Base #

### • Function or Use *Enter categories (codes and terms) from the Iowa Site Inventory Form Instructions*

A) Historic functions

01A01: Domestic / residence

B) Current functions

01A01: Domestic / residence

### • Description *Enter categories (codes and terms) from the Iowa Site Inventory Form Instructions*

A) Architectural classification

06E: Late Gothic Revival / 06D: Late Tudor Revival

B) Materials

Foundation (visible exterior): 04: Stone

Walls (visible exterior): 06: Stucco 02: Wood

Roof: 08A: Asphalt shingles

Other: \_\_\_\_\_

C) Narrative description ☒ SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED

Site Number: 82-00549 Address: 528 W 6<sup>th</sup> St City: Davenport County: Scott District Number: 82-00027

• **Statement of Significance**

**A) Applicable National Register Criteria:** *Mark your opinion of eligibility after applying relevant National Register criteria*

Criterion A: Property is associated with significant events.

☒ Yes ☐ No ☐ More research recommended

Criterion B: Property is associated with the lives of significant persons.

☐ Yes ☒ No ☐ More research recommended

Criterion C: Property has distinctive architectural characteristics.

☐ Yes ☒ No ☐ More research recommended

Criterion D: Property yields significant information in archaeology/history.

☐ Yes ☐ No ☐ More research recommended

**B) Special criteria considerations:** *Mark any special considerations; leave blank if none*

☐ A: Owned by a religious institution or used for religious purposes.

☐ E: A reconstructed building, object, or structure.

☐ B: Removed from its original location.

☐ F: A commemorative property.

☐ C: A birthplace or grave.

☐ G: Property less than 50 years of age or achieved significance within the past 50 years.

☐ D: A cemetery

**C) Areas of significance**

*Enter categories from instructions*

Community development / Social history

**D) Period(s) of significance**

**E) Significant dates**

*Construction date*

c. 1876 ☒ *check if circa or estimated date*

*Other dates, including renovations*

c. 1896 c. 1990

**F) Significant person**

*Complete if Criterion B is marked above*

**G) Cultural affiliation**

*Complete if Criterion D is marked above*

**H) Architect/Builder**

*Architect*

*Builder/contractor*

**I) Narrative statement of significance** ☒ *SEE CONTINUATION SHEETS, WHICH MUST BE COMPLETED*

• **Bibliography** ☒ *See continuation sheets for the list of research sources used in preparing this form*

• **Geographic Data** *Optional UTM references* ☐ *See continuation sheet for additional UTM or comments*

Zone	Easting	Northing	NAD	Zone	Easting	Northing	NAD
1				2			
3				4			

• **Form Preparation**

Name and Title: Ryan Rusnak, Planner III

Date: 9/27/2016

Organization/firm: Davenport Historic Preservation Commission

E-mail: rrusnak@ci.davenport.ia.us

Street address: City Hall, 226 W. 4<sup>th</sup> Street

Telephone: 563-888-2022

City or Town: Davenport

State: Iowa

Zip code: 52801

• **ADDITIONAL DOCUMENTATION** *Submit the following items with the completed form*

**A) For all properties, attach the following, as specified in the Iowa Site Inventory Form Instructions:**

1. Map of property's location within the community.

2. Glossy color 4x6 photos labeled on back with property/building name, address, date taken, view shown, and unique photo number.

3. Photo key showing each photo number on a map and/or floor plan, using arrows next to each photo number to indicate the location and directional view of each photograph.

4. Site plan of buildings/structures on site, identifying boundaries, public roads, and building/structure footprints.

**B) For State Historic Tax Credit Part 1 Applications, historic districts and farmsteads, and barns:**

*See lists of special requirements and attachments in the Iowa Site Inventory Form Instructions.*

**State Historic Preservation Office (SHPO) Use Only Below This Line**

*The SHPO has reviewed the Site Inventory and concurs with above survey opinion on National Register eligibility:*

☐ Yes ☐ No ☐ More research recommended

☐ This is a locally designated property or part of a locally designated district.

