

PLAN AND ZONING COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, MARCH 20, 2018; 5:00 PM

COUNCIL CHAMBERS

COMMBINED PUBLIC HEARING & REGULAR MEETING

**COMBINED PUBLIC HEARING AND REGULAR MEETING AGENDAS**

**PUBLIC HEARING AGENDA**

A.

I. New Business

- A. Case No. ORD18-01: Public Hearing for a proposed amendment to the Davenport Zoning Ordinance, Title 17.41 of the Municipal Code, creating an Elmore Corners Overlay District (ECOD) and design standards controlling development within said district [6th Ward].
- B. Case ORD18-02 Ordinance amending Title 17 to incorporate a zoning component to promote and create a commercial identity for the Rockingham Road corridor through the use of design and use standards. City of Davenport is the Petitioner. Chapter 17.60 of the Davenport Municipal Code allows for text and map amendments. [1st & 3rd Wards]
- C. Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.48.020.C by adding Sale and Storage of Fireworks and Explosive Devices to the list of uses requiring a Special Use Permit in the "M-2" Heavy Industrial District. [Wards All]

II. Next Public Hearing

- A. Tuesday, April 03, 2018 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

**REGULAR MEETING AGENDA**

I. Roll Call

II. Report of the City Council Authority

- A. Report of City Council Action 03-14-18 meeting

III. Secretary's Report

- A. (March 06, 2018 meeting minutes)

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

B. New Business

VI. Subdivision Activity

A. Old Business

- i. Case No. F18-01: Revised final plat of Reed's Retreat located west of Wisconsin Avenue and north of Telegraph Road, containing three (3) lots and one (1) outlot, the ownership of which would remain with the rest of the un-platted ground. on 17.79 acres, more or less, The property is zoned both "R-1" Low Density Dwelling District and "A-1" Agricultural District.[Ward 1]

B. New Business

- i. Case No. P18-02: Preliminary plat Seng Meadows located west of Northwest Boulevard and north of 46th Street containing 58 residential lots and one outlot. [Ward 7]

VII. Future Business

VIII. Communications

- A. (Time open for citizens wishing to address the Commission on matters not on the established agenda)

IX. Other Business

X. Adjourn

- A.
  - Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement.
  - Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
  - Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
  - A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting: Tuesday, April 03, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

Subject:

Staff Workflow Reviewers

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/16/2018 - 3:33 PM

City of Davenport  
Plan and Zoning Commission

Department: Community Planning and Economic Development  
Contact Info: Matt Flynn, 888-2286

**Date**  
**3/20/2018**

**Subject:**

Case No. ORD18-01: Public Hearing for a proposed amendment to the Davenport Zoning Ordinance, Title 17.41 of the Municipal Code, creating an Elmore Corners Overlay District (ECOD) and design standards controlling development within said district [6th Ward].

**Recommendation:**

Hold the Public Hearing

**Relationship to Goals:**

Enhance Quality of Life

**Background:**

The proposed creation of the ECOD and accompanied design standards are designed to implement the goals of the Elmore Corners Area Plan, also under consideration. See attached for additional information.

**ATTACHMENTS:**

Type	Description
▣ Backup Material	Staff Report
▣ Ordinance	Proposed Ordinance
▣ Backup Material	Map of Proposed ECOD
▣ Backup Material	Elmore Corners Area Plan

**Staff Workflow Reviewers**

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Flynn, Matt	Approved	3/15/2018 - 1:33 PM





## **PLAN AND ZONING COMMISSION**

**Meeting Date:** March 6, 2018  
**Request:** Proposed Zoning Ordinance Text Amendment adopting Design Standards for Elmore Corners.  
**Case No.:** ORD18-01  
**Applicant:** City of Davenport  
**Contact:** Matthew G. Flynn, AICP  
Senior Planning Manager  
matt.flynn@ci.davenport.ia.us  
563-888-2286

### **Recommendation:**

There is no recommendation at this time.

### **Introduction:**

Case No. ORD18-01: Zoning Ordinance Text Amendment adopting Design Standards for Elmore Corners.

### **Background:**

The Elmore Corners Plan and Design Standards project was authorized by City Council. Following a national search, Vandewalle Associates of Madison Wisconsin was selected to lead the City through the process.

The preliminary draft of the design standards is attached. The design standards are intended to ensure a high quality level of coordinated development within the area designed to attract quality national and local retailers while protecting investment.

Following adoption, the new regulations will be incorporated into the new zoning ordinance as well.

### **Public Input:**

Public input has been sought throughout the process.

There was a kick off meeting on July 18, 2017, where key stakeholders were interviewed and provided an overview of the project.

On October 25, 2017, the draft plan was presented to the steering committee. Comments were incorporated into the final draft.

On January 22, 2018, a public meeting was held to review the draft plan. Approximately 80 people attended.

On January 29, 2018, the draft plan was discussed at a 6th Ward meeting.

On February 22, 2018, a follow up public meeting was held.

Notices of this public hearing were sent to properties within and adjacent to the Proposed Overlay Area. Signs were posted and an ad run in the Quad City Times. As of this writing, no comments have been received.

**Next steps:**

Staff will give a presentation on the Elmore Corners Area Plan and Design Standards at the March 20, 2018 Plan and Zoning Commission Public Hearing.

## **Chapter 17.41 HCOD HIGHWAY CORRIDOR OVERLAY DISTRICT**

Prior ordinance history includes portions of Ordinance No. 91-509 and 97-137.

### **Sections:**

- 17.41.010 Intent.**
- 17.41.020 Applicability.**
- 17.41.030 Use regulations.**
- 17.41.040 Height, yard, lot width and area regulations.**
- 17.41.045 Design review.**
- 17.41.050 Performance standards.**
- 17.41.060 ECOD Elmore Corners Overlay District**

### **17.41.010 Intent.**

This district is intended to establish a physically attractive pattern of development on certain major entrance corridors into the city of Davenport, to protect these areas from the negative effects of incompatible development and to protect the traffic carrying of important highways within the city. (Ord. 2011-471 § 6 (part)).

### **17.41.020 Applicability.**

The regulations set forth in this chapter, or set forth elsewhere in this title when referred to in this chapter, are the regulations in the "HCOD" highway corridor overlay district. (Ord. 2011-471 § 6 (part)).

### **17.41.030 Use regulations.**

Permitted uses shall be all uses allowed in the underlying zoning districts. All future rezonings in the "HCOD" highway corridor overlay district other than single-family residential shall be limited to "PUD" planned development district, "PCP" planned commerce park district, and "M-3" planned industrial district, as these districts allow the degree of review and control necessary to achieve the goals of the "HCOD" highway corridor overlay district and allow a complete range of allowable uses for low density residential to retail to industrial.

This chapter shall not apply to single-family detached homes or single-family subdivisions. (Ord. 2011-471 § 6 (part)).

### **17.41.040 Height, yard, lot width and area regulations.**

All requirements of the underlying zoning districts concerning building height, lot area, and yard depths shall remain applicable with the following exceptions:

A. A twenty-five foot landscape buffer shall be required on all major arterial or minor arterial streets. Parking lot circulation may cross the landscape buffer area but parking may not be developed within the required setback. On all other streets a similar ten foot landscape buffer shall be required. In cases where other provisions of the zoning ordinance requires more restrictive standards, the more restrictive standards shall apply.

B. All immediate structures for non-residential uses shall be set back from any immediately contiguous property used for residential development a minimum of twenty-five feet for a one and one-half story building (maximum height fifteen feet) and forty feet for a two story building (maximum height twenty-five feet). Structures shall be set back an additional one foot for each foot of building height over twenty-five feet to a maximum setback of seventy feet from any immediately contiguous residential property line or residential zone. Property separated by public rights-of-way shall not be considered immediately contiguous property.

The zoning board of adjustment may grant variances in cases where the above setback regulations (subsections A and B) unduly impact the developability of any lot subdivided for development prior to the passage of this chapter. The Board may consider the feasibility of complying with the additional setback requirements based upon all of the following:

1. Existing lot size.
2. Compatibility with adjacent development.
3. Locational and topographical factors. (Ord. 2011-471 § 6 (part)).

#### **17.41.045 Design review.**

Prior to the issuance of a building permit for the construction of a building, structure, or sign, as defined in Chapter 17.04, the plans shall be administratively reviewed and approved by the planning and economic director or his/her designee, to ensure that the building, structure, or sign complies with the performance standards and guidelines established in, and pursuant to, Section 17.41.050, **Performance Standards (HCOD)** and Section 17.41.055, **Performance Standards (ECOD)**.

##### **A. Exceptions.**

1. Single-family dwellings and accessory structures thereto are not subject to review.
2. The review of public utility structures (except for public utility buildings which are subject to architectural review) shall be limited to requirements for berming and landscaping. Requirements may be extensive and shall include a mix of plant materials having year round effectiveness.
3. Exempted signs, as enumerated in Section 17.45.025 of the zoning ordinance.
4. Temporary signs, which are in compliance with the regulations enumerated Section 17.45.050 of the zoning ordinance.

Notwithstanding the above, the development official, may require the replacement of any of the above signs listed in subsection A, 4 above after one year, if in his or her opinion the sign has become unattractive or deteriorated. Appeals of such administrative decisions shall be made to the zoning board of adjustment within ten days of receipt of the notification of any defect.

##### **B. Authority.**

1. As part of the review by the commission of a final development plan, as required by the provisions of Chapter 17.32, "PDD" planned development district, Chapter 17.40, "M-3" planned industrial district, or Chapter 17.50, "PUD" planned unit development, the commission shall review the materials referenced in subsection C, 1 of this section and make recommendations to the commission and the city council relative to the commission and the city council relative to the compliance of the application with the criteria set forth in Section 17.41.050.

2. For other construction subject to the provisions of this chapter but not subject to final development plan approval, the community planning and economic director or his/her designee shall review the materials referenced in subsection C, 1 of this section and approve, conditionally approve, continue or deny any application, basing its decisions on the criteria set forth in Section 17.14.050. Approvals shall be valid for a period of one year from the date of approval. If no building permit has been issued pursuant to the development of the approved project within one year of approval, the approval shall expire.

C. Procedure. In the interests of neighborhood harmony and courtesy, a meeting with adjacent property owners and neighbors is strongly encouraged.

1. Prior to the preparation of final architectural drawings and prior to the issuance of any building permit for any proposal, the applicant shall submit the following information and materials:

- a. The completed application form;
- b. A dimensioned site plan, including the locations of any proposed or existing buildings on the subject parcel and on surrounding parcels, if the buildings are within one hundred feet of the subject parcel;
- c. A verifiable legal description, or a land survey, where deemed necessary by the development official;
- d. A map showing the existing topography of the subject parcel and the topography of other properties at two foot contour intervals, extending one hundred feet from the subject parcel;
- e. A preliminary grading plan showing before and after grades at two foot contour intervals;
- f. A landscape plan (although the authority of staff to approve site plans under Section 17.56 of the Zoning Ordinance remains in effect).
- g. Elevation drawings, in color and drawn to scale, of the front, sides, rear, and roof lines of all proposed buildings or structures, illustrating the appearance and treatment of required screening elements for roof-mounted equipment. Outdoor storage areas that are part of any submittal shall be reflected in the elevation drawings submitted and shall show their relationship to the building elevations as well as the material and treatment proposed that would accurately reflect

the screening of the storage areas. A second set of elevations (not colored) shall be submitted on eight and one-half by eleven inch paper.

h. Samples of each type of exterior building materials, including the color.

i. Samples of the materials, including the color, along with scaled, accurately colored elevations, of any proposed sign and/or sign package.

2. Prior to issuance of a building permit, the development official shall determine that the submitted plans for the building permit are in substantial conformance with those approved as part of the final development plan, as stated in subsection B, 1 of this section, or by the community planning and economic development director or his/her designee, as stated in subsection B, 2 of this section, and that the time period for approvals has not expired. The stamping of the plans and the signature of the development official, and the date of the signature shall indicate that the plans are in conformance.

3. Prior to any external change, including, but not limited to, a remodeling or elevation alteration which includes changes in materials or colors, the property owner or his or her designated representative shall present the change for review to the development official. The development official may approve a sign, a change to the color scheme or an existing building, a building addition or structure, or a revised landscape plan based upon the following criteria:

a. Building addition or structure:

The addition of accessory structure shall not substantially alter the appearance of the site as viewed from off the site; or be visually incompatible with the existing building or structure.

(1) An addition to an existing building or accessory structure of one thousand square feet or less or;

(2) Which shall not increase the area of coverage by more than fifteen percent increase the number of stories or propose substantial changes to building materials. In no case shall increases greater than fifteen percent of the area of the building coverage, increases in the number of stories in a building, or substantial changes in exterior building materials be considered minor.

b. Landscaping:

(1) The quantity, density, and quality of the plant material is increased and upgraded; and

(2) The changes reflect a substantial improvement of the plan.

Exterior changes not meeting the criteria of subsection C, 3a. and b. shall be reviewed pursuant to the provisions of subsection B of this section.

4. Any conditions prescribed through the approval of the final development plan or by the community planning and economic development director or his/her designee shall be considered an integral part of the construction plans. The conditions shall be noted on all plans as may be required to applicable city departments.

5. Any building, structure, or sign which has been approved, constructed, or installed in accordance with the approval of a final development plan or of the community planning and economic development director or his/her designee may be removed. However, it shall not be modified, altered, or changed in any manner without additional review by the development official, who shall decide whether the proposed change shall be reviewed pursuant to the provisions of subsection C of this section.

6. Initiating construction or development prior to the issuance of building permits or noncompliance with approved plans and conditions shall be grounds for either stopping work on the project or denial of a certificate of occupancy.

7. Upon completion, prior to issuance of a certificate of occupancy, the property owner or general contractor shall certify in writing that, to the best of his or her knowledge, the building, structure, and site detail have been completed in accordance with the approved design and applicable codes.

8. Lack of maintenance of any portion of an approved project approved through the approval of a final development plan or by the community planning and economic development director or his/her designee of this code.

D. Appeal.

1. The applicant for design review, may appeal any decision of the community planning and economic development director or his/her designee to the design review board by filing written notice of appeal to the community planning and economic development department within ten working days of the date of the decision. Notice of such appeal and the date for its consideration.

2. The design review board shall base its decision to affirm, modify, or reverse the decision of the community planning and economic development director or his/her designee based on the information and materials previously submitted to the community planning and economic development director or his/her designee.

E. Violations and penalties. It shall be unlawful to construct, erect, install, alter, change, maintain, or permit the construction, erection, installation, alteration, change, maintenance of any building, structure, sign, wall, or landscaping, or use or permit the use of any lot or other land contrary to, or in violation of, any of the provisions of this chapter, and is punishable as set forth in Chapter 17.62 of this code. (Ord. 2011-471 § 6 (part)).

#### **17.41.050 Performance standards.**

All uses and buildings permitted within the "HCOD" highway corridor overlay district shall comply in total with the following performance standards:

A. Open space and landscaping requirements. The total ground area devoted to open space for natural landscape and landscape beautification shall not be less than twenty percent on any development site within the "HCOD" highway corridor overlay district. Such open spaces will be free of all drives, parking areas, structures, buildings, except for those walkways, monuments, and ornamental features considered to be necessary and essential to the central landscape theme. In the case of underlying zones which require more restrictive standards, the more restrictive standard shall apply.

The minimum site landscaping requirement shall be as required in Chapter 17.56 entitled "Site Plans." Additional plantings, and larger caliper sizes and heights may be required by the development official to achieve the goals of this chapter. This landscaping shall be designed to minimize the adverse effects of long expanses of wall, exposed parking, and service areas.

Tree planting shall include a combination of evergreen and deciduous trees and shrubs. In the required front yard, canopy trees shall have a minimum caliper of two and one-half inches, multi-stem clumps shall have a minimum height of ten feet, understory trees shall have a minimum height of five feet, deciduous shrubs shall have a minimum height of twenty-four inches, and evergreen shrubs shall have a minimum height of eighteen inches.

"Caliper" shall be defined according to the standards of the American Association of Nurserymen.

Where fences are necessary for commercial projects, masonry, wrought iron/aluminum, moisture resistant wood (other than stockade) and hedges are encouraged. If visible from a public street, galvanized chain link fences are not to be allowed unless complemented by continuous tall shrubbery completely obscuring the fence.

B. Architectural standards. Buildings within the "HCOD" highway corridor overlay district shall be constructed of quality materials that have strength and permanence. Permanence means that buildings will age without deteriorating, given a minimum level of maintenance. The development shall recognize the strength and permanency of stone, brick, concrete, and steel as opposed to the frailty of light gauge sheet metal and constant maintenance of wood veneer. While no specific materials are disallowed, certain materials will be approved for exterior use only if they are an integral part of a design of unusual merit. Among those materials are architectural metal wall panels, plywood and composition siding such as hardboard. Other materials may be appropriate in one use or situation but be totally inappropriate in another.

The city council shall establish design guidelines to help guide the decisions by the design review board, city staff and to aid petitioners with design considerations.

C. Restricted uses. There are some uses that require additional restrictions within the "HCOD" highway corridor overlay district to lessen their negative impact and make them more compatible with the goals of this chapter. The following uses are restricted:

1. Automobile salesroom or showroom, or new or used car sales or vehicle storage lots. Design principles shall be incorporated into the design of auto dealerships which minimize the unattractive aspects of large areas of parked cars. One-car-deep display areas along arterial and collector streets and freeways shall be permitted. Display rows shall be screened from public rights-of-way with an eighteen inch earth berm. Additional rows of cars shall be separated from the initial row by a shrubbery hedge that completely conceals the view of these additional rows of cars from the public right-of-way. Five percent of the balance of the parking lot shall be landscaped and permeable in the form of islands and peninsulas. Signs applied to, located in, or painted onto vehicle bodies or windshields on cars in the display area are prohibited with the exception of factory invoices. The use of pennants and tinsel are prohibited. Elevated or tilted vehicle display platforms are prohibited. An earth berm or other form of landscape buffer shall be located around the sides and

rear of the property to shield the view of stored cars from adjoining residences and streets, if any. Berming and landscaping may be required to shield the view from commercial areas depending on sight lines. Lighting design shall be integrated with the design of the dealership. Non-glare, cut off luminaires shall be required so that lighting does not spill over onto adjacent properties. The leasing or renting of trucks intended for short term lease of less than seven days shall be prohibited either as a primary or an accessory use.