Comments: \_\_\_\_\_

SHPO authorized signature: \_\_\_\_\_

Date: \_\_\_\_\_

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00549  
 Related District Number: 82-00027

Page 1

Petersen - Schricker House	Scott
Name of Property	County
528 W 6 <sup>th</sup> St	Davenport
Address	City

This Iowa Site Inventory form has been prepared to supplement and document research for the amended Hamburg Historic District nomination project. Research was completed in 2014-16 by Ryan Rusnak, Rebecca Lawin McCarley, interns with the City of Davenport, and members of the Davenport Historic Preservation Commission. Research was reviewed by Rebecca Lawin McCarley and incorporated into the amended nomination with the information on the table below. The table below summarizes the research and architectural notes for this property. Additional information and final determinations of eligibility may also be found in the amended NRHP nomination (McCarley 2016). This project was funded by a FY2015 Historic Resource Development Program grant, through the State Historical Society of Iowa, with matching funds and staff hours contributed by the City of Davenport.

Address State #, Map #, FS # 2016 district status 1983 district status	Historic Name	significant date/s architectural style/type	Materials of walls, foundations, roof
	<i>History of property (owners/residents, census data including birthplace of self (and parents), Sanborn map info), Current use</i>		<i>Architectural data (architect/builder, features, modifications), Garage data</i>
528 W 6th St  State #82-00549  Map #034 Field Site #C-06 Parcel #G0053-06  Updated district status: 1 contributing building (A)  1983 NRHP status: Contributing	<b>Petersen-Schricker House</b>  c.1876-1896 - William D. and Sarah J. Petersen (dry goods - J.H.C. Petersen & Sons) 1880 census: Petersen, W.D. (28, dry goods merchant) - born in Germany - Schleswig (Germany - Schleswig, Germany - Schleswig) (; wife: Sarah J (25) - born in US - IA (US - RI, US - RI) 1896-1913 - Richard and Alma Schricker (sec & treas - Rascher Schricker & Rascher Hardware Co) 1910 Sanborn map: house - 2 story - extant 1910 census: Schricker, Richard (37) - born in US - IA (Germany, Germany); wife: Alma C (34) - born in US - IA (Germany, Germany) 1914-1921 - Otto Gust and Mary Nobis; 1921-1940 - series of owners - used as rental - two families here in 1925; 1940-1944 - owned by Wallace Rohlf; 1944-1946 - owned by E.J. Skelly - used as rental - four families here in 1945, including Tippy; 1946-1959 - Forrest and Helen Tippy - lived in one unit - rented other three; 1959-1964 - owned by Magdalen T. Marolf 1956 Sanborn map: apartments (4 units) - 2 story - extant 1975/1977/1979 - repairs/remodeling after condemnation notices; 1982 - remodel house and build parking spaces Current use: apartments (3 units)	c.1876, c.1896, c.1990s? Gothic Revival / Late Tudor Revival (2 story)	Walls: frame - stucco/wood Foundation: stone Roof: cross gable - asphalt shingles  Architect/builder: - Porch: entry steps (concrete) Windows: 1/1 wood and 2/2 wood windows Architectural details: steeply pitched gable roof, dormers Modifications: Historic: c.1896 - addition on east side, front porch (removed); Non-historic: 1990s? - stucco/half timbering Garage: none Other site features: stone retaining wall along W. 6th St* (4 ft, cut stone block), concrete steps from street up hill to house

**Narrative Description**

This is a two-story Gothic Revival/Late Tudor Revival house built around 1876 for William D. and Sarah J. Petersen with alterations c. 1886 by Richard and Alma Schricker. The frame house is covered in stucco and sits on a stone foundation. The cross gable roof is clad in asphalt shingles, while the flat section of the roof is clad in a rubberized membrane. The house features a steeply pitched gable roof and dormers.

The façade is the south elevation of the house, facing West 6th Street. Two non-historic entries with wood surrounds (one with a transom) are accessed from the stoop and walkway. The south elevation contains later French doors and transom, which provides access to a later wood deck, three one-over-one light double-hung wood windows, all with wood surrounds, on the first floor and four one-over-one light double-hung wood windows and one three-light wood casement window, all with wood surrounds,

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 2

Petersen - Schricker House	Scott
Name of Property	County
528 W 6 <sup>th</sup> St	Davenport
Address	City

on the second floor. The south elevation also contains a second story deck, which is accessed by later French doors. The east elevation contains one one-over-one light double-hung wood window on the first floor, three one-over-one light double-hung windows and one two-over-two light double-hung wood windows on the second floor, all with wood surrounds. The north elevation contains two non-historic entries, which are accessed by a later wood deck, and two two-over-two light double-hung wood windows on the alley level and a non-historic entry and a bay window with three one-over-one light double-hung wood windows on the lower level, all with wood surrounds. The west elevation contains two two-over-two light double hung wood windows on the alley level, all with wood surrounds. The stucco/half timbering application appears to have been done later (c. 1990?).