2. Public garages, service stations, car washes, repair shops, auto parts installation shops, auto service malls, and other similar uses. Building forms and materials shall emphasize masonry and be compatible with nearby retail buildings. Canopies over pumps and their supports shall have no lettering, logos, or striping, and shall be integrated with the building design. The use of pennants and tinsel are prohibited. Car wash structures shall be a minimum of fifty feet from any residential property line or residential zone. Outdoor storage shall be confined to areas enclosed by masonry walls. Stacks of tires, oil cans, and promotional items are not permitted. Garage bays shall be concealed from view from adjacent streets and parking lots whenever possible. The leasing or renting of trucks intended for short term lease of less than seven days shall be prohibited either as a primary or an accessory use.

3. Outdoor retailing. Outdoor retailing areas, such as garden centers, shall be orderly and attractive, with low screening walls concealing merchandise, except plant materials, from view. Additional landscaping similar to at least a "G" buffer as shown in Chapter 17.56 entitled "Site Plans" and berming may be required with such uses.

4. Contractor's yards and other similar uses involving the outside storage of materials and/or vehicles and equipment. Contractor's yards and other similar uses shall be orderly with screening walls, berms, and landscape buffers similar to at least a "G" buffer as shown in Chapter 17.56 entitled "Site Plans" to completely screen them from adjacent properties and public roads.

5. Outdoor vending machines. For the purposes of this chapter, outdoor vending machines shall also be considered outdoor retailing. Such vending machines shall be screened from public rights-of-way.

D. Environmental performance standards. Complete abatement, elimination, or reduction of all generally offensive characteristics such as odors, gases, noise, vibration, pollution of air or water or soil, excessive lighting intensity, hazardous activity, etc. which may be detrimental to the general welfare of the community shall be accomplished. The standards for compliance with this paragraph shall be as follows:

1. Air pollution. The use shall not emit any smoke, dust, odorous gases, or other matter in such quantities as to be readily detectable at any point beyond the perimeter of the site area.

2. Noise. Davenport Municipal Code, Chapter 8.16, "Noise Abatement," shall be used to regulate noise within the "HCOD" highway corridor overlay district.

3. Vibration. The use shall not include vibration which is discernible without instruments on any adjoining lot or property.

4. Site lighting and glare. All lights, other than street lights, shall be so situated and installed as to reflect away from adjacent streets and residential areas. Light and pole designs shall be compatible with the overall design of the building(s) and site. In large parking lots, poles are to be located within the landscape islands. The scale of the parking area shall be considered in the selection of pole height and spacing. Pole height shall decrease, where possible, near property lines and in low intensity use areas to further reduce glare. Uplighting trees and fountains, accent lighting on shrubs and entrances, and silhouette lighting may be used to create special effects.

5. Traffic hazard. The use shall not involve any activity substantially increasing the movement of traffic on public streets to a point that capacity and safety limitations are exceeded unless procedures are instituted to limit traffic hazards and congestion.

6. Storm water detention. Davenport Municipal Code, Chapter 13.34, "Storm Water Management" shall be used to regulate storm water run-off and provide detention where required.

7. Erosion control. Davenport Municipal Code 13.34.310–360, "Erosion Control" shall be used to regulate erosion on development sites. All development with a disturbed site in excess of five acres shall submit a copy of State of Iowa Department of Natural Resources Permit Number 2 with accompanying plans. Similarly, sites less than five acres shall submit a copy of the permit and plans if they are part of a larger development, the whole of which exceeds five acres. On sites less than five acres, an erosion control plan shall be required if, in the opinion of the city engineer, it is necessary to protect off-site properties. An approved grading plan shall be required prior to the commencement of any grading.



8. Overtax public utilities and facilities. The use shall not involve any activity substantially increasing the burden on any public facilities or utilities, unless provisions are made for necessary adjustments.

9. All utilities provided as new installation shall be underground and comply in full with the regulations set forth in Section 16.24.110 of the city of Davenport's Municipal Code entitled "Subdivision."

F. Off-street parking and loading. The required number of spaces shall remain the same as that of the underlying zoning districts. In all cases, parking lots created in the "HCOD" highway corridor overlay district shall be constructed with concrete or asphalt curbing. In all cases parking areas shall be screened from any public right-of-way or adjacent residential area by proper siting, the use of earth berms and vegetation. Earth berms shall be a minimum of three feet in height (with the exception of those on automobile sales display rows) and shall be supplemented with substantially mature trees and shrubs which have year-round effectiveness. Service areas, loading docks, and garbage facilities shall be located properly and screened as well. Landscaped parking islands and peninsulas shall be included in lot layout to reduce the visual impact and produce shade. In parking lots of twenty or more spaces, an area equal to five percent of the total parking lot area must be landscaped and permeable. This shall not include perimeter plantings. This requirement may be waived in the case of industrial properties where interior landscaping may interfere with the necessary movement of trucks and other equipment.

G. Signage requirements. Signage shall be consistent with the central aesthetic theme of the "HCOD" highway corridor overlay district; sign materials shall be permanent or long lasting in quality. The lighting of signs shall be non-intrusive with back lighting or other methods of indirect lighting required.

Refer to Chapter 17.45 of the city of Davenport's zoning ordinance entitled, "Sign Regulations" Section 17.45.090 K. for a complete description of sign regulations in the "HCOD" highway corridor overlay district. \

#### **17.41.060 Elmore Corners Overlay District (ECOD)**

##### **A. Administration**

1. Purpose. The purpose of the Elmore Corners Overlay District is to establish high quality design standards and coordination for new development to ensure implementation of the Elmore Corners Area Plan, an element of the Davenport Comprehensive Plan.

2. Subject Area. Attached Exhibit "A" depicts the area subject to the ECOD standards.

3. Process. The review process shall follow the process outlined in Title 17.41.045.

4. Design Standards. Prior to issuance of a building or development permit involving site alterations, new construction, or exterior change to a building or sign, the following standards must be met. Unless otherwise noted, the standards contained herein are mandatory.

a. Use. Permitted uses are dictated based on the underlying zoning district. The following uses are prohibited anywhere within the ECOD: Single Family Detached Residential, Warehouse and Distribution Facilities, Self Storage Facilities, Outdoor Storage, and Billboards.

##### **b. Building Composition**

(1)Guideline: Buildings shall be of a quality design that contribute to the Elmore Corners destination appearance.

##### **(2)Base, Middle, Top**

Building facades shall be composed to define base, middle and top elements. The base of the building anchors it to the ground and is the interface between the building and people. This element shall be the most articulated. The transition between the middle of the building and the base and top shall be varied by use of materials, composition, repetition or



ornamental features. The top terminates the building against the sky and provides an opportunity to create an interesting silhouette.

### (3) Rhythm

Rhythm refers to the regular or harmonious recurrence of building elements. Rhythmic elements need not be boring, but can provide the visual “glue” that links together various buildings on a street. These patterns commonly reflect the building’s repetitive structural bays, often with the end bays given special identity. This articulation of the facade helps provide scale by comprising the facade into smaller visual parts. The variation of rhythm from building to building reaffirms the individuality of each building, while the recurrence of an overall rhythm helps unify the facade. The building’s structural column lines shall in some way be evident or expressed on its facade.

### (4) Scale

In general, distinctive compositional elements of buildings (entries, structural bays, roof elements, windows) shall be distinguishable from both near and far distances. The size and shape of these elements shall give the building scale to relate to pedestrians as well as surrounding buildings. Special attention shall be paid to overall building height and massing in order to maintain a scale and character compatible with the area.

### (5) Massing

Large buildings shall be comprised of a hierarchy of masses and forms to give the building a more human scale and visual richness. Techniques include using designed recesses or projections, creating distinct building components, and varying occasional roof forms according to individual building components. However, excessive use of changes in form can create a decidedly confused street façade and disharmony.

### (6) Proportion

Building massing and components shall demonstrate consistent proportional harmonies. Typically, pedestrian friendly streets have building elements that rely more on vertically proportioned elements than horizontally proportioned elements. While no architectural rule is always valid, the use of vertically proportioned facade components seems to offer a traditionally street-friendly composition (regardless of specific architectural styles). The use of proportion is intended to provide a sense of visual harmony among elements of a building.

### (7) Architectural Form

- Buildings shall be designed to create a pedestrian friendly and scale neighborhood
- Buildings shall be primarily rectangular in form and sited parallel to public streets
- Buildings are encouraged to have a mix of tenants and uses
- Entrances shall be provided at public streets and on parking sides
- Connect building entrances to public sidewalks and pedestrian pathways
- Articulate building shapes with window bays, cornices, parapets, and towers
- Buildings shall have primarily flat roofs with varied or broken lines
- Roof mechanicals shall be screened
- Locate service areas away from public streets and provide architectural screening
- Drive through facilities shall be located on rear building façades as to not dominate the streetscape
- Modify franchise architecture to fit the desired Elmore Corners character

### (8) Inappropriate Design

- Flat, massive, monolithic geometric shapes
- Plain, undersigned buildings with large blank spaces
- Small buildings with single occupants
- Gabled, hipped, or steeply pitched roofs
- Large, monotonous roof forms

- Visible building mechanicals
- Faux-historic buildings

## b. Building Facade

(1)Guideline: Buildings shall have varied facades composed of high quality lasting materials.

- Façades shall be articulated on all sides to provide visual interest.
- Break up façades and create visual interest and pedestrian scale by:
- Varying materials and colors
- Varying façade vertical and horizontal setbacks
- Incorporate architectural reveals or floor step backs
- Vary window styles and moldings
- Design enhanced architectural details on the ground level
- Façades on multiple-tenant buildings shall be broken into design elements that reflect individual tenant spaces through vertical façade plain staggering, window/door groupings, and awnings
- Differentiate ground and above floors through horizontal banding, signage bands, and windows
- First floor façades shall be transparent to allow retail uses to interact with the street and parking-side entrances
- Commercial and retail façades shall have at least 40% transparency on the street façade
- Secondary façades that do not face the public street or parking areas are encouraged to have transparent windows. If this is not possible, then façades shall contain architectural features that provide interest
- Building at corners shall contain interesting architectural features that address the corner such as towers, entrances, and metal or cloth awnings
- Identify building entrances through permanent awnings, overhangs, or signage

(2)Inappropriate Façade Treatment

- Large unarticulated wall planes
- Large expanses of walls without windows
- Projecting wall-mounted mechanical units
- Vinyl awnings
- Buildings with no pedestrian scale or defined entryways

(3)Materials

- High quality materials shall be installed on buildings to promote Elmore Corners
- Long lasting materials such as brick and stone shall be used to withstand weather and provide a feeling of permanence
- Primary building materials shall be natural stone, masonry, brick, and glass and be of natural earth tone colors
- Secondary materials such as decorative metal, wood, stucco, and cement board may be incorporated
- Using a mix of materials is recommended to create visual diversity on the building façade
- Enrichment of the pedestrian realm requires building materials at the street level to be of high quality:
  - These could include items such as brick, stone, decorative concrete masonry units, metal panel systems, or other creatively used high quality and durable building materials
  - Decorative finished block systems can be used along the base of the buildings, and as an accent, but are not recommended as the dominant building material on the entire building
  - Utility grade materials shall only be used on facades of the building not visible from publicly accessible areas
- Freestanding commercial structures shall be designed as four-sided architecture with finish grade materials used consistently on all façades:
  - Recommended primary materials include brick, stone and glass
  - Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture

- Metal and finished wood may be used as accents, but shall not be the primary material for any façade

#### (4) Inappropriate Materials

- Unfinished exposed concrete block
- Large, unfinished, pre-cast concrete panels
- Unfinished poured-in-place concrete
- Corrugated metal, vinyl, or aluminum siding
- Plywood siding panels
- Exposed treated lumber
- EIFS as a primary material or located on the first floor
- Windows
  - Moderate to highly reflective glazing
  - Strongly colored or darkly-tinted glazing
    - Colors
    - Predominant use of bright, high intensity colors
    - Predominant use of metallic and neon colors

#### c. Setbacks

(1) Guideline: To provide a continuous street edge along the Elmore Corners District, buildings shall be sited within setback areas unless not possible due to affecting business operations.

- Along Elmore Avenue and Veterans Memorial Parkway, the primary building façade shall be located within 20-40 feet from the property line
- Along secondary streets, the primary building façade shall be located 0-10 feet from the property line
- To maintain an urban edge that is pedestrian friendly, areas adjacent to parking lots shall be screened with enhanced landscaping

#### (2) Inappropriate design

- Buildings set back over 40 feet from public streets
- Parking lots between public streets and the primary façade of a building

#### d. Density

(1) Guideline: Develop land as densely as possible to increase tax base while providing adequate landscaping, stormwater management, and connections to public ways.

- Development shall be designed to an urban density with minimal spaces between buildings
- Install advanced stormwater management practices to increase density
- Density may increase through vertical mixed-use and shared parking arrangements

#### e. Signage

(1) Guideline: Signage shall function as a marketing device, complement building architecture and materials, and not dominate the site. All signs must meet City Sign Codes.

- Appropriate and attractively designed site signage is an important component of the overall aesthetic appeal of any commercial or mixed-use area. Good signage based on design and graphic quality is encouraged throughout Elmore Corners.
- Business signage shall be wall mounted (projecting or flat), monument (if located away from the building), and window, canopy or awning style
- Similar materials, colors and styles shall be used to ensure the signage is consistent with the building design

- Signs shall reflect and enhance the nature and appeal of the retail and commercial experience and not be just a list of tenants
- Materials shall be of high quality to prevent premature weathering of the sign
- Signs shall fit within and not overwhelm the architectural features of the buildings
- Signs shall harmonize with their surroundings in terms of size, shape, color, texture, and lighting so that they complement the character of the neighborhood
- Signs shall be professionally constructed using high quality materials such as metal, stone, tile, composites, brass/metal plated, hardwood, and glass
- The creative use of materials, lettering, and interesting use of graphics is allowed and encouraged if the signs work well and complement the overall building and street design
- Signs shall be designed with the purpose of promoting retail and street activity while enhancing the pedestrian experience
- Addresses shall be clearly visible from the public right-of-way
- The use of tastefully designed pedestrian scale directories is encouraged for multi-tenant buildings
- Monument signs shall contain a base and not be pole-mounted
- Monument signs shall contain landscaping at the base that will not grow to cover the sign message
- Lighting shall be designed carefully to avoid excessive glare or over illumination:
- Letters can be illuminated internally or externally
- External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path
- Fixtures shall be simple but attractive
- Lighting signs and letters shall be done in an attractive and subtle technique
- Individual letters that are backlit, halo-lit, reverse illumination channel letters, and neon are encouraged

## (2) Inappropriate Signage

- Pole signs, billboard style wall-mounted and roof mounted signs are not allowed
- without special permission from the City Plan Commission
- Monument signs advertising individual businesses
- Tall mast signs
- Large temporary signs that impede pedestrian traffic
- Inflatable signs
- Overly illuminated signs
- Unshielded sign light sources, allowing upward transmission of light
- LED, animated, flashing, blinking, and video signs
- Plastic box signs
- Generic, un-stylized signs
- Large temporary signage located in windows that reduces transparency
- Large-scale street-level signage that overwhelms the pedestrian environment
- Signage that obscures architectural details
- Glaring and directed spotlights that affects neighboring properties

## (3) Entertainment District Signage

Since the area around the Rhythm City Casino is planned for entertainment purposes, sign design and guidelines may be relaxed to create an exciting sense of place. Signs in this area may be taller along the interstate corridors, contain additional illumination, and may have moving components to advertise this district and its activities.

## f. Site Design Guidelines

(1) Parking Lots – Design and Location Guideline: Parking lots shall be located behind buildings or interior of sites whenever possible and contain landscaping to buffer views from public ways.

- Parking lots shall be designed to allow for ease of vehicular circulation and meet all parking lot requirements set in the City Zoning Code
- Locating parking lots at corners shall be avoided, when possible
- Safe pedestrian ways shall be provided between parking spaces and building entrances
- Canopy trees shall be planted at a minimum of every 12 parking stalls to reduce heat islands
- Edge landscaping shall be installed to screen parking lots from public streets
- Planting areas shall be incorporated into landscape islands and planting areas between parking bays
- Bio-swales and stormwater best management practices shall be used to collect and infiltrate stormwater run off
- Parking lot lights shall be 18-25 feet in height along pedestrian ways and edges
- Tall pole lights may be installed in parking lot internal bays with a maximum height of 30 feet
- Site lighting along pedestrian walkways is encouraged in bollards to provide safe lighting, but not over-illumination
- Lighting shall cast downward and be full cut-off
- Illumination levels shall not exceed 0.5 foot candles at the property line
- Businesses shall provide bicycle parking
- Short-term bicycle parking areas shall be provided within 20 feet of each commercial primary building entrance when possible
- Long-term bicycle parking areas shall be provided within 100 feet of each commercial primary building entrance when possible
- One bicycle parking space per 2,000 gross square feet shall be provided for retail uses. A minimum of two spaces is required
- One bicycle parking space per 10,000 gross square feet shall be provided for office. A minimum of two spaces is required
- A minimum of one bicycle parking spaces per residential unit shall be provided. In-building or covered bicycle parking is encouraged

## (2) Inappropriate Parking Lot Design

- Parking lots located between buildings and public streets
- Parking areas located on corners
- Individual parking lots for each development/business
- Numerous access drives into disconnected parking areas
- No parking lot landscaping
- No bicycle parking

(3) Parking Management Guideline: Connect parking lots between developments and share parking between uses to minimize large parking lots and automobile traffic on public streets.

- Parking management shall promote effective economic activity, maximize the sharing of parking areas for commercial activity, and avoid inefficiencies in parking in which parking occupancy patterns discourage higher density and compact development
- Shared parking strategies are encouraged to eliminate redundant and unnecessarily large parking areas and to provide more land for taxable development. Parking lots are encouraged to be shared between building uses that require parking at separate times such as office parking during the day and residential parking at night
- New uses shall be required to produce a parking design and management study which documents the level of use at regular and peak times, the degree of sharing for parking with nearby users, the way in which the owner/user intends to maximize efficient use, and sharing of the parking
- Cross access and/or joint parking easements may need to be developed in the event of the parcel being subdivided.
- Shared driveways shall be used to serve groups of buildings with shared parking courts between buildings
- Sharing arrangements shall be codified in covenants, deed restrictions, and developer agreements
- Connecting parking lots between development lots is encouraged to reduce traffic congestion on public streets



#### (4) Inappropriate Parking Management

- Individual parking lots by building, use, or development project
- Parking lots that are overbuilt and unused

(5) Site Circulation Guideline: A pedestrian friendly environment is encouraged to provide safe circulation within the site and between sites. Private development shall connect into existing public infrastructure.

- Concrete or similar material pedestrian walkways shall connect parking areas to building entrances
- Pedestrian walkways shall connect development sites to existing public sidewalks and paths such as the Urban Greenway
- Walkways shall be located outside of vehicle parking areas
- Walkways shall be safely illuminated

#### (6) Inappropriate Site Circulation

- Unpaved pedestrian walkways
- Parking lots with no pedestrian walkways
- Dark, unlit walkways

(7) Drive-Through and Service Guideline: Drive-throughs shall be located at the rear or side of buildings and shall not be placed between a public street/easement and the main building structure.

- Every effort shall be made to coordinate and integrate drive-through facilities into the overall architectural treatment of the main building
- Creative design solutions such as remote kiosks are encouraged to minimize the impact of the drive-through facility on the overall site design
- Clearly defined pedestrian crossings shall be provided where walkways intersect drive-through access lanes. In all cases drive-through facilities shall be designed to operate without endangering the public safety

#### (8) Inappropriate Drive-Through

- Drive-through window and service line visible from public streets

(9) Service, Storage, and Utility Areas Guideline: Service, loading, and utility areas, while necessary for business operation, shall be located away from the public view.

- Refuse and recycling areas shall be integrated into the building architecture with high quality design and/or screened with similar building materials to the main architecture. The areas shall be kept clean and avoid accumulation of excess disposal materials and the enclosure shall be locked
- When possible, service and utility areas shall be inside the building or integrated into the architecture of the building
- Loading areas shall be located behind buildings, away from parking areas and public streets
- Loading doors shall not be visible from public streets
- To reduce the amount of area dedicated to these needs, shared service areas between adjacent users and buildings shall be allowed and encouraged
- If indoor reuse is not possible, outdoor refuse areas shall be enclosed with attractive design and materials that match building architecture. Recommended enclosures would be of masonry or stone with gated access and surrounding landscaping. The gate and enclosure opening shall not be visible from public ways
- Rooftop mechanicals shall be screened with materials that match the building architecture

(10) Inappropriate Service Area

- Service areas and utility equipment along public streets
- Prefabricated storage sheds
- Visible garbage dumpsters
- Unscreened service, storage, or utility areas

(11) Landscaping Guideline: Create pedestrian-friendly landscapes that are functional, visually appealing, and relate to building activities and architecture. Use landscaping to screen undesirable views.

- Incorporate landscape elements that complement the character of the building and provide a pleasing relationship with adjoining properties, the public sidewalk, and the street
- Use appropriate landscape elements to establish continuity between buildings and to define the block face where there are no buildings
- Plant shade trees in surface parking lots to reduce heat islands
- Incorporate mid-level plantings and ground covers into parking planting areas
- Native plants shall be installed whenever possible
- Consider prairie plantings instead of turf to minimize maintenance and establish animal and insect habitat
- Use plant materials that provide year-round interest, add desirable color, texture, and smells to a site's experience
- Install plants to screen parking areas from public streets.
- Install plants to screen building mechanicals
- Incorporate rain gardens and bioretention basins to collect runoff and filter pollutants
- Install bioretention areas in surface parking lots for stormwater infiltration
- Use plant materials that are compatible with urban environments and will maintain their health with the expected amount of care
- Use salt tolerant plants due to the urban pedestrian environment

(12) Inappropriate Site Landscaping

- Single species planting schemes
- Residential or suburban landscape treatment such as boulders, bark chips, plastic edging, railroad ties, etc.
- Chain link, metal mesh, wire or barbed wire fencing
- Site furnishings not located adjacent to common spaces

(13) Urban Greenway Guideline: An urban greenway shall be established on the west edge of the planning area to both buffer new development from existing neighborhoods and provide an open space corridor for recreation and natural habitat.

- The urban greenway corridor shall be a 100 foot wide minimum public corridor
- Naturalized landscaping shall be installed to establish the natural space and buffer
- Low-maintenance native species including trees, shrubs and grasses shall be planted
- A 10 foot wide asphalt path may be constructed to provide an alternative transportation route and recreation trail
- The path shall connect to private development, public streets, and sidewalks

(14) Site Features and Urban Spaces Guideline: Private development is encouraged to establish urban spaces and install site features to enhance the Elmore Corners District and contribute to a pedestrian friendly streetscape.

- Commercial uses are encouraged to have public plaza spaces to provide space for activities such as outdoor dining or seating areas
- Commercial urban spaces shall be accessible from public ways
- Any security fencing shall consist of decorative materials (such as wrought iron, brick or stone)
- Select and locate site furnishings (benches, trash receptacles, bicycle racks, etc.) to unify the Elmore Corners District and provide a pleasing relationship with adjoining properties, the public sidewalk, and street

- Site furnishings shall be of high-quality materials that last in all-weather environments

(15) Inappropriate Site Features & Urban Spaces

- Urban gathering spaces that are closed off from public ways
- Site features of low quality that do not complement building architecture

(16) Public Streets and Streetscaping Guideline: Public streets shall be designed as complete streets serving all modes of transportation users including vehicles, bicycles, and pedestrians. Streets shall contain streetscape elements to enhance the visual aesthetics of these public spaces.

- Primary public streets shall contain streetscape elements of a vehicular scale including:
  - Street lights – tall poles to safely illuminate the street
  - Sidewalk on one side and bicycle path on the other side
  - Turf terraces
  - District gateway features
  - Wayfinding sign directing visitors to district destinations
  - Light pole banners advertising special events
- Secondary streets shall contain streetscape elements of a pedestrian scale including:
  - Street lights – pedestrian scale with decorative fixtures
  - Concrete sidewalks on both sides of the street
  - Decorative brick, paver, or stamped concrete terraces
  - Wayfinding signs or kiosks directing visitors to district locations
  - Light pole banners advertising locations, uses, or events
  - Landscape planters with flowers and grasses
- All street lights shall contain LED energy efficient fixtures
- Street lights shall contain decorative poles and bases
- Street lights shall be down casting to reduce light pollution
- Stormwater management could be incorporated into the street terrace through stormwater planters, inlets, and swales
- Secondary streets may designate bicycle access through painted sharrows on street lanes

(17) Stormwater Management Guideline: All future developments must meet City Stormwater Ordinance requirements. In general, stormwater best management practices are encouraged and shall be incorporated into site designs, limiting large, monolithic retention ponds.

- Incorporate stormwater systems into development site plans and landscape plans
- Encourage regional ponds or ponds that serve multiple developments to density development and allow development to occur in urban form
- Utilize stormwater management techniques that maximize infiltration and filter runoff
- Incorporate bio-swales into parking lots to collect surface water and infiltrate on-site
- Install urban stormwater management systems where appropriate such as stormwater planters, rain gardens, underground cisterns and cells, porous pavement, and green street terraces
- Green roofs are encouraged to aid in reducing the amount of impervious surfaces
- Collect roof water into “purple pipe” grey water systems to reuse for irrigation, toilets or other non-potable uses
- If water does run off buildings, direct it into planting areas and rain barrels
- Include stormwater pond aeration systems and fountains to improve water quality and appearance
- Inappropriate Stormwater Management
  - Direct stormwater runoff into the Pheasant Creek
  - Large, unnaturally shaped stormwater detention ponds with no landscaping or aeration

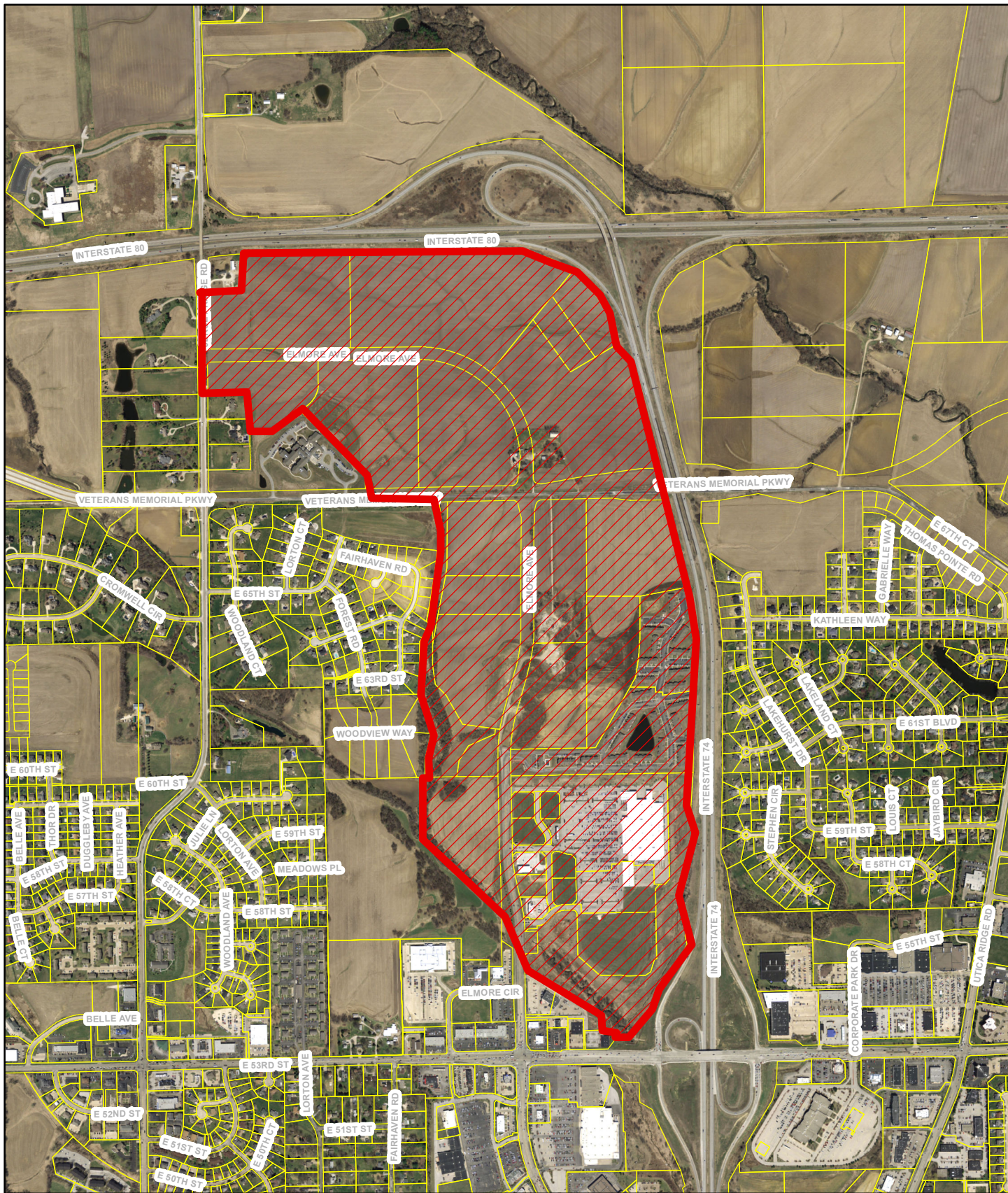


B. Appeals. Appeals of any administrative decision made under this section shall be made in writing by the owner(s) of record of the property to the City Design Review Board no less than thirty (30) days prior to any rescheduled meeting of the Board. Appeals of any decision of the Design Review Board shall be made in writing by the owner(s) of record of the property to the City Council no less than thirty (30) days prior to the scheduled Council meeting.

DRAFT



## Elmore Corners Overlay District (ECOD) Boundary



0 280 560 1,120 1,680 2,240 Feet

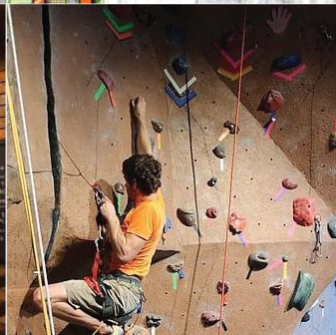






# Elmore Corners Plan

Davenport, Iowa



Draft: November 3, 2017

Planning assistance by:

Vandewalle & Associates, Inc.  
120 East Lakeside Street  
Madison, WI 53715  
(608) 255-3988

247 Freshwater Way, Suite 530  
Milwaukee, WI 53204  
(414) 988-8631  
[www.vandewalle.com](http://www.vandewalle.com)





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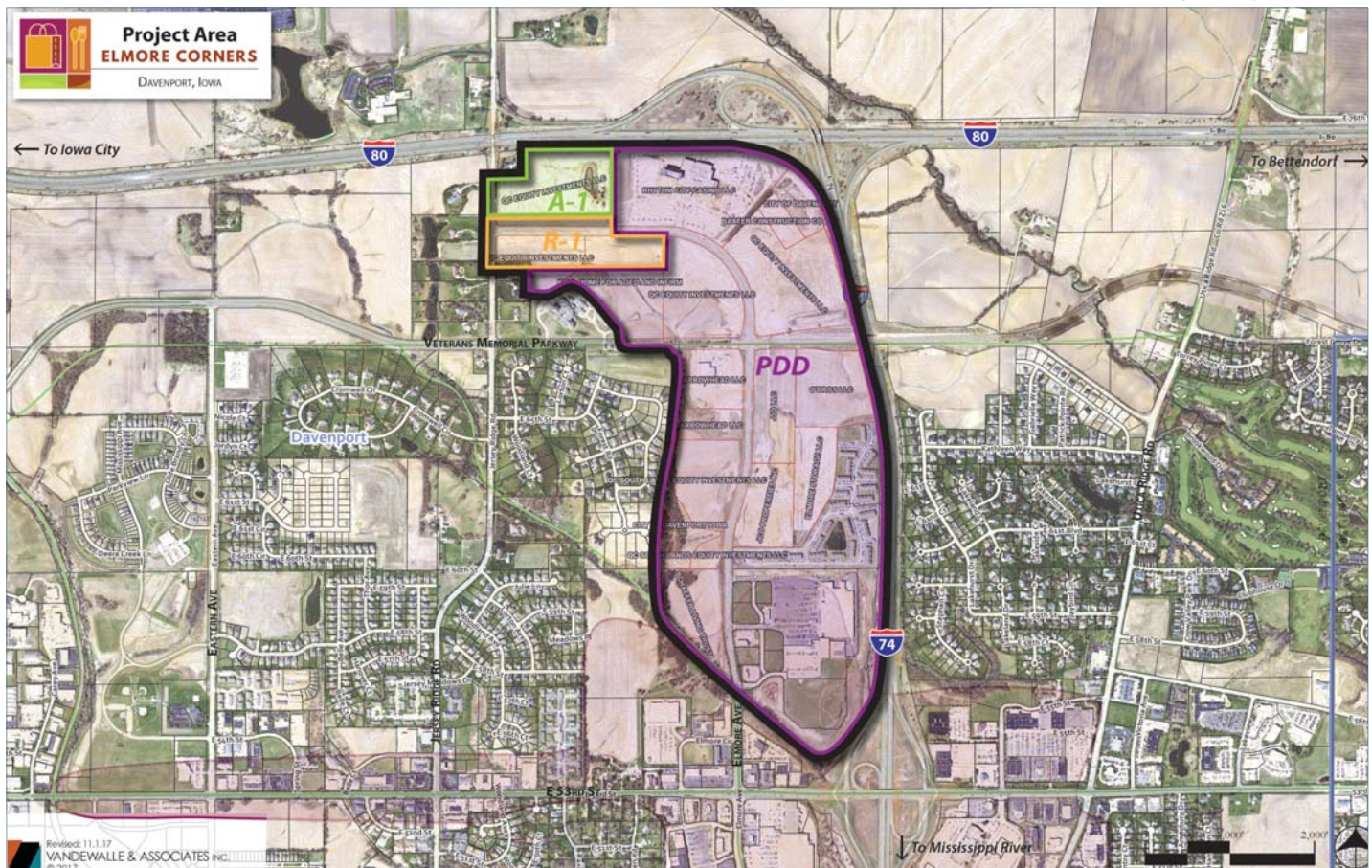
# I. Introduction

## PROJECT AREA

Located on the northeast side of Davenport, Iowa, at the intersection of Interstate 80 and Interstate 74, the approximately 264-acre project area is sited at a strategic community location. The project area serves as a community gateway from the Interstate 80 corridor. Generally, surrounding land uses include Interstate 80 and agricultural land to the north, single-family homes to the west, retail and commercial to the south, and Interstate 74 and single-family homes to the east.

As shown on Map 1, the majority of the planning area is currently zoned Planned Development District (PDD) with a few R-1 and A-1 parcels, and eight property owners control the majority of the properties. The entire project area falls within the Highway Corridor Overlay Zoning District. Current uses in the project area include a casino, automobile sales lot, apartments, retail, warehouse storage, senior living, and agriculture.

Map 1. Project Area





## PROCESS

The planning process took place from July to October of 2017 and the City of Davenport Staff served as the project steering committee. Staff provided guidance throughout the planning process and approved all plans, drawings and recommendations. The steering committee reviewed draft plans two times throughout the project before deliverables were finalized.

### Project Kick Off Meeting and Stakeholder Interviews – July 18, 2017

Vandewalle & Associates traveled to Davenport to meet with City Staff, City Officials and project stakeholders. During these meetings, stakeholders provided initial project input and suggestions. Property owners provided plans for their properties and future land uses and improvements were brainstormed. Additional stakeholder input was provided via teleconferences throughout the planning process.

### Draft Presentation – October 25, 2017

Vandewalle & Associates presented the draft Site Layout Plan, Pedestrian Circulation and Streetscape Concept, Public Street Network, Landscape Concept, Wayfinding Concept, Branding Concept, and Design Development Standards via a web conference. The steering committee provided feedback and asked questions during the meeting. After the presentation, Vandewalle & Associates finalized all drawings and summarized them into this document, *Elmore Corners Plan*.