The property also contains stone retaining wall (four foot cut stone) along West 6th Street, concrete steps from street up hill to house and wooden stairs along the west side of the house.

**Narrative Statement of Significance**

The Petersen-Schricker House is noted as contributing historically under Criterion A within the revised boundary for the Hamburg Historic District in Davenport. The house was previously noted as contributing in the original Hamburg Historic District in 1983.

*Developmental history of the property*

On December 21, 1875, Nicholas Kerhmen transferred the west 70 feet of Lot 2 (Block 35) to William D. Petersen. City directories list William D. Petersen – J.H.C. Petersen and Sons at 528 West 6th Street in 1876. The 1880 Federal census lists the Petersen family at 528 West 6th Street, including 1880 census – 528 W. 6th St (W.D. Petersen 9 28 – works as dry goods merchant – born in Schleswig), his wife Sally J. (25 – born in Iowa, United States) their daughters Lillie (4) and Alma (2) and Brother-In-Law Hugo Von Freyburg (30 – works as clerk in store – born in Schleswig). City directories list W.D. Petersen – Petersen and Sons at 528 West 6th Street in 1885. The 1892 Sanborn map depicts a two-story house with one a story-addition at the side (west), a one-story bay window at the side (east), a one-story porch at the front (south) and a one-story porch at the side (southwest). On January 28, 1896, William D. Petersen and wife transferred the west 70 feet of Lot 2 (Block 35) to Richard L. Schricker. The 1910 Federal census lists the Schricker family at 528 West 6th Street including Richard L. (37 – no occupation - born in Iowa, United States), his wife Alma C. – (34 – born in Iowa, United States), their child Irene (13) and domestic servant Emma Rupp (29 – born in Germany). City directories list Richard L. Schricker, his wife Alma C. and domestic servant Emma Raap at 528 West 6th in 1910. The 1910 Sanborn map shows the same basic footprint as the 1892 map except one-story and two story-additions have been constructed on the east side of the house and the front porch (south) has been expanded.