Elmore Corridor

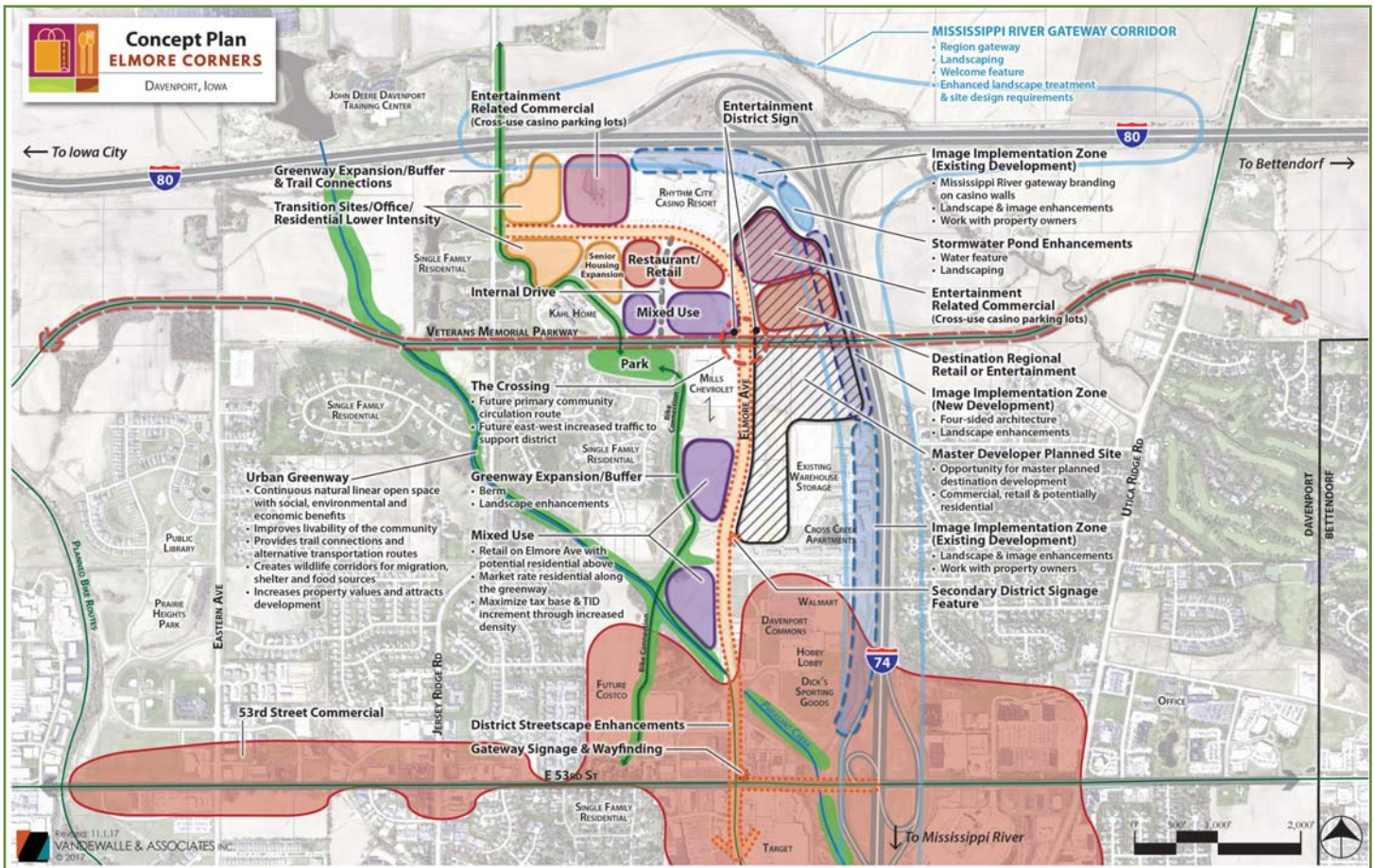




## II. Concept Plan

As seen in Map 2, the Concept Plan establishes the planning and development vision for Elmore Corners in the context of adjacent neighborhoods and existing land uses. The map highlights proposed future land uses and public infrastructure. The illustration also identifies important design issues to be considered for a successful development. These are explained further below and in the Design Development Standards section.

Map 2. Concept Plan





## POTENTIAL FUTURE DEVELOPMENT

Future development should be a sustainable mix of land uses that are market feasible, serve current community needs, maximize tax base, and support the success of the Rhythm City Casino. Visual access from two interstate highways and traffic generation from the casino create a strong market for retail. While the current retail market is in transition from “brick and mortar” to “on-line” shopping, future development around the casino should be tailored toward experiences and entertainment. Uses that complement the casino should be encouraged in the northern planning area.

An opportunity exists to create a mixed-use neighborhood through a master planned site located between Interstate 74 and Elmore Avenue. This area is sufficient in size to develop retail, commercial, office and residential development along a secondary street system. Lands between the senior housing project and Elmore Avenue should be a mix of commercial related to the casino and residential uses. This large block should be broken up with additional public streets to provide access into the site. Land uses along Jersey Ridge Road should decrease in scale, massing, and vehicular trip generation to create a transition in development intensity between the casino entertainment area and existing single-family neighborhoods to the west.

Along Elmore Avenue, north of the Pheasant Creek corridor, provides a natural break in land use and an opportunity to transition from strictly retail/commercial uses located along 53<sup>rd</sup> Street to a more integrated neighborhood. These sites should contain mixed-use buildings along Elmore Avenue and around the intersection of Elmore Avenue and Veterans Memorial Parkway. First floor commercial uses will maintain the Elmore Avenue commercial street edge while residential or office above increases development density and tax base. The area between these mixed-use buildings and the proposed greenway is suitable for multi-family residential development. Density could be increased since the residents will have access to the greenway for alternative transportation to public streets.

Potential land uses are further explained in the following Site Layout Plan section of this document.

## THE CROSSING

The intersection of Elmore Avenue and Veterans Memorial Parkway will be a major community intersection in the near future. With the completion of Veterans Memorial Parkway construction, a new east/west corridor will run through Davenport, providing vehicles with a new transportation route. These automobile trips will create a commercial market at this intersection and along the parkway. The intersection also becomes an important wayfinding point, identifying the Elmore Corners Entertainment District to the north and retail and commercial to the south.



Example Potential Future Development Uses



## IMAGE IMPLEMENTATION ZONES

These areas along the interstate are highly visible and are often the first image of Davenport for visitors. The quality of development along the corridor is important to best represent the City. For this reason, development within the area should be of high quality architecture and site design. Buildings should have four-sided architecture, meaning quality design and materials on all sides of the building. Sites should contain aesthetically pleasing landscaping and storm-water management areas. Parking lots should be screened from the interstate and stormwater detention ponds should be naturalized in shape and landscaping.

## MISSISSIPPI RIVER GATEWAY CORRIDOR

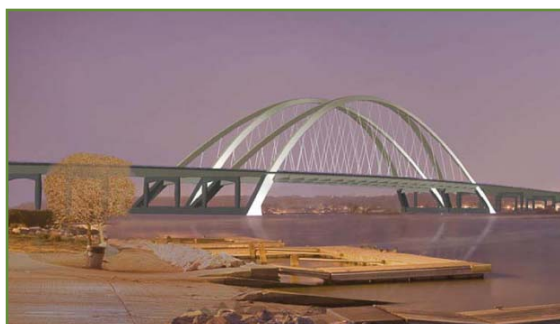
The Image Implementation Zones fall within a larger initiative to unify the image of the Interstate 74 corridor under the Q2030 Regional Plan, specifically the I-74 Gateway Corridor, part of the Prosperous Economy theme/pillar. Projects that fall within this area should highlight the community gateway through both high-quality architecture and community gateway signage. The region may work with the casino operators to use the blank casino walls to highlight region heritage, the Mississippi River, community events, etc. The space should be a lively welcome to visitors.

## URBAN GREENWAY

A greenway system would provide numerous benefits to future residents and visitors of Elmore Corners. A greenway is a continuous and linear natural open space with environmental, social and economic roles. The natural role is to provide animals with a natural habitat for nesting, migration and food sources. Greenways can also be used for storm water infiltration and conveyance. The social role is to improve urban recreation opportunities, encourage community interaction, and provide an alternative transportation mode. Greenways also have economic benefits by increasing land values. Businesses located near greenways highlight this feature as an employee amenity and greenways aid in workforce retention and attraction. The greenway is proposed as a 100-foot wide corridor which will provide a buffer space between existing neighborhoods and new development. The public space can also be used to organize development by providing an off-street path accessible from new buildings.



Example Image Implementation Zone



Mississippi Gateway Corridor



Urban Greenway



## NEIGHBORHOOD CONTEXT

Established single-family neighborhoods border the Elmore Corners planning area to the west. As development occurs, design attention must be paid to building placement, massing, design, setbacks, and lighting to ensure future development does not negatively impact these neighborhoods. The proposed Urban Greenway along the western project boundary will provide a natural buffer between established and proposed neighborhoods.



Neighborhood Context

## STREETSCAPE AND WAYFINDING

The district public space image and signage will be as important as architecture in establishing a high-quality development. Public streets should contain decorative street lights, banners, and plantings. A consistent district wayfinding system should be installed to direct visitors to destinations and activities.



Example Wayfinding Signage



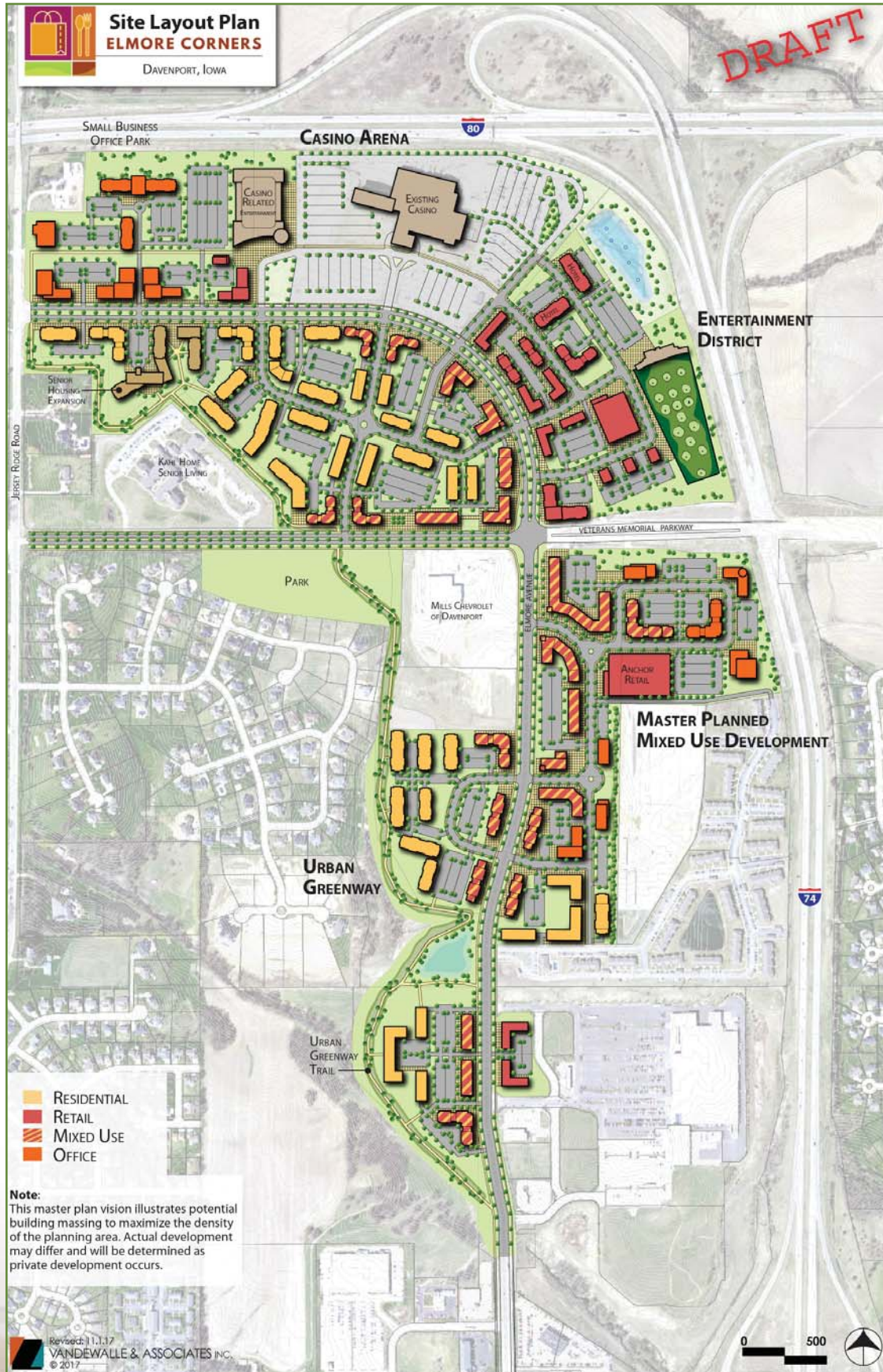
### III. Site Layout Plan

The Site Layout Plan provides a vision for how Elmore Corners could develop to provide a community gateway development, maximize tax base, and create walkable and sustainable neighborhoods. The plan illustrates potential building massing, locations, and density, though actual development proposed by private developers will vary from this vision. The plan represents the steering committee desired development pattern.

In addition to future building locations, the Site Layout Plan also contains suggested marketable future land uses. This information is provided by project sub areas for ease of describing potential future development. The subareas are not intended to be branding names. These subareas are described in the following text and summarized on Map 4. Sub Areas on page 19.









## ELMORE CORNERS ENTERTAINMENT DISTRICT

Being adjacent to the Rhythm City Casino and highly visible from the junction of two interstate highways, this area has the market potential to become a destination entertainment district. The area is envisioned as an active district providing visitors with numerous activities in a walkable environment. Future streets and walkways connect new development to the casino entrance. Future uses could be a mix of entertainment anchor uses for people of all ages. Parking should be shared between uses to maximize developable area and minimize parking lots and distances between uses. Buildings near the casino may be able to share parking with the casino.

Potential uses could include:

- Hospitality
- Regional retail
- Sports arena
- Sports training facilities
- Sports entertainment
- Indoor activity center of children and/or adults
- Music venue
- Restaurants
- Brew pub/micro brewery
- Health and wellness facility
- Water park resort

Quality four-sided architectural standards and enhanced landscaping will be especially important within this area, since it is highly visible from the interstate highways and falls within the I-74 Gateway Corridor, as identified in the Q2030 Regional Plan. Buildings in this area are anticipated to be one to five stories in height. The site layout plan shows the following approximate square footage at one story for retail and five stories for hospitality:

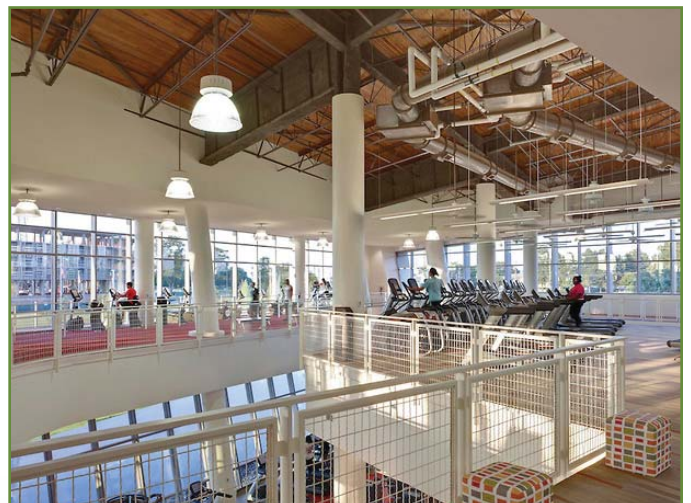
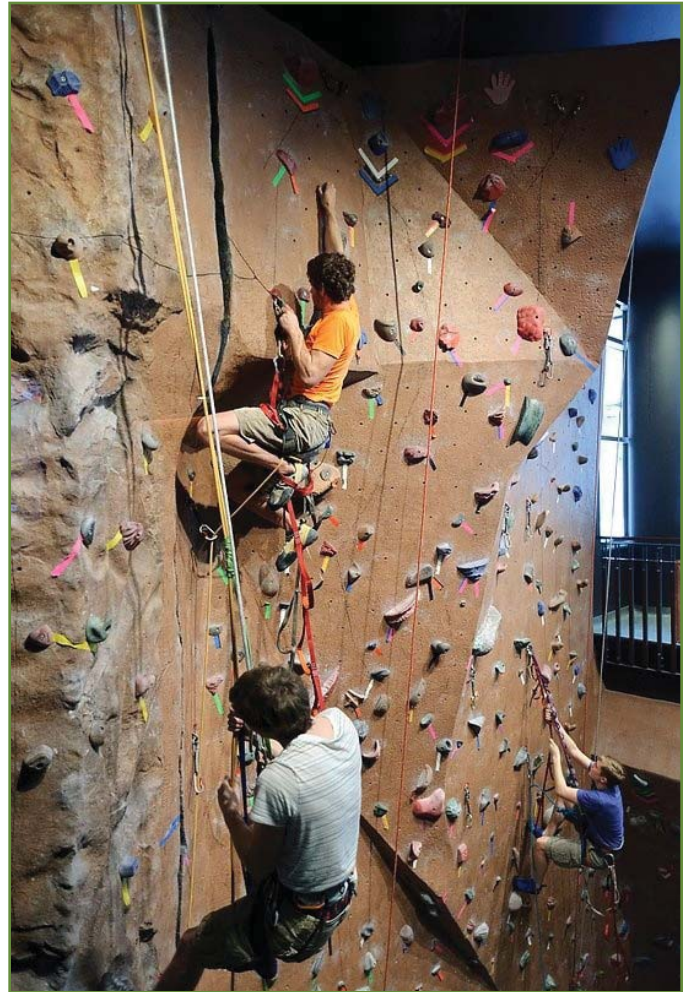
Retail/Commercial – 140,000 sf

Entertainment Anchors – 70,000 sf

Hospitality – 300 rooms









## MASTER PLANNED DEVELOPMENT

This area provides an opportunity for a large-scale master planned development. With three property owners, the land may be developed jointly into a dense, mixed-use neighborhood. Anchored by a destination retail use, the neighborhood is envisioned to be urban in design with buildings located along new public streets providing pedestrians with an enjoyable and walkable connection between uses. First floor buildings should be commercial with office and residential on above floors. An area along Interstate 74 should be reserved for office sites providing employers with great highway visibility.

Potential uses may include:

- Mixed-use buildings with retail or services on ground floors and residential or offices above
- Retail - destination branded, i.e. "Shops at Elmore Corners"
- Restaurants
- Anchor retail – potential grocery store
- Office sites along Interstate 74 and Veteran's Memorial Parkway
- Structured parking to achieve critical density to create a walkable district

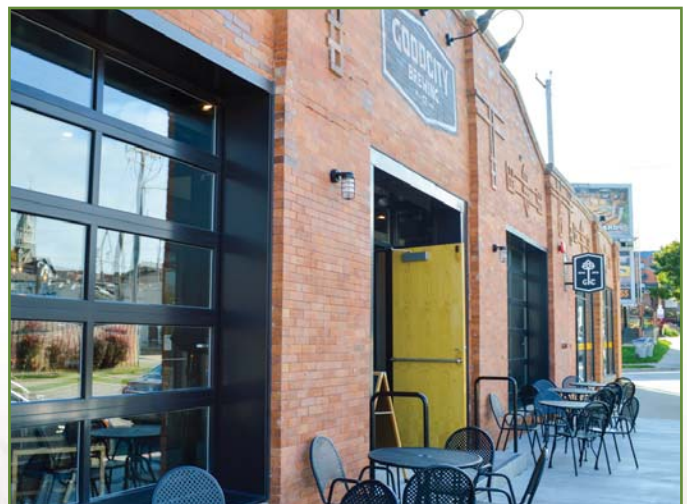
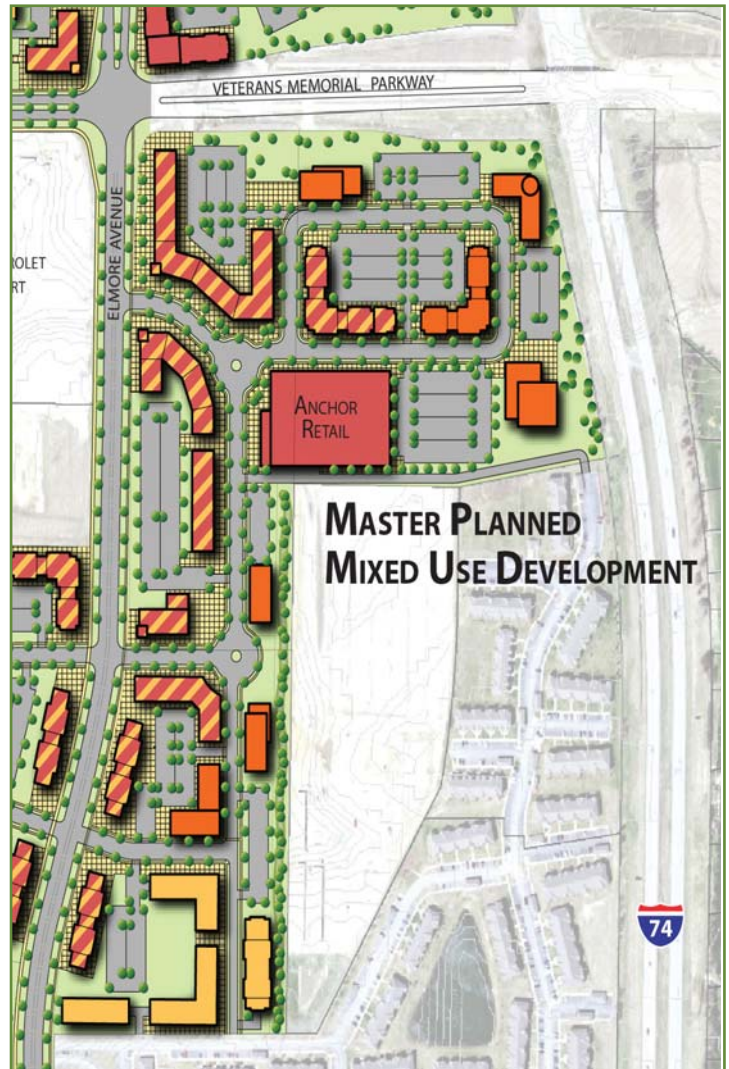
Surface parking lots could be initially constructed and be phased into structured parking as the site densifies. Buildings in this area are anticipated to be one to four stories in height. The site layout plan shows the following approximate square footage/residential units at three stories for office and mixed-use buildings and one story for the anchor retail:

Retail/Commercial – 290,000 sf

Anchor Retail – 95,000 sf

Office – 350,000 sf

Residential – 450 units









## ELMORE CORNERS MIXED-USE NEIGHBORHOOD

This area, located between the Rhythm City Casino and senior housing along Veterans Memorial Parkway, should be developed into a residential neighborhood with commercial along the major streets. A future public street connecting the casino entrance to Veterans Memorial Parkway extends the commercial market from the Elmore Avenue/Veterans Memorial Parkway intersection west to the two new intersections. Mixed-use buildings are suggested along the primary streets to serve both district visitors, neighborhood residents, and citizens commuting along Veterans Memorial Parkway. These buildings provide excellent ground floor spaces for local retailers and service providers.

Residential is envisioned as the primary land use west of the casino and proposed north/south street. Future development could be a combination of multi-family housing and an expansion of the senior housing development. All buildings should have trail access to the greenway. The proposed north/south public street also provides a controlled crossing of Veterans Memorial Parkway, connecting the greenway across the street. Buildings in this area are anticipated to be three to four stories in height. The site layout plan shows the following approximate square footage/residential units at three stories:

Retail/Commercial – 140,000 sf

Senior Housing – 150,000 to 200,000 sf

Residential – 1,100 units







## NORTH END

This area, located between Jersey Ridge Road and Rhythm City Casino, has excellent visibility from Interstate 80. While retail may not be suitable due to distance away from the intersection of Elmore Avenue and Veterans Memorial Parkway, the area may be attractive for companies to locate an office or headquarters. The master plan shows a large office building along the interstate with smaller office sites to the south, along Elmore Avenue. A small business office park could be established providing employees with access to retail and commercial, as well as, nearby housing. Users are anticipated to be in the 10,000 to 40,000 sf range, providing owner occupied opportunities.

The eastern edge of the area may be developed with a casino-related destination use such as an entertainment facility, arena, or indoor/outdoor water park which would generate traffic and provide market for support retail or restaurants. A destination use could utilize existing parking lots at the casino to reduce the need for additional paved area. A pedestrian connection should be constructed between this area, the casino, and the Elmore Corners Entertainment District. The connection could also extend to the west connecting office and commercial uses to the greenway.

Buildings in this area are anticipated to be one to four stories in height, though a corporate user along the interstate may be taller. Office buildings on the west end should be one to two stories to transition to the existing single-family neighborhood to the west. The site layout plan shows the following approximate square footage at three stories for office use and one story for retail and casino-related destination uses:

Retail/Commercial – 25,000 sf

Office – 420,000 sf

Casino-Related Destination – 60,000 to 120,000 sf







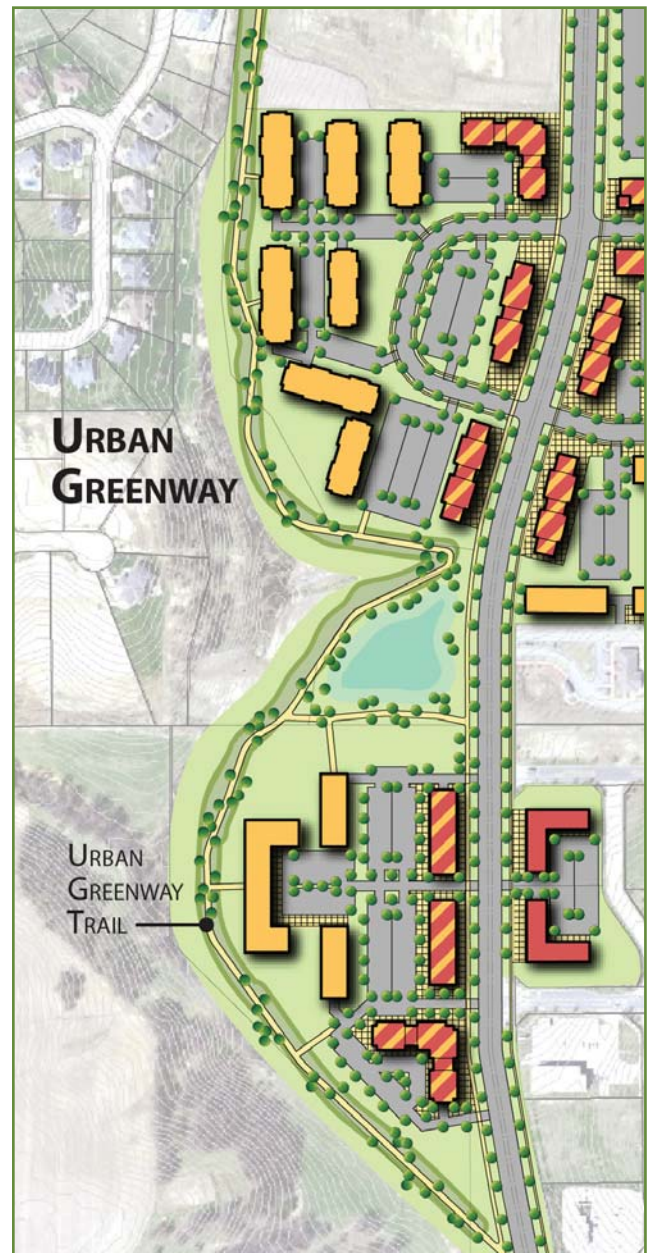
## ELMORE CORRIDOR

Uses along Elmore Avenue are currently retail and commercial. As Elmore Corners develops into a sustainable neighborhood with a mix of uses, this area should be reserved for mixed-use buildings along Elmore Avenue and multi-family residential to the west. Mixed-use buildings may contain retail, commercial, or service uses on the ground floors with parking to the rear of buildings. Above floors may be residential or office. All buildings have walkway connections to both sidewalks along Elmore Avenue and the pathway in the proposed Urban Greenway. The latter offers an alternative transportation route, exercise area, and access to the natural environment.

This plan recommends removing the berm, located along the western edge of Elmore Avenue, across from Davenport Commons commercial development. This will allow future buildings along the street to have commercial ground floor uses. If the berm remains, then the uses on the site would be residential as the berm would block views of commercial properties. Buildings in this area are anticipated to be three to four stories in height. The site layout plan shows the following approximate square footage/residential units at three stories:

Retail/Commercial – 100,000 sf

Residential – 600 units





## RETAIL INFILL

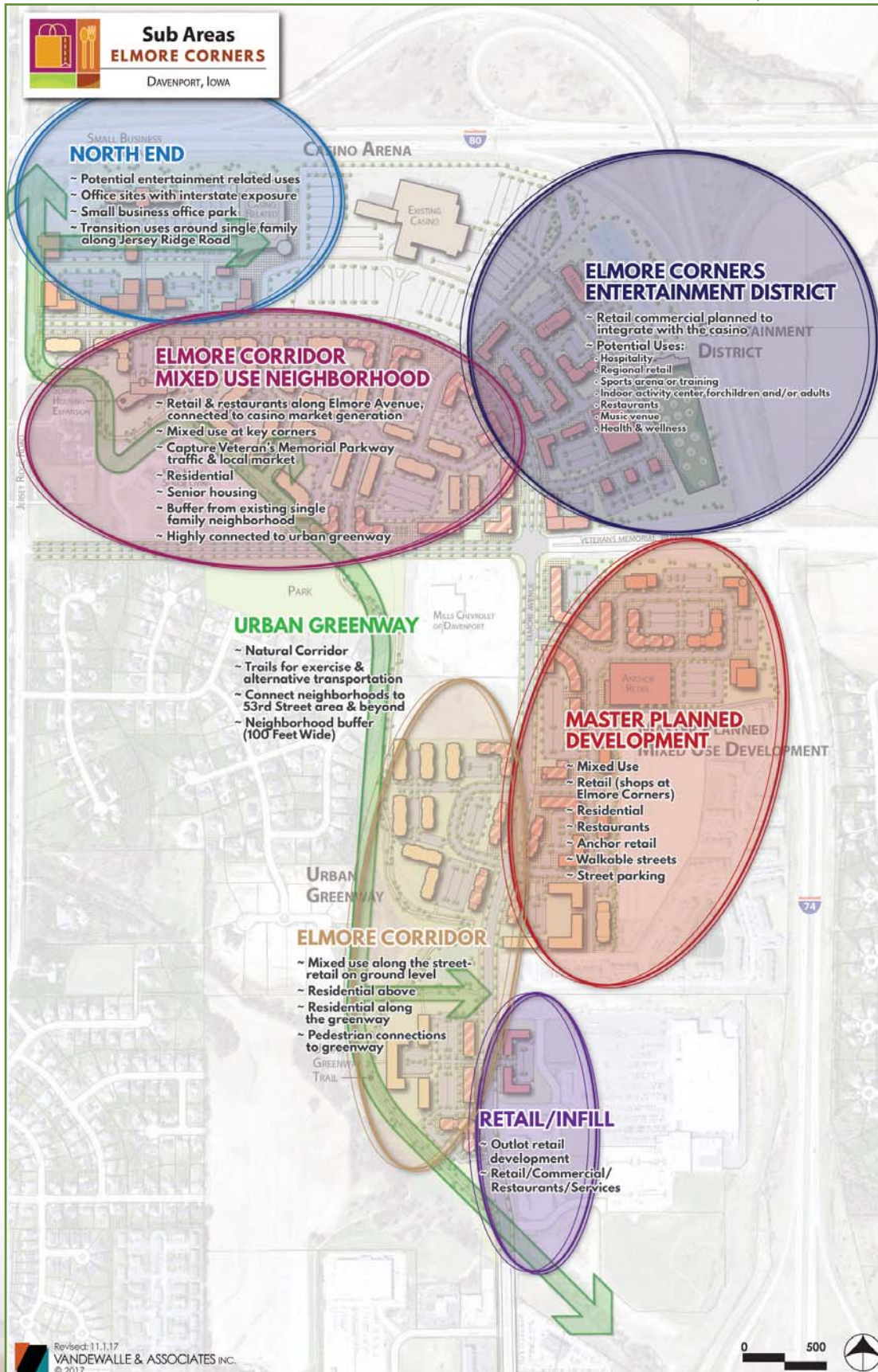
The final area of the Elmore Corners Plan is the out-lot sites along Elmore Avenue within Davenport Commons. These sites will most likely remain as sites for retail, commercial, service, or restaurants. Parking is encouraged to the rear to maintain a building face streetscape along Elmore Avenue. Locating the buildings near the public street will also announce Davenport Commons for visitors.

Buildings in this area are anticipated to be one to two story. The site layout plan shows the following approximate square footage at one story:

Retail/Commercial – 26,000 sf

The development areas and projects identified within the Site Layout Plan are not dependent upon each other to develop. Each project can stand on its own and could be a separate developer and/or phase.



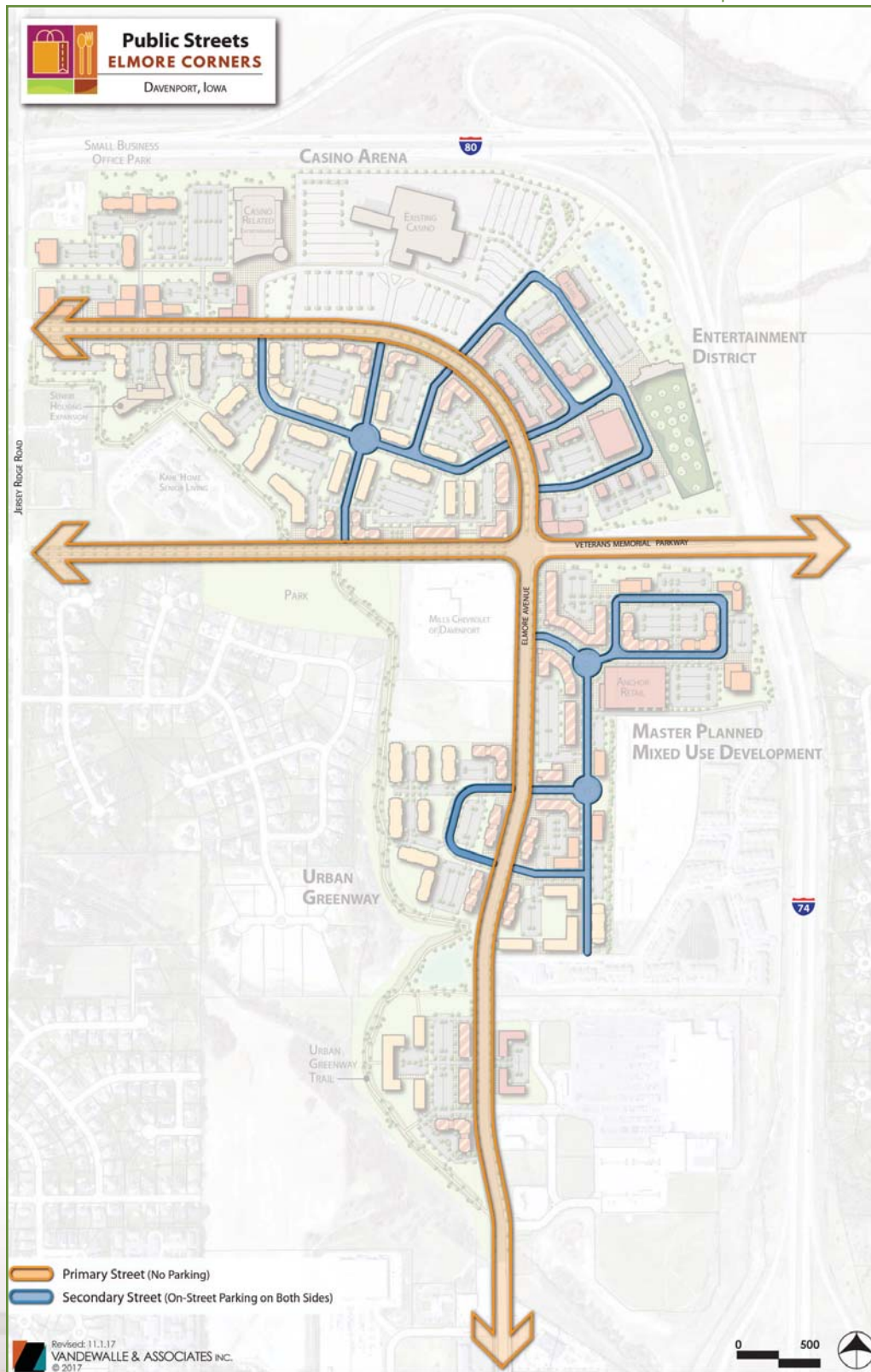




# CIRCULATION

Maps 5 & 6 illustrate the circulation vision for Elmore Corners. Map 5 highlights public street types, while Map 6 illustrated pedestrian circulation and streetscape areas.