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 3

Petersen - Schricker House

Name of Property

528 W 6<sup>th</sup> St

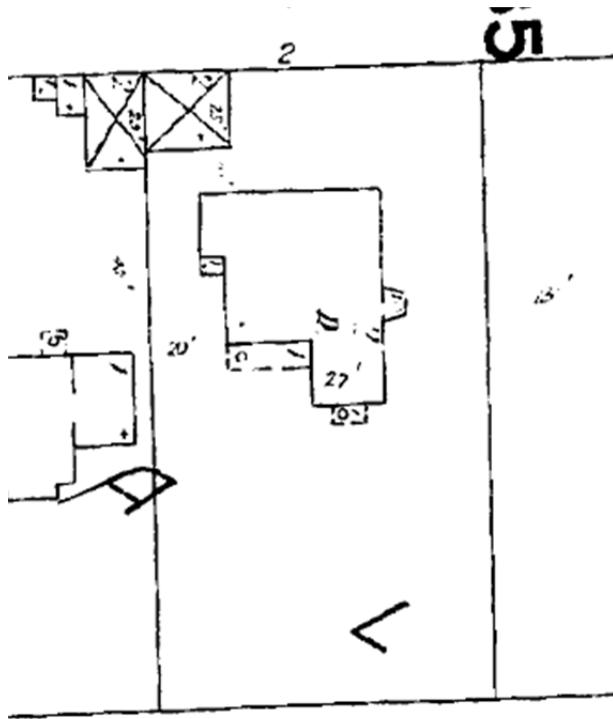
Address

Scott

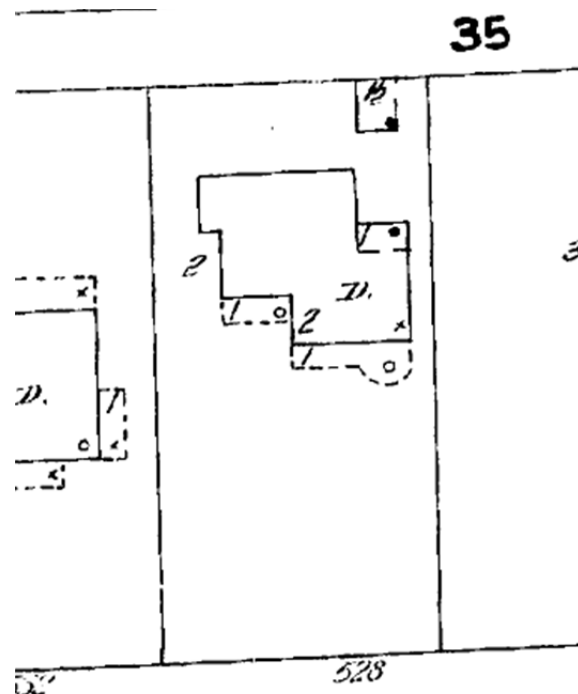
County

Davenport

City



**1892 Sanborn Map**



**1910 Sanborn Map**

On March 14, 1913, Richard L. Schricker, husband, transferred the west 70 feet of Lot 2 (Block 35) to Alma Schricker, wife. On May 17, 1913, Alma Schricker, unmarried, transferred the west 70 feet of Lot 2 (Block 35) to Julia T. Steffen. On March 31, 1914, Julia T. Steffen and husband transferred their interest in the west 70 feet of Lot 2 (Block 35) to Alma D. Schricker. On March 41, 1914, Alma C. Schricker, single, transferred the west 70 feet of Lot 2 (Block 35) to Otto G. Nobis. City directories list Otto G. Nobis, Secretary and Treasurer Central Engineering Company, Gust Nobis, his wife Mary, Lillie Nobis and Paul W. Nobis at 528 West 6th Street in 1915. On October 7, 1921, Otto G. Nobis and wife transferred the west 70 feet of Lot 2 (Block 35) to Sophie Pieper. On September 19, 1923, Sophie Pieper, widow, transferred the west 70 feet of Lot 2 (Block 35) to Elsie B. McCall and husband. On June 21, 1924, Elsie B. McCall and husband transferred the west 70 feet of Lot 2 (Block 35) to Lura Purcell. On September 9, 1924, Lura Purcell, single, transferred the west 70 feet of Lot 2 (Block 35) to Ernest Stohl. City directories James E. Cuppernoll - salesman - Interstate Auto and Supply Company, his wife Mathilda, Arthur A. Hummel - packer at Phoenix Flour Mills and his wife Ruth at 528 West 6th Street in 1925. On April 2, 1926, Ernest Stohl, single, transferred the west 70 feet of Lot 2 (Block 35) to Norman F. Graff. On June 5, 1930, Norman E. Graff, single, transferred the west 70 feet of Lot 2 (Block 35) to Robert Collier and wife. On June 7, 1935, Frank D. Martin, Sheriff, transferred the west 70 feet of Lot 2 (Block 35) to Liquidation Corporation. City directories list Theo Fitzwater - laborer, his wife Pearl, Donald Bateman - Machine Operator and his wife Vernal at 528 West 6th Street in 1935. On March 4, 1938, Liquidation Corp transferred the west 70 feet of Lot 2 (Block 35) to Coe and Mildred Hottle. On March 4, 1938, Coe Hottle and wife transferred the west 70 feet of Lot 2 (Block 35) to Minnie A. Voss.

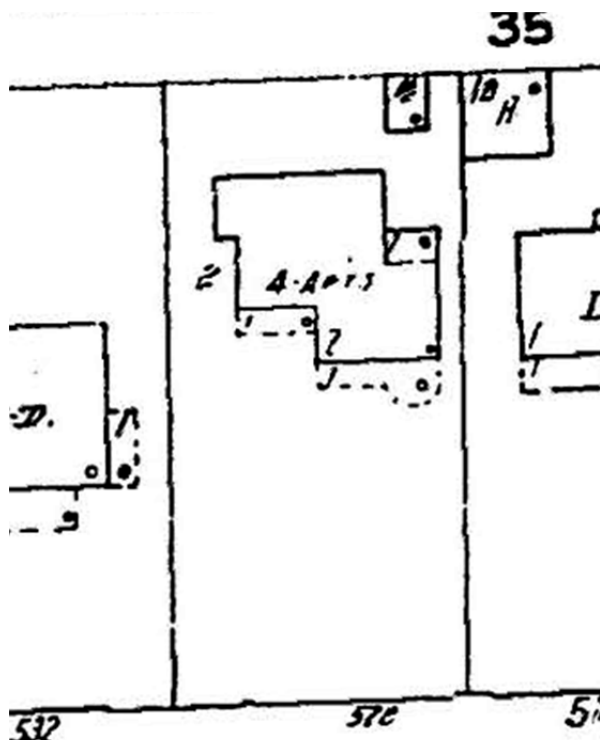
**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00549  
 Related District Number: 82-00027

Page 4

Petersen - Schricker House	Scott
Name of Property	County
528 W 6 <sup>th</sup> St	Davenport
Address	City

On December 19, 1940, Minnie A. Voss and husband transferred the west 70 feet of Lot 2 (Block 35) to Wallace P. Rohlfs. On April 18, 1944 a permit was issued to Forrest Tippy to construct a cat walk from alley to rear of house and cut in door opening. On November 21, 1944, Wallace P. Rohlfs and wife transferred the west 70 feet of Lot 2 (Block 35) to E.J. Skelly. City directories list Forest W. Tippy, his wife Helen M., Otto R. Golderman – barman – The Cow Path, his wife Ethel H., Louis A. Jorgens, Kennel Walkup – driver and his wife Violet P. at 528 West 6<sup>th</sup> Street in 1945. On November 14, 1945 a permit was issued to F.W. Tippy to remove three windows in front and install one new window, remove sliding doors, cut down openings and install French doors, cut door opening in place of window and close up one door opening. On November 1, 1946, E.J. Skelly and wife transferred the west 70 feet of Lot 2 (Block 35) to Forrest W. and Helen M. Tippy. On October 10, 1949 a permit was issued to F.W. Tippy to reside house with insulated brick siding over wood siding and trim window and door openings. City directories list Gene E. Acuff - laborer, his wife Mary E., Robert Chrissinger – driver at Crescent Macaroni and Cracker Company, his wife Doanna, Paul J. Washam – driver at Crescent Macaroni and Cracker Company and his wife Janice at 528 West 6th in 1955. The 1956 Sanborn map depicts the same basic footprint as the 1910 map.



**1956 Sanborn Map**

On June 27, 1959, Helen R. Martens transferred west 70 feet of Lot 2 (Block 35) to Magdalen T. Marolf. On January 10, 1964, Magdalen T. Marolf transferred the west 70 feet of Lot 2 (Block 35) to Winton D. and Elsie Anderson. On August 22, 1979 a permit was issued to Henry Rubalcava to replace four outside doors.

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 5

<u>Petersen - Schricker House</u>	<u>Scott</u>
Name of Property	County
<u>528 W 6<sup>th</sup> St</u>	<u>Davenport</u>
Address	City

On October 16, 1975 a permit was issued to Roger J. Crow to make general repairs per condemnation notice. On May 26, 1977 a permit was issued to Jim Heath to make general repairs per condemnation notice was issued on 5-26-1977. On June 23, 1982 a permit was issued to Restore Davenport, Inc. to remodel house to four-unit multiple family and a twenty foot by sixty eight foot parking ramp with storage rooms underneath. The property is currently configured as a three-family conversion.

**Iowa Site Inventory Form**  
**State Historic Preservation Office**  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 6

<u>Petersen - Schricker House</u>	<u>Scott</u>
Name of Property	County
<u>528 W 6<sup>th</sup> St</u>	<u>Davenport</u>
Address	City

**Bibliography**

Bowers, Martha H. "Historical and Architectural Resources of Davenport, Iowa," Multiple Resource Application, National Register of Historic Places nomination form. Dennett, Muessig & Associates, Iowa City, Iowa. Revised July 1983. Listed on May 29, 1984.

Bowers, Martha H. "Hamburg Historic District," part of Historical and Architectural Resources of Davenport, Iowa, Multiple Resource Application, National Register of Historic Places nomination form. Dennett, Muessig & Associates, Iowa City, Iowa. January 1982. Listed on May 5, 1983.

Building permits. Building Department, City of Davenport, Public Works, 1200 E. 46<sup>th</sup> Street, Davenport, Iowa.

Census records, federal and Iowa. Researched online through Ancestry.com.

City directories, Davenport, Iowa. Special Collections, Davenport Public Library, Davenport, Iowa, and also online through Ancestry.com.