Map 5. Public Streets



## AUTOMOBILE CIRCULATION

The planning area contains two existing public streets, Elmore Avenue running north/south and Veterans Memorial Parkway running east/west. During this planning process, Veterans Memorial Parkway was under construction within the planning area. These streets are designated as Primary Streets on Map 5. Both streets are four-lane streets with two travel lanes in each direction and no on-street parking. To reduce traffic on these two streets, better connect future uses, reduce block size, and provide pedestrian scale streets, additional public streets are proposed. These streets are designated as Secondary Streets. These streets allow access into the existing large blocks, which can increase development intensity and tax base. Secondary streets should have parking on both sides to serve commercial and residential uses, as well as, calm traffic speeds. Terraces in these areas should be considered for stormwater management in the form of stormwater planters and rain gardens.

Figure 1 provides a streetscape vision for Elmore Avenue. The street section north of Veterans Memorial Parkway contains a median, allowing for landscaping. This space could be a combination of climax trees to provide street shade, ornamental trees to provide spring and fall interest, native grasses to provide fauna habitat, and potentially rain gardens to collect and infiltrate street stormwater runoff. The medians may also contain street lights to illuminate the road surface. Median street lights are often found in special districts, highlighting the unique Entertainment District. These tall-mast lights should contain large banners celebrating the Entertainment District and special events. Terraces are proposed as turf grass with shade trees and space for wayfinding.



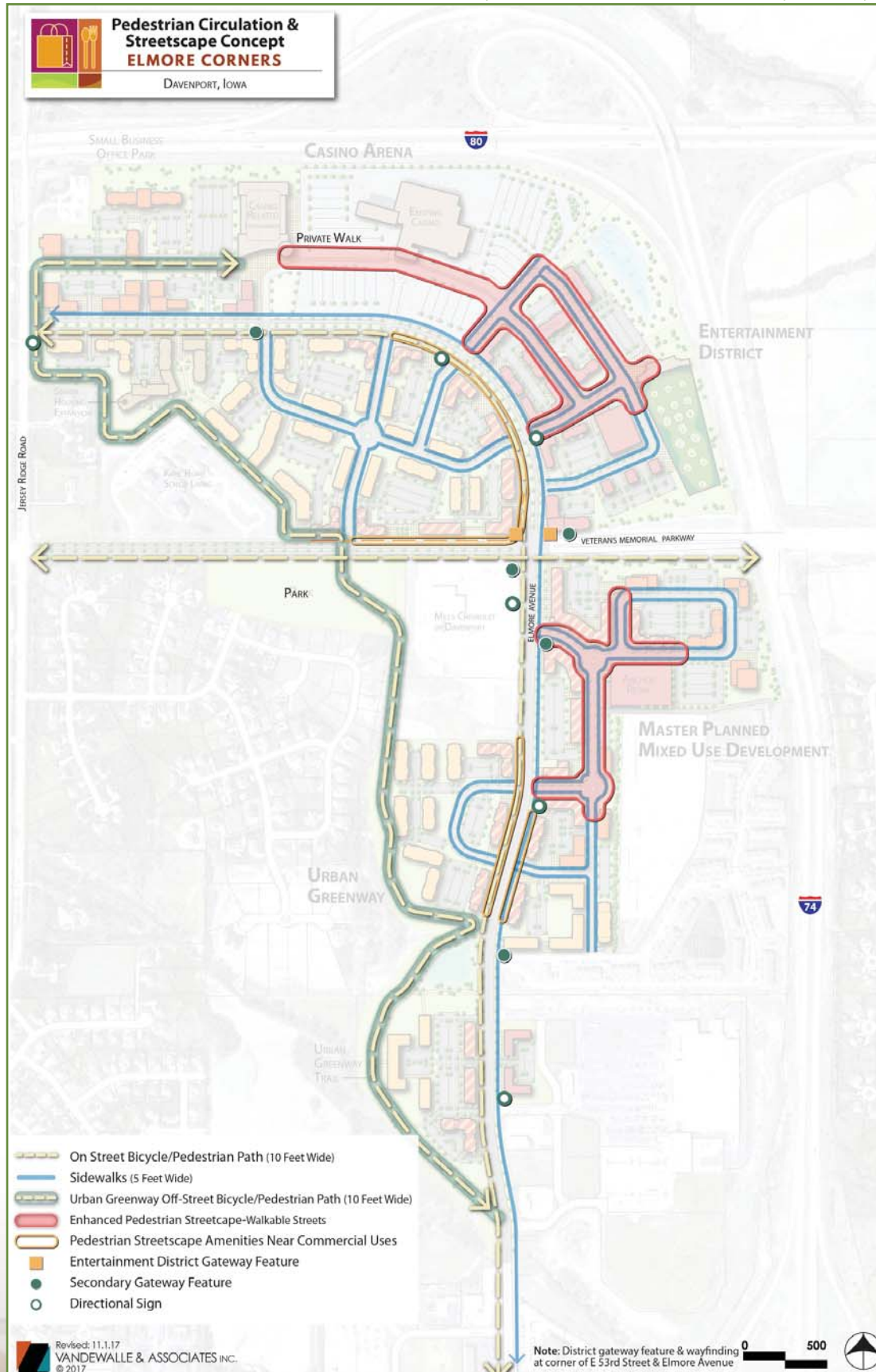
Figure 1. Elmore Avenue Street Sections





# BICYCLE/PEDESTRIAN CIRCULATION

Map 6. Pedestrian Circulation & Streetscape Concept



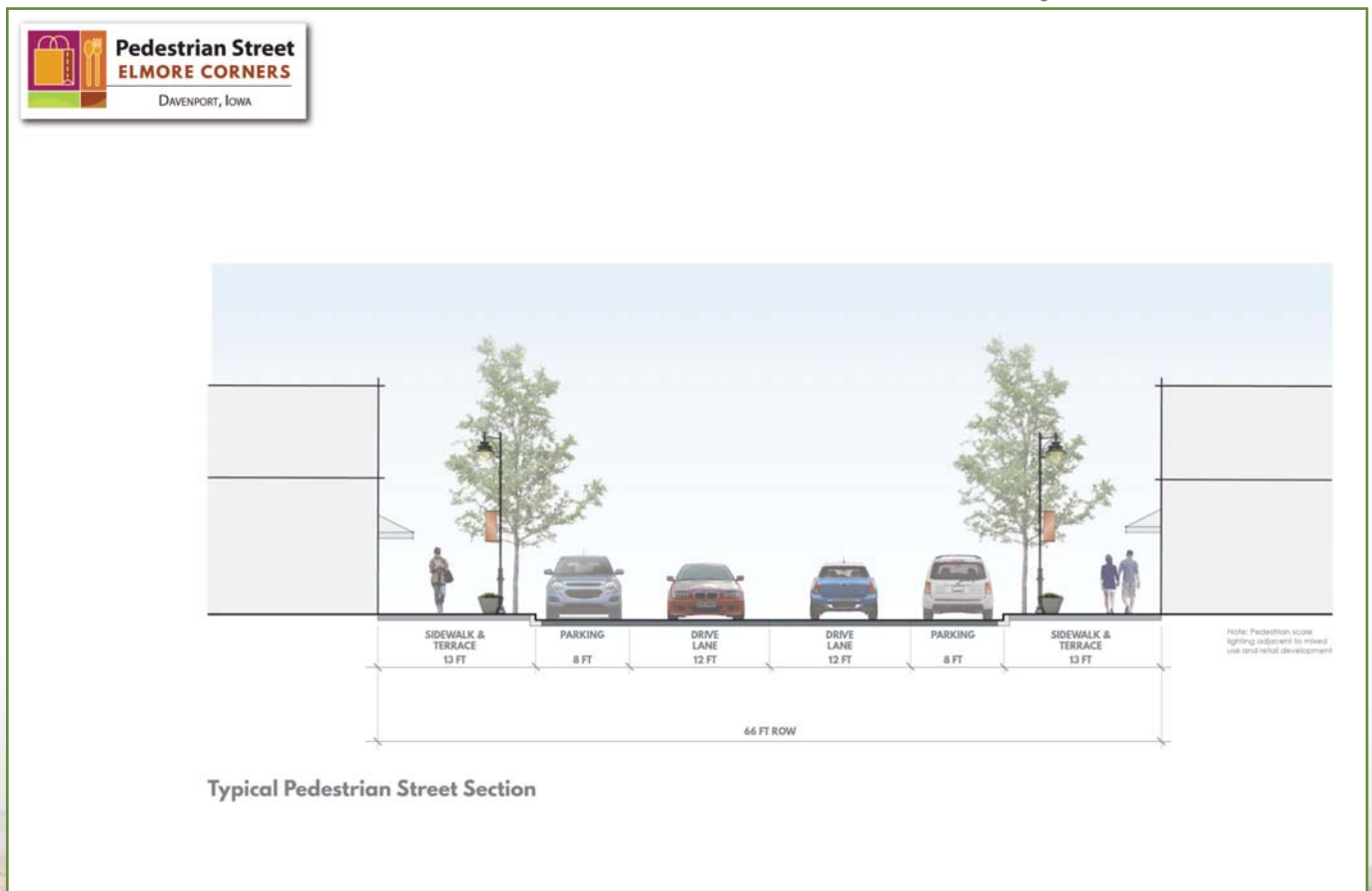


## BICYCLE/PEDESTRIAN CIRCULATION

The existing two public streets both contain a sidewalk on one side and a bicycle/pedestrian path on the other side, providing non-motorized circulation options within the planning area. In addition to these facilities, sidewalks are proposed on future streets and a path is proposed within the Urban Greenway, creating a connected pedestrian network. Map 6 illustrates locations for enhanced streetscape areas to create Walkable Streets. These spaces are along secondary streets and have urban cross sections with combined, paved sidewalks and terraces. Figure 2 illustrates a typical street section for these pedestrian streets. The drawing highlights pedestrian scale street lights to illuminate sidewalks, planters, and banners to announce events or destinations. Buildings in these areas are encouraged to interact with the public streetscape by providing outdoor seating and entryways that integrate into the public rights-of-way. Map 6 also suggests location for a wayfinding system, which is explained in the next document section.



Figure 2. Pedestrian Street Section

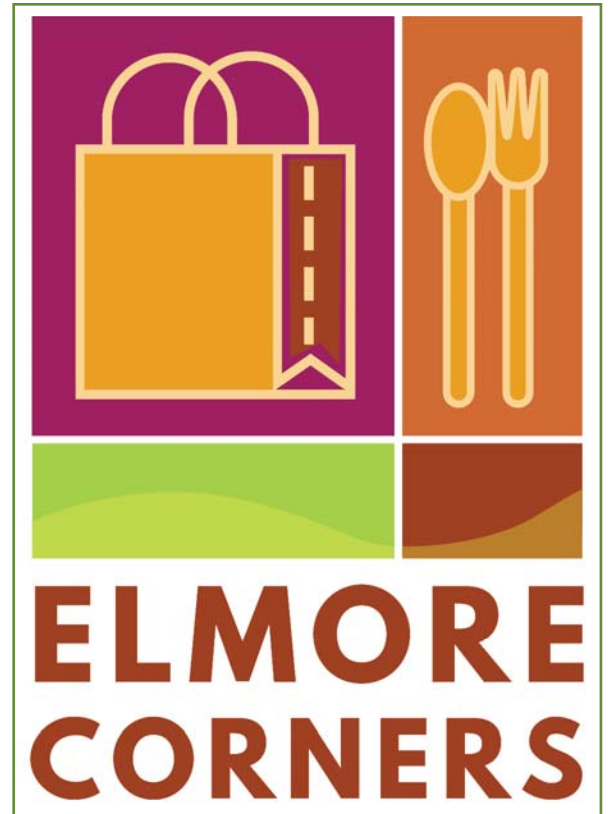


## IV. Branding Concept

### LOGO

The City created a logo to brand and celebrate the Elmore Corners district. The logo is a graphic representation of an energetic new destination with a range of amenities to attract visitors and serve residents. The following describes the logo design in more detail.

- The four quadrants and the white lines that define them represent the urban corners created by the intersection of two arteries—Elmore Avenue and Veterans Memorial Parkway. The lines are offset to add a dynamic quality
- The upper left corner shows a shopping bag representing retail services
- Upper right bears a fork & spoon representing food and dining—suggesting this is a family-friendly place to spend time, and more than a one-stop destination
- The lower two quadrants show a rolling topography representing the nearby greenspace and path amenities available, and suggesting this will be an attractive place that integrates into its environment. The curving line is also reflective of the casino roof
- Colors were chosen to be fresh and modern while relating to food, nature, and quality built environments. Specifically, berry and pumpkin evoke appetite and foodstuffs; green evokes healthful foods and nature; and terra cotta suggests earth and brick. The split-complementary color scheme (berry-orange-green) adds pop and vibrancy



## SIGNAGE

A wayfinding package was developed to celebrate Elmore Corners and direct visitors to destinations. These series of signs identify both the district and destinations within the area.

### Gateway Sign

This monument sign is proposed at the intersection of E. 53rd Street and Elmore Avenue to announce the district to the north. The design takes design cues from the Rhythm City Casino. The base is proposed to have stone matching the casino building base material. The top is a curved metal band similar to the casino roofline. The sign materials are primarily stone and metal to reflect the modern Elmore Corners District.

### Entertainment District Sign

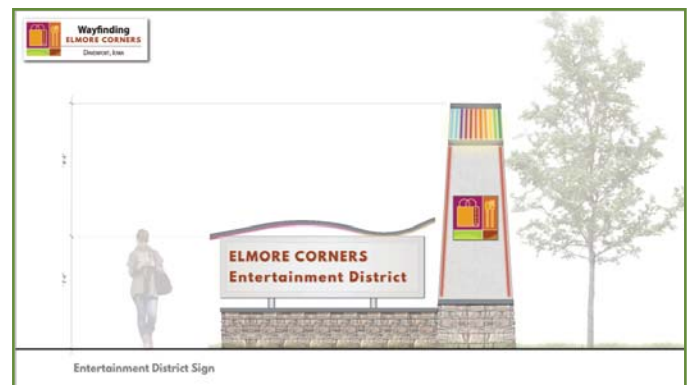
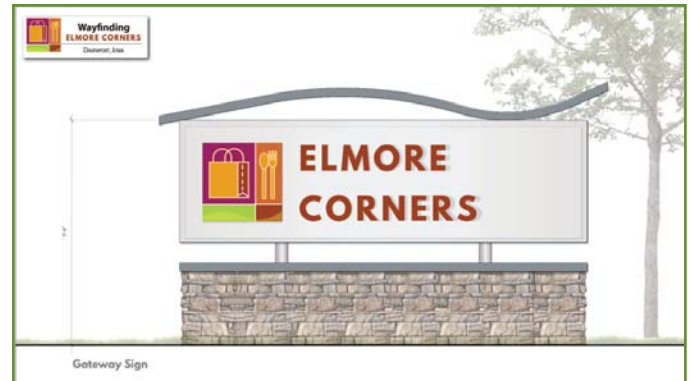
This monument sign is proposed at the intersection of Veterans Memorial Parkway and Elmore Avenue to announce the proposed entertainment district around the casino. The design takes further design cues from the Rhythm City Casino. The left half contains a stone base and curved metal top, similar to the gateway sign, though a band of neon light highlights this curve. The right side of the sign is a pillar of similar materials with the district logo and bands of neon light, matching the casino entrance.

### Secondary Sign

Due to the large size of the Elmore Corners District, additional identification signs are recommended throughout the area. These smaller, columnar signs should be located at entryways from all directions along Elmore Avenue and Veterans Memorial Parkway. The design uses similar materials to the other gateway signs.

### Directional Sign

The final sign type within the wayfinding package is a pole mounted metal sign directing visitors to specific destination within the district. The sign contains the district logo and a list of destinations with arrows pointing the travel direction. Examples of potential destinations may be buildings such as the Rhythm City Casino, wellness center, or water park resort, or may be a larger development project such as a shopping destination or business park.





# V. Design Development Standards

## BUILDING DESIGN GUIDELINES

### BUILDING COMPOSITION

**Guideline:** Buildings shall be of a quality design that contribute to the Elmore Corners destination appearance.

#### **Base, Middle, Top**

Building facades shall be composed to define base, middle and top elements. The base of the building anchors it to the ground and is the interface between the building and people. This element shall be the most articulated. The transition between the middle of the building and the base and top shall be varied by use of materials, composition, repetition or ornamental features. The top terminates the building against the sky and provides an opportunity to create an interesting silhouette.

#### **Rhythm**

Rhythm refers to the regular or harmonious recurrence of building elements. Rhythmic elements need not be boring, but can provide the visual “glue” that links together various buildings on a street. These patterns commonly reflect the building’s repetitive structural bays, often with the end bays given special identity. This articulation of the facade helps provide scale by comprising the facade into smaller visual parts. The variation of rhythm from building to building reaffirms the individuality of each building, while the recurrence of an overall rhythm helps unify the facade. The building’s structural column lines shall in some way be evident or expressed on its facade.

#### **Scale**

In general, distinctive compositional elements of buildings (entries, structural bays, roof elements, windows) shall be distinguishable from both near and far distances. The size and shape of these elements shall give the building scale to relate to pedestrians as well as surrounding buildings. Special attention shall be paid to overall building height and massing in order to maintain a scale and character compatible with the area.

#### **Massing**

Large buildings shall be comprised of a hierarchy of masses and forms to give the building a more human scale and visual richness. Techniques include using designed recesses or projections, creating distinct building components, and varying occasional roof forms according to individual building components. However, excessive use of changes in form can create a decidedly confused street façade and disharmony.



## **Proportion**

Building massing and components shall demonstrate consistent proportional harmonies. Typically, pedestrian friendly streets have building elements that rely more on vertically proportioned elements than horizontally proportioned elements. While no architectural rule is always valid, the use of vertically proportioned facade components seems to offer a traditionally street-friendly composition (regardless of specific architectural styles). The use of proportion is intended to provide a sense of visual harmony among elements of a building.