Deed and transfer book records. Auditor's Office and Recorder's Office, Scott County Administration Building, Davenport, Iowa.

McCarley, Rebecca Lawin. "Hamburg Historic District (amendment, increase, decrease)," National Register of Historic Places nomination form. SPARK Consulting Davenport, Iowa. Draft nomination, April 2016.

Oszuscik, Philippe. "A History of the Architecture and Urbanization of Nineteenth Century Davenport, Iowa." Ph.D. Dissertation, University of Iowa, 1979.

Sanborn Map Company. "Davenport, Iowa," fire insurance maps. New York: Sanborn Map Company, 1886, 1892, 1910, 1956.

Svendsen, Marlys and Martha H. Bowers. *Davenport: Where the Mississippi Runs West*. Davenport: Department of Community Development, 1982.

# Iowa Site Inventory Form

State Historic Preservation Office  
Continuation Sheet

Site Number: 82-00549  
Related District Number: 82-00027

Page 7

Petersen - Schricker House

Name of Property

528 W 6<sup>th</sup> St

Address

Scott

County

Davenport

City

## Location map



Field site numbers, initial coding by date: Z99 - built by 1930 Z99 - built since 1930 Z99 - moved since 1930  
(Hamburg Historic District - 1982 nomination - period of significance c.1848-c.1932)

0 100 200 400 Feet

# Iowa Site Inventory Form

State Historic Preservation Office  
Continuation Sheet

Site Number: 82-00549  
Related District Number: 82-00027

Page 8

Petersen - Schricker House

Name of Property

528 W 6<sup>th</sup> St

Address

Scott

County

Davenport

City

## Revised district map



**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 9

Petersen - Schricker House  
Name of Property

528 W 6<sup>th</sup> St  
Address

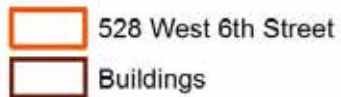
Scott

County

Davenport

City

**Site plan (from Davenport GIS)**



0 5 10 20 Feet  
[Scale bar]

2014 Aerial Photograph



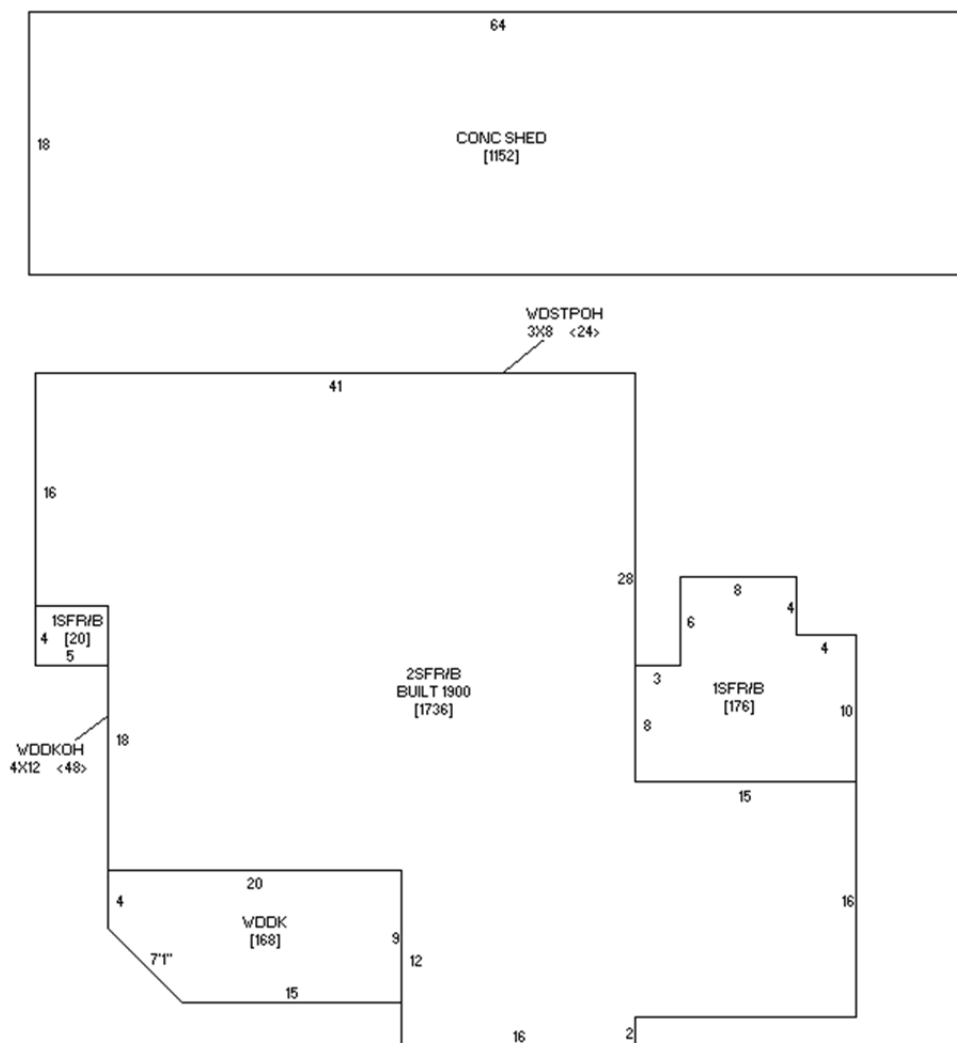
**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 10