## **Architectural Form**

- Buildings shall be designed to create a pedestrian friendly and scale neighborhood
- Buildings shall be primarily rectangular in form and sited parallel to public streets
- Buildings are encouraged to have a mix of tenants and uses
- Entrances shall be provided at public streets and on parking sides
- Connect building entrances to public sidewalks and pedestrian pathways
- Articulate building shapes with window bays, cornices, parapets, and towers
- Buildings shall have primarily flat roofs with varied or broken lines
- Roof mechanicals shall be screened
- Locate service areas away from public streets and provide architectural screening
- Drive through facilities shall be located on rear building façades as to not dominate the streetscape
- Modify franchise architecture to fit the desired Elmore Corners character

## **Inappropriate Design**

- Flat, massive, monolithic geometric shapes
- Plain, undersigned buildings with large blank spaces
- Small buildings with single occupants
- Gabled, hipped, or steeply pitched roofs
- Large, monotonous roof forms
- Visible building mechanicals
- Faux-historic buildings

Building Composition





# BUILDING FAÇADE

**Guideline:** Buildings shall have varied facades composed of high quality lasting materials.

- Façades shall be articulated on all sides to provide visual interest.
- Break up façades and create visual interest and pedestrian scale by:
  - Varying materials and colors
  - Varying façade vertical and horizontal setbacks
  - Incorporate architectural reveals or floor step backs
  - Vary window styles and moldings
  - Design enhanced architectural details on the ground level
- Façades on multiple-tenant buildings shall be broken into design elements that reflect individual tenant spaces through vertical façade plain staggering, window/door groupings, and awnings
- Differentiate ground and above floors through horizontal banding, signage bands, and windows
- First floor façades shall be transparent to allow retail uses to interact with the street and parking-side entrances
- Commercial and retail façades shall have at least 40% transparency on the street façade
- Secondary façades that do not face the public street or parking areas are encouraged to have transparent windows. If this is not possible, then façades shall contain architectural features that provide interest
- Building at corners shall contain interesting architectural features that address the corner such as towers, entrances, and metal or cloth awnings
- Identify building entrances through permanent awnings, overhangs, or signage

Example Façade Design



## **Inappropriate Façade Treatment**

- Large unarticulated wall planes
- Large expanses of walls without windows
- Projecting wall-mounted mechanical units
- Vinyl awnings
- Buildings with no pedestrian scale or defined entryways



## **Materials**

- High quality materials shall be installed on buildings to promote Elmore Corners
- Long lasting materials such as brick and stone shall be used to withstand weather and provide a feeling of permanence
- Primary building materials shall be natural stone, masonry, brick, and glass and be of natural earth tone colors
- Secondary materials such as decorative metal, wood, stucco, and cement board may be incorporated
- Using a mix of materials is recommended to create visual diversity on the building façade
- Enrichment of the pedestrian realm requires building materials at the street level to be of high quality:
  - These could include items such as brick, stone, decorative concrete masonry units, metal panel systems, or other creatively used high quality and durable building materials
  - Decorative finished block systems can be used along the base of the buildings, and as an accent, but are not recommended as the dominant building material on the entire building
  - Utility grade materials shall only be used on facades of the building not visible from publicly accessible areas
- Freestanding commercial structures shall be designed as four-sided architecture with finish grade materials used consistently on all façades:
  - Recommended primary materials include brick, stone and glass
  - Other materials such as precast concrete, decorative concrete block or decorative facade panels may be appropriate if properly detailed and integrated with the architecture
  - Metal and finished wood may be used as accents, but shall not be the primary material for any façade

Example Materials



## **Inappropriate Materials**

- Unfinished exposed concrete block
- Large, unfinished, pre-cast concrete panels
- Unfinished poured-in-place concrete
- Corrugated metal, vinyl, or aluminum siding
- Plywood siding panels
- Exposed treated lumber
- EIFS as a primary material or located on the first floor
- Windows
  - Moderate to highly reflective glazing
  - Strongly colored or darkly-tinted glazing
- Colors
  - Predominant use of bright, high intensity colors
  - Predominant use of metallic and neon colors





## SETBACKS

**Guideline:** To provide a continuous street edge along the Elmore Corners District, buildings shall be sited within setback areas unless not possible due to affecting business operations.

- Along Elmore Avenue and Veterans Memorial Parkway, the primary building façade shall be located within 20-40 feet from the property line
- Along secondary streets, the primary building façade shall be located 0-10 feet from the property line
- To maintain an urban edge that is pedestrian friendly, areas adjacent to parking lots shall be screened with enhanced landscaping

### **Inappropriate**

- Buildings set back over 40 feet from public streets
- Parking lots between public streets and the primary façade of a building





## DENSITY

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**Guideline:** Develop land as densely as possible to increase tax base while providing adequate landscaping, stormwater management, and connections to public ways.

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- Development shall be designed to an urban density with minimal spaces between buildings
- Install advanced stormwater management practices to increase density
- Density may increase through vertical mixed-use and shared parking arrangements



## SIGNAGE

**Guideline:** Signage shall function as a marketing device, complement building architecture and materials, and not dominate the site. All signs must meet City Sign Codes.

Appropriate and attractively designed site signage is an important component of the overall aesthetic appeal of any commercial or mixed-use area. Good signage based on design and graphic quality is encouraged throughout Elmore Corners.

- Business signage shall be wall mounted (projecting or flat), monument (if located away from the building), and window, canopy or awning style
- Similar materials, colors and styles shall be used to ensure the signage is consistent with the building design
- Signs shall reflect and enhance the nature and appeal of the retail and commercial experience and not be just a list of tenants
- Materials shall be of high quality to prevent premature weathering of the sign
- Signs shall fit within and not overwhelm the architectural features of the buildings
- Signs shall harmonize with their surroundings in terms of size, shape, color, texture, and lighting so that they complement the character of the neighborhood
- Signs shall be professionally constructed using high quality materials such as metal, stone, tile, composites, brass/metal plated, hardwood, and glass
- The creative use of materials, lettering, and interesting use of graphics is allowed and encouraged if the signs work well and complement the overall building and street design
- Signs shall be designed with the purpose of promoting retail and street activity while enhancing the pedestrian experience
- Addresses shall be clearly visible from the public right-of-way
- The use of tastefully designed pedestrian scale directories is encouraged for multi-tenant buildings
- Monument signs shall contain a base and not be pole-mounted
- Monument signs shall contain landscaping at the base that will not grow to cover the sign message
- Lighting shall be designed carefully to avoid excessive glare or over illumination:
  - Letters can be illuminated internally or externally
  - External lighting must be discreet and unobtrusive, and not shine outward into the pedestrian or driver vision path
  - Fixtures shall be simple but attractive
  - Lighting signs and letters shall be done in an attractive and subtle technique
  - Individual letters that are backlit, halo-lit, reverse illumination channel letters, and neon are encouraged



Example Signage



### **Inappropriate Signage**

- Pole signs, billboard style wall-mounted and roof mounted signs are not allowed without special permission from the City Plan Commission
- Monument signs advertising individual businesses
- Tall mast signs
- Large temporary signs that impede pedestrian traffic
- Inflatable signs
- Overly illuminated signs
- Unshielded sign light sources, allowing upward transmission of light
- LED, animated, flashing, blinking, and video signs
- Plastic box signs
- Generic, un-stylized signs
- Large temporary signage located in windows that reduces transparency
- Large-scale street-level signage that overwhelms the pedestrian environment
- Signage that obscures architectural details
- Glaring and directed spotlights that affects neighboring properties

## **ENTERTAINMENT DISTRICT SIGNAGE**

Since the area around the Rhythm City Casino is planned for entertainment purposes, sign design and guidelines may be relaxed to create an exciting sense of place. Signs in this area may be taller along the interstate corridors, contain additional illumination, and may have moving components to advertise this district and its activities.





# SITE DESIGN GUIDELINES

## PARKING LOTS - DESIGN AND LOCATION

**Guideline:** Parking lots shall be located behind buildings or interior of sites whenever possible and contain landscaping to buffer views from public ways.

- Parking lots shall be designed to allow for ease of vehicular circulation and meet all parking lot requirements set in the City Zoning Code
- Locating parking lots at corners shall be avoided, when possible
- Safe pedestrian ways shall be provided between parking spaces and building entrances
- Canopy trees shall be planted at a minimum of every 12 parking stalls to reduce heat islands
- Edge landscaping shall be installed to screen parking lots from public streets
- Planting areas shall be incorporated into landscape islands and planting areas between parking bays
- Bio-swales and stormwater best management practices shall be used to collect and infiltrate stormwater run off
- Parking lot lights shall be 18-25 feet in height along pedestrian ways and edges
- Tall pole lights may be installed in parking lot internal bays with a maximum height of 30 feet
- Site lighting along pedestrian walkways is encouraged in bollards to provide safe lighting, but not over-illumination
- Lighting shall cast downward and be full cut-off
- Illumination levels shall not exceed 0.5 foot candles at the property line
- Businesses shall provide bicycle parking
- Short-term bicycle parking areas shall be provided within 20 feet of each commercial primary building entrance when possible
- Long-term bicycle parking areas shall be provided within 100 feet of each commercial primary building entrance when possible
- One bicycle parking space per 2,000 gross square feet shall be provided for retail uses. A minimum of two spaces is required
- One bicycle parking space per 10,000 gross square feet shall be provided for office. A minimum of two spaces is required
- A minimum of one bicycle parking spaces per unit shall be provided. In-building or covered bicycle parking is encouraged



### **Inappropriate Parking Lot Design**

- Parking lots located between buildings and public streets
- Parking areas located on corners
- Individual parking lots for each development/business
- Numerous access drives into disconnected parking areas
- No parking lot landscaping
- No bicycle parking

## PARKING MANAGEMENT

**Guideline:** Connect parking lots between developments and share parking between uses to minimize large parking lots and automobile traffic on public streets.

- Parking management shall promote effective economic activity, maximize the sharing of parking areas for commercial activity, and avoid inefficiencies in parking in which parking occupancy patterns discourage higher density and compact development
- Shared parking strategies are encouraged to eliminate redundant and unnecessarily large parking areas and to provide more land for taxable development. Parking lots are encouraged to be shared between building uses that require parking at separate times such as office parking during the day and residential parking at night
- New uses shall be required to produce a parking design and management study which documents the level of use at regular and peak times, the degree of sharing for parking with nearby users, the way in which the owner/user intends to maximize efficient use, and sharing of the parking
- Cross access and/or joint parking easements may need to be developed in the event of the parcel being subdivided.
- Shared driveways shall be used to serve groups of buildings with shared parking courts between buildings
- Sharing arrangements shall be codified in covenants, deed restrictions, and developer agreements
- Connecting parking lots between development lots is encouraged to reduce traffic congestion on public streets

### **Inappropriate Parking Management**

- Individual parking lots by building, use, or development project
- Parking lots that are overbuilt and unused





## SITE CIRCULATION

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**Guideline:** A pedestrian friendly environment is encouraged to provide safe circulation within the site and between sites. Private development shall connect into existing public infrastructure.

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- Concrete pedestrian walkways shall connect parking areas to building entrances
- Pedestrian walkways shall connect development sites to existing public sidewalks and paths such as the Urban Greenway
- Walkways shall be located outside of vehicle parking areas
- Walkways shall be safely illuminated

### Inappropriate Site Circulation

- Unpaved pedestrian walkways
- Parking lots with no pedestrian walkways
- Dark, unlit walkways





## DRIVE-THROUGH AND SERVICE

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**Guideline:** Drive-throughs shall be located at the rear or side of buildings and shall not be placed between a public street/easement and the main building structure.

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- Every effort shall be made to coordinate and integrate drive-through facilities into the overall architectural treatment of the main building
- Creative design solutions such as remote kiosks are encouraged to minimize the impact of the drive-through facility on the overall site design
- Clearly defined pedestrian crossings shall be provided where walkways intersect drive-through access lanes. In all cases drive-through facilities shall be designed to operate without endangering the public safety

### **Inappropriate Drive-Through**

- Drive-through window and service line visible from public streets



## SERVICE, STORAGE, AND UTILITY AREAS

**Guideline:** Service, loading, and utility areas, while necessary for business operation, shall be located away from the public view.

- Refuse and recycling areas shall be integrated into the building architecture with high quality design and/or screened with similar building materials to the main architecture. The areas shall be kept clean and avoid accumulation of excess disposal materials and the enclosure shall be locked
- When possible, service and utility areas shall be inside the building or integrated into the architecture of the building
- Loading areas shall be located behind buildings, away from parking areas and public streets
- Loading doors shall not be visible from public streets
- To reduce the amount of area dedicated to these needs, shared service areas between adjacent users and buildings shall be allowed and encouraged
- If indoor reuse is not possible, outdoor refuse areas shall be enclosed with attractive design and materials that match building architecture. Recommended enclosures would be of masonry or stone with gated access and surrounding landscaping. The gate and enclosure opening shall not be visible from public ways
- Rooftop mechanicals shall be screened with materials that match the building architecture

### Inappropriate Service Area

- Service areas and utility equipment along public streets
- Prefabricated storage sheds
- Visible garbage dumpsters
- Unscreened service, storage, or utility areas





## LANDSCAPING

**Guideline:** Create pedestrian-friendly landscapes that are functional, visually appealing, and relate to building activities and architecture. Use landscaping to screen undesirable views.

- Incorporate landscape elements that complement the character of the building and provide a pleasing relationship with adjoining properties, the public sidewalk, and the street
- Use appropriate landscape elements to establish continuity between buildings and to define the block face where there are no buildings
- Plant shade trees in surface parking lots to reduce heat islands
- Incorporate mid-level plantings and ground covers into parking planting areas
- Native plants shall be installed whenever possible
- Consider prairie plantings instead of turf to minimize maintenance and establish animal and insect habitat
- Use plant materials that provide year-round interest, add desirable color, texture, and smells to a site's experience
- Install plants to screen parking areas from public streets.
- Install plants to screen building mechanicals
- Incorporate rain gardens and bioretention basins to collect runoff and filter pollutants
- Install bioretention areas in surface parking lots for stormwater infiltration
- Use plant materials that are compatible with urban environments and will maintain their health with the expected amount of care
- Use salt tolerant plants due to the urban pedestrian environment
- See Map 7 for a district-wide landscape concept

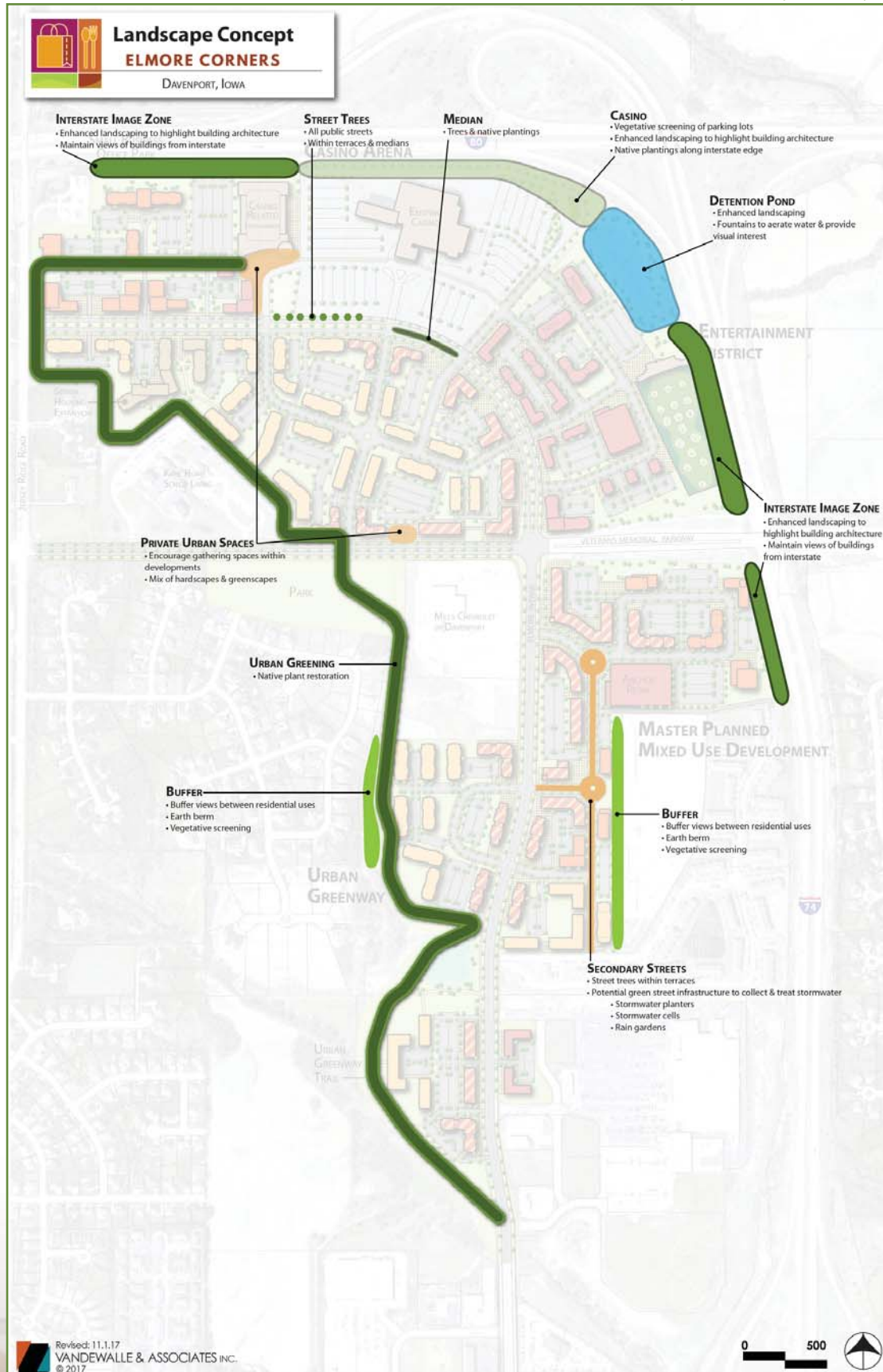
### Inappropriate Site Landscaping

- Single species planting schemes
- Residential or suburban landscape treatment such as boulders, bark chips, plastic edging, railroad ties, etc.
- Chain link, metal mesh, wire or barbed wire fencing
- Site furnishings located adjacent to common spaces





## Map 7. Landscape Concept



## URBAN GREENWAY

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**Guideline:** An urban greenway shall be established on the west edge of the planning area to both buffer new development from existing neighborhoods and provide an open space corridor for recreation and natural habitat.