Petersen - Schricker House	Scott
Name of Property	County
528 W 6 <sup>th</sup> St	Davenport
Address	City

**Building plan (from assessor's website)**



**Historic images**

None identified during this project

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 11

Petersen - Schricker House

Name of Property

Scott

County

528 W 6<sup>th</sup> St

Address

Davenport

City

**Photograph from 1981-82 survey/nomination project**



**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 12

Petersen - Schricker House

Name of Property

Scott

County

528 W 6<sup>th</sup> St

Address

Davenport

City

**Digital photographs**



**Photograph 82-00549-001 - House, looking north (April 2015)**

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 13

Petersen - Schricker House

Name of Property

Scott

County

528 W 6<sup>th</sup> St

Address

Davenport

City



Photograph 82-00549-002 - House, looking southeast (April 2015)

**Iowa Site Inventory Form**  
State Historic Preservation Office  
**Continuation Sheet**

Site Number: 82-00549  
Related District Number: 82-00027

Page 14

Petersen - Schricker House

Name of Property

Scott

County

528 W 6<sup>th</sup> St

Address

Davenport

City



Photograph 82-00549-003 - House, looking southwest (April 2015)

City of Davenport  
Historic Preservation Commission

Department: CPED  
Contact Info: Matt Flynn, 888-2286, matt.flynn@ci.davenport.ia.us

**Date**  
**11/13/2018**

**Subject:**

Case COA18-13: Certificate of Appropriateness for 513 Scott Street (Porch and railing repairs and replacement) Sandy Dimmer, Humility Homes and Services, Inc. petitioner. [Ward 3]

**ATTACHMENTS:**

Type	Description
▣ Backup Material	Project Summary
▣ Backup Material	Railing detail
▣ Backup Material	Bid
▣ Backup Material	Photo 1
▣ Backup Material	Photo 2
▣ Backup Material	Photo 3
▣ Backup Material	Photo 4
▣ Backup Material	Photo 5
▣ Backup Material	Photo 6
▣ Backup Material	Photo 7
▣ Backup Material	Photo 8
▣ Backup Material	Photo 9

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	11/8/2018 - 1:47 PM

**From:** [Sandra Dimmer](#)  
**To:** [Flynn, Matt](#)  
**Subject:** Proposed work at 513 Scott St.  
**Date:** Wednesday, November 07, 2018 3:21:02 PM  
**Attachments:** [Sampson Construction - signed bid.pdf](#)  
[20181107\\_134103.pdf](#)

---

Hello Matt,

Thank you for taking time to explain the process regarding obtaining approval for work to be done at our property at 513 Scott St. We are looking at having several outdoor improvements made at the property in the near future. The first phase of the work will involve removing and replacing the side porch steps and railing, replacing the back steps and railing and installing railings on each side of the concrete steps leading to the exterior basement entrance in the back of the building. We would like this work to be done yet this month.

The second phase of the project would not take place until next spring. This would involve replacing the porch decking on the side and front porches. We would also replace the front steps. On the front porch, we would be re-using the existing railings. On the side, we have an issue with the supports on the left of the stairs bowing out as this carries the weight of the second level of the home. We would like to replace this entire porch and railing system, but have not determined what type of railing/support we will be using. We are still in the process of getting bids on this part of the project.

We will need to coordinate between contractors for both projects so the design is the same. Hank Jacobsen from Sampson Construction will be able to come to the meeting with me on Tuesday to address any questions. I also have one bid from another company for the second phase of the project, but he was proposing using wooden supports. I'm not sure if there are guidelines for what materials can be used for the supports/railings since it is in the Gold Coast District, so will need to be determined before I can get a finalized bid.

I'm attaching pictures of the property, the bid from Sampson Construction and an image of the railing that we would be looking at using on the side, and rear stair systems and on the stairs leading to the basement entrance.

Please let me know if you have any questions or if there is anything else you may need.  
Thank you.

--

**Sandy Dimmer**  
**Project Development Coordinator**  
**Humility Homes and Services, Inc.**  
3805 Mississippi Ave., Davenport, IA 52807  
P -(563)326-1330 ext. 107  
F-(563)326-0756

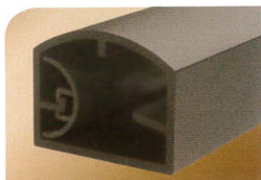
# Tuscany



## SPECIFICATIONS

- Railing Heights: 36", 42"
- Railing Lengths: 4', 5', 6', 7', 8'
- Stair Rail Lengths: 4', 5', 6', 7', 8'
- C10 Baluster: 3/4" x 3/4" x (.045" wall)
- C101 Baluster: 3/4" Round (.060" wall)
- Baluster Spacing: 3.875", 3.625" Stairs
- Stylish Top Rail: 1-3/4" w (.090") x 1-3/8" t (.085")
- Bottom Rail: 1-3/4" w (.090") x 1-1/4" t (.120")
- Vinyl Insert Baluster Retainer (Top and Bottom Rails)
- Bottom Rail Support: 7', 8'
- Standard Gates: 36"W and 48"W Openings (Custom Sizes Available)

NOTE: Baluster end spacing may vary by length.  
All sections do not come out even on each end as shown above.



Top Rail Profile



Bottom Rail Profile

A stylish 1-3/4" x 1-3/8" top rail combined with the 1-3/4" x 1-1/4" classic bottom rail creates a streamlined design sure to appeal to those with a touch of class.

## Styles C10\* & C101

The Tuscany Series adds a touch of class with classic 2-rail designs. These designs are accented with a stylish top rail and 3/4" square or round balusters along with a variety of satin, textured, and multi-colored finishes, and a lifetime limited warranty. Featuring classic designs to warm your heart as you are greeted home.



**E** Style: C10 With Level Crossover Post  
Color: Bronze Fine Texture

**F** Style: C10 With Level Crossover Post  
Color: Satin Black

**G** Style: C10 Gate  
Color: Speckled Walnut



\*CCRR-0163 complies with IBC, IRC, and FBC



\*For 4' through 6' Sections



July 31, 2018

Humility of Mary Housing, Inc.  
Sandy Dimmer  
3805 Mississippi Avenue  
Davenport, IA 52807

email: [sdimmer@humilityofmaryhousing.com](mailto:sdimmer@humilityofmaryhousing.com)  
cell: 563-579-5434  
Phone: 563-326-1330  
Fax: 563-326-0756

### PROPOSAL

Sampson Construction proposes to:

LOCATION - 2268 W. Columbia Avenue, Davenport, IA

Demo and haul away existing deck.

Construct cedar deck, landings, and steps per attached drawing.

#1 grade cedar flooring. Premium treated substructure. 6" x 6" Footings to code.

Install cedar raised railing.

TOTAL COST..... \$8,400.00

LOCATION - 513 Scott Street, Davenport, IA

Replace landing with railing per discussion.

Demo concrete pad. Replace steps and railing with new cedar steps and Westbury C10

Aluminum Railing (color - TBD).

Add Westbury C10 Aluminum Railing (color - TBD) to both sides of basement entrance per discussion.

TOTAL COST..... \$8,000.00

TERMS: 30% Down Payment, Balance Upon Completion.

Work to be completed during 2018 season.

Respectfully submitted,

SAMPSON CONSTRUCTION INC.

A handwritten signature in black ink that reads "Hank Robertson".

Hank Robertson  
563-381-7277

Accepted by

A handwritten signature in black ink that reads "Sandra Dimmer".

Date 7-31-18

