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- The greenway corridor shall be a 100 foot wide minimum public corridor
- Naturalized landscaping shall be installed to establish the natural space and buffer
- Low-maintenance native species including trees, shrubs and grasses shall be planted
- A 10 foot wide asphalt path shall be constructed to provide an alternative transportation route and recreation trail
- The path shall connect to private development, public streets, and sidewalks





## SITE FEATURES & URBAN SPACES

**Guideline:** Private development is encouraged to establish urban spaces and install site features to enhance the Elmore Corners District and contribute to a pedestrian friendly streetscape.

- Commercial uses are encouraged to have public plaza spaces to provide space for activities such as outdoor dining or seating areas
- Commercial urban spaces shall be accessible from public ways
- Any security fencing shall consist of decorative materials (such as wrought iron, brick or stone)
- Select and locate site furnishings (benches, trash receptacles, bicycle racks, etc.) to unify the Elmore Corners District and provide a pleasing relationship with adjoining properties, the public sidewalk, and street
- Site furnishings shall be of high-quality materials that last in all weather environments

### Inappropriate Site Features & Urban Spaces

- Urban gathering spaces that are closed off from public ways
- Site features of low quality that do not complement building architecture





## PUBLIC STREETS AND STREETSCAPING

**Guideline:** Public streets shall be designed as complete streets serving all modes of transportation users including vehicles, bicycles, and pedestrians. Streets shall contain streetscape elements to enhance the visual aesthetics of these public spaces.

- Primary public streets shall contain streetscape elements of a vehicular scale including:
  - Street lights – tall poles to safely illuminate the street
  - Sidewalk on one side and bicycle path on the other side
  - Turf terraces
  - District gateway features
  - Wayfinding sign directing visitors to district destinations
  - Light pole banners advertising special events
- Secondary streets shall contain streetscape elements of a pedestrian scale including:
  - Street lights – pedestrian scale with decorative fixtures
  - Concrete sidewalks on both sides of the street
  - Decorative brick, paver, or stamped concrete terraces
  - Wayfinding signs or kiosks directing visitors to district locations
  - Light pole banners advertising locations, uses, or events
  - Landscape planters with flowers and grasses
- All street lights shall contain LED energy efficient fixtures
- Street lights shall contain decorative poles and bases
- Street lights shall be down casting to reduce light pollution
- Stormwater management could be incorporated into the street terrace through stormwater planters, inlets, and swales
- Secondary streets may designate bicycle access through painted sharrows on street lanes



## STORMWATER MANAGEMENT

**Guideline:** All future developments must meet City Stormwater Ordinance requirements. In general, stormwater best management practices are encouraged and shall be incorporated into site designs, limiting large, monolithic retention ponds.

- Incorporate stormwater systems into development site plans and landscape plans
- Encourage regional ponds or ponds that serve multiple developments to density development and allow development to occur in urban form
- Utilize stormwater management techniques that maximize infiltration and filter runoff
- Incorporate bio-swales into parking lots to collect surface water and infiltrate on-site
- Install urban stormwater management systems where appropriate such as stormwater planters, rain gardens, underground cisterns and cells, porous pavement, and green street terraces
- Green roofs are encouraged to aid in reducing the amount of impervious surfaces
- Collect roof water into “purple pipe” grey water systems to reuse for irrigation, toilets or other non-potable uses
- If water does run off buildings, direct it into planting areas and rain barrels
- Include stormwater pond aeration systems and fountains to improve water quality and appearance

### **Inappropriate Stormwater Management**

- Direct stormwater runoff into the Pheasant Creek
- Large, unnaturally shaped stormwater detention ponds with no landscaping or aeration





## HIGHWAY CORRIDOR OVERLAY DISTRICT

This planning area lies within the City of Davenport Highway Corridor Overlay District. Project proposed within this area must meet the requirements set in the City Zoning Code.

## PREFERRED LAND USES

**Table 1:** Elmore Corners Preferred Land Uses lists the currently allowable uses within the planning area based on the underlying Planned Development District Zoning. The chart indicates the preferred uses by area based on the Elmore Corners Site Layout Plan vision. The area numbers correspond with the following subareas (see Map 4. Sub Areas on page 19).

- Area 1 - North End
- Area 2 - Elmore Corners Mixed-Use Neighborhood
- Area 3 - Elmore Corners Entertainment District
- Area 4 - Master Planned Development
- Area 5 - Elmore Corridor

Table 1. Elmore Corners Preferred Land Uses

Elmore Corners Preferred Land Uses					
Area	1	2	3	4	5
<b>Planned Development District</b>					
<b>Principal Uses</b>					
Banking facilities	Y	Y	Y	Y	Y
Business parks	Y	N	N	N	N
Hotel and motels	Y	N	Y	Y	N
Indoor recreation uses	Y	N	Y	N	N
Indoor recreation uses and outdoor uses that relate to other activities developed on the site	Y	N	Y	N	N
Medical, dental, research testing, and experimental laboratories	Y	Y	N	Y	Y
Offices	Y	Y	N	Y	Y
Restaurants and food services	Y	Y	Y	Y	Y
Retail sales of merchandise	Y	Y	Y	Y	Y
Retail sales that do not include vehicle sales or rental, or public garages	Y	Y	Y	Y	Y
Condominiums	Y	Y	N	Y	Y
Independent, assisted and congregate care elderly housing	Y	Y	N	N	Y
Apartments	Y	Y	N	Y	Y
Row houses	Y	Y	N	Y	Y
Single-family attached	Y	Y	N	Y	Y
Single-family detached	N	N	N	N	N
Warehouse distribution uses (provided that all storage activities are carried out completely within building)	N	N	N	N	N
<b>Other Uses Not Listed in Planned Development Districts</b>					
Grocery store and supermarkets	N	N	N	Y	N
Outdoor storage	N	N	N	N	N
Large format retail over 40,000 square feet	N	N	Y	Y	N
<b>Legend</b>					
Y	Preferred				
N	Discouraged				





City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn, 888-2286

**Date**  
**3/20/2018**

**Subject:**

Case ORD18-02 Ordinance amending Title 17 to incorporate a zoning component to promote and create a commercial identity for the Rockingham Road corridor through the use of design and use standards. City of Davenport is the Petitioner. Chapter 17.60 of the Davenport Municipal Code allows for text and map amendments. [1st & 3rd Wards]

**Recommendation:**

This is the public hearing; therefore no recommendation is made at this time.

**Relationship to Goals:**

Welcome Investment  
Enhance Quality of Life

**Background:**

The Rockingham Corridor Overlay project is an outgrowth of the Rockingham Road moratorium on business licenses. Staff has been directed to draft a zoning ordinance change to address some the needs of this corridor. A draft is not available at this time. A draft of the overlay is not available at this time. It is the intent of staff to use the overlay to restrict certain uses and to add a number of design requirements to ensure a higher quality of development within the area. The goal is to use the overlay to foster better development designed to attract and maintain quality business and local retailers while protecting the investment of current owners along the corridor. Following adoption, the new regulations will be incorporated into the new zoning ordinance as well.

**ATTACHMENTS:**

Type	Description
▣ Cover Memo	ORD18-02
▣ Cover Memo	Ord18-02 background

**Staff Workflow Reviewers**

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Koops, Scott	Approved	3/16/2018 - 3:16 PM





## **PLAN AND ZONING COMMISSION**

**Public Hearing:** March 20, 2018  
**Request:** Proposed Zoning Text Amendment for Rockingham Road Area  
**Case No.:** ORD18-02  
**Applicant:** City of Davenport

**Contact:** Scott Koops, AICP, Planner II [sek@ci.davenport.ia.us](mailto:sek@ci.davenport.ia.us) 328-6701

### **Recommendation:**

There is no recommendation at this time.

### **Introduction:**

Case ORD18-02 Ordinance amending Title 17 to incorporate a zoning component to promote and create a commercial identity for the Rockingham Road corridor through the use of design and use standards. City of Davenport is the Petitioner. Chapter 17.60 of the Davenport Municipal Code allows for text and map amendments. [1<sup>st</sup> & 3<sup>rd</sup> Wards]

### **Background:**

The Rockingham Corridor Overlay project is an outgrowth of the Rockingham Road moratorium on business licenses. Staff has been directed to draft a zoning ordinance change to address some the needs of this corridor. A draft is not available at this time.

A draft of the overlay is not available at this time. It is the intent of staff to use the overlay to restrict certain uses and to add a number of design requirements to ensure a higher quality of development within the area. The goal is to use the overlay to foster better development designed to attract and maintain quality business and local retailers while protecting the investment of current owners along the corridor.

Following adoption, the new regulations will be incorporated into the new zoning ordinance as well.

### **Discussion:**

The neighborhood meeting held on March 15<sup>th</sup> at the Roosevelt Community Center provided indispensable understanding of the issues and needs for the corridor from 60 persons living and working in the Rockingham area. Below are some of the more frequent themes that were presented:

#### Use Restrictions

Restrictions on bars  
Disallow junk yards  
Disallow gravel parking lots  
Limit new industrial uses and expansion  
Reuse of vacant buildings  
Reduce truck traffic  
Trash blowing around

#### Design Standards

Beautification (landscaping & building design)  
Wider sidewalks  
Branding for the Corridor  
Attract more business  
Improve car lot appearance  
Family friendly environment

#### Economic Issues

Need redevelopment  
Viability of Hy-Vee  
Economic assistance  
Economic tools (TIF, SSMID)

**Public Input:**

The Neighborhood Meeting was held on March 15<sup>th</sup> at the Roosevelt Community Center. The sign-in sheet is attached (60 signatures). A public notification chart is also attached.

In addition, two planning documents (*Older Commercial Corridors Plan* and the *West End Focus Neighborhood Plan*) have solicited numerous public comments at various dates for creating an identity for the corridor.

**Staff Recommendation:**

This is the public hearing; therefore no recommendation is made at this time.

Prepared by:

A handwritten signature in blue ink, appearing to read "Scott Koops".

Scott Koops, AICP - Planner II  
Community Planning

City of Davenport

2017-474

Agenda Group:  
Department: Community Planning & Economic Development  
Contact Info: Bruce Berger  
Wards: 1 & 3

Action / Date

11/1/2017

NOV - 8 2017

Subject:

Resolution approving a 6-month moratorium on changes in business licenses in the Rockingham Road Corridor between Division and S. Concord Streets where the new license represents a substantial change from the previous use (City of Davenport, Petitioner) [Wards 1, 3, 4]

Recommendation:

Approve the motion.

Relationship to Goals:

Strengthen Neighborhoods.

Background:

With the nearing completion of the long-awaited road improvements to Rockingham and the pending Zoning Code re-write slated for final consideration in mid-2018, it is proposed that any applications for changes in business license uses (where it represents a change in the previous use of the property) not be approved pending upcoming potential changes in the Zoning Code in this corridor.

Existing businesses in this corridor would be unaffected by this moratorium and, if any changes in zoning are ultimately enacted, would be grandfathered in. Similarly if an existing commercial business, such as a barbershop, would sell the business and a new barbershop operator acquires the business, a business license could be approved.

Approval of this action would authorize staff to proceed accordingly.

ATTACHMENTS:

Type	Description
▯ Cover Memo	Resolution

REVIEWERS:

Department	Reviewer	Action	Date
Community Development Committee	Berger, Bruce	Approved	10/26/2017 - 10:40 AM
City Clerk	Admin, Default	Approved	10/26/2017 - 11:02 AM



Resolution No. 2017-474

Resolution offered by Alderman Gripp.

RESOLVED by the City Council of the City of Davenport.

RESOLUTION approving a 6-month moratorium on changes in business licenses in the Rockingham Road Corridor between Division and S. Concord Streets. (City of Davenport, Petitioner)

WHEREAS, long-awaited for improvements to Rockingham Road are nearing completion; and

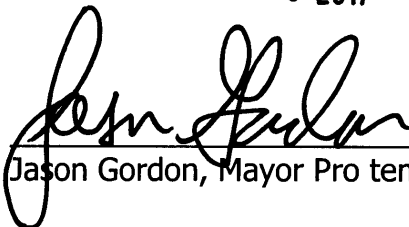
WHEREAS, an economic revitalization of the corridor is envisioned; and

WHEREAS, an update to the City's Zoning Code is expected to be discussed by mid-summer, 2018 and could involve new design standards and zoning district changes; and

WHEREAS, a moratorium on changes or new business licenses that entail a use substantially different from the previous use is appropriate in light of upcoming discussion and potential changes to the zoning and/or design standards in that corridor.

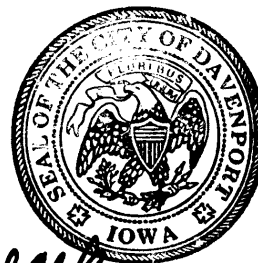
NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Davenport, that the City Council does hereby approve a moratorium on changes or new business licenses that represent a substantial change in the previous use of the property in the Rockingham Road corridor between Division and South Concord Streets, and immediately authorize staff to proceed accordingly.

Approved: NOV - 8 2017

  
Jason Gordon, Mayor Pro tem

Attest:

  
Jackie E. Holecek, City Clerk



March 6, 2018

Re: Invitation to a Neighborhood Meeting

Date: Thursday, March 15, 2018  
Time: 6:00 pm  
Location: Roosevelt Community Center  
1220 Minnie Ave, Davenport, IA 52802

Dear Property Owner:

You are cordially invited to attend a neighborhood meeting for the Rockingham Road area. **Property owners within 200' of the proposed text and map amendment have been notified.** If someone is interested in attending and has not been notified, please invite them to this meeting.

It is the **City's** intent, with the use of the text/map amendment process, to implement a few of the goals and objectives listed in the *Rockingham Road – Older Commercial Corridors Plan* and the *West End Focus* neighborhood plan. The purpose is to foster an improved sense of commercial identity for the Rockingham corridor area.

This Neighborhood Meeting is an informal opportunity for you to meet with us and for the neighborhood to provide us with ideas and comments about how to better establish a commercial identity for this valuable corridor.

We look forward to your attendance at this meeting. It is vital that the City receive your ideas and vision for this area. If you have any questions or concerns or cannot attend this meeting, please contact Scott at [sek@ci.davenport.ia.us](mailto:sek@ci.davenport.ia.us) or 328-6701.

Sincerely,



Scott Koops, AICP  
Planner II  
City of Davenport

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
Petitioner:			CITY OF DAVENPORT	
P&Z Chair:	Bob Inghram		<a href="mailto:bingham@activethermal.net">bingham@activethermal.net</a>	
Council Clerk:	Nevada Lemke		<a href="mailto:nlemke@ci.davenport.ia.us">nlemke@ci.davenport.ia.us</a>	
Neighborhood:	Southwest Gateway	Genaire Walker		
Ward/Ald:	3rd Ward	Alderman Meginnis	<a href="mailto:mmeginnis@ci.davenport.ia.us">mmeginnis@ci.davenport.ia.us</a>	
Ward/Ald:	1st Ward	Alderman Dunn	<a href="mailto:rdunn@ci.davenport.ia.us">rdunn@ci.davenport.ia.us</a>	579 Notices Sent
Ward/Ald:	At-Large	Alderman Condon	<a href="mailto:jcondon@ci.davenport.ia.us">jcondon@ci.davenport.ia.us</a>	(704 Properties)
Ward/Ald:	At-Large	Alderman Gripp	<a href="mailto:kgripp@ci.davenport.ia.us">kgripp@ci.davenport.ia.us</a>	
J0040-25	2338 BOIES AV	1 LLC PARA		
R0505-07C	4202 ROCKINGHAM RD	42 ROCK LLC	6410 38TH ST SW	DAVENPORT IA 52804
R0505-07E	4132 ROCKINGHAM RD	42 ROCK LLC		
K0007-03	1451 W 3RD ST	ADAM B ANDERSON	1451 W 3RD ST	DAVENPORT IA 52802-1232
K0032-40	2129 DIXWELL ST	AL POLINA	2129 DIXWELL ST	DAVENPORT IA 52802
K0011-12	1535 W 2ND ST	ALBERT W TANK	24124 80TH AVE	WALCOTT IA 52773
K0011-13	1539 W 2ND ST	ALBERT W TANK		
J0063-03	3510 ROCKINGHAM RD	ALEXANDER J NADERMANN	3510 ROCKINGHAM RD	DAVENPORT IA 52802
J0064-42	3622 ROCKINGHAM RD	ALEXANDER L RIESSEN	3622 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-OLA		ALTER BARGE LINES	700 OFFICE PARKWAY	SAINT LOUIS MO 63141
J0041-04D	640 SCHMIDT RD	ALTER BARGE LINES		
J0041-04E	2403 ROCKINGHAM RD	ALTER BARGE LINES		
J0041-09	626 SCHMIDT RD	ALTER BARGE LINES		
J0055-01		ALTER BARGE LINES		
K0011-01A	201 STURDEVANT ST	ALVIN P TANK	201 STURDEVANT ST	DAVENPORT IA 52802
J0040-27	2328 BOIES AVE	ALVIN W SINDT	2328 BOIES AVE	DAVENPORT IA 52802-1701
K0032-04	503 S LINCOLN AV	ANDREW J ALOIAN	PO BOX 2246	DAVENPORT IA 52809
J0054-22	2731 ROCKINGHAM RD	ANDREW N WOOD	2731 ROCKINGHAM RD	DAVENPORT IA 52802-2818
J0064-44	3610 ROCKINGHAM RD	ANN KELLY	3610 ROCKINGHAM RD	DAVENPORT IA 52802
K0012-12	1608 W 2ND ST	ANNA M WINTERS	1006 ARLINGTON CT	DAVENPORT IA 52803
R3257-16	3717 BOIES AV	ANNA MAE HITCHCOCK	3717 BOIES AVE	DAVENPORT IA 52802
J0054-07A	2728 ROCKINGHAM RD	ANTHONY & JACQUILINE REYNOLDS REVOCABLE TRST		
R0403-14	935 S OHIO AVE	ANTHONY & JACQUILINE REYNOLDS	935 S OHIO AVE	DAVENPORT IA 52802-2639
R0404-40	966 S CONCORD ST	ANTONY ZIELSTORF	966 S CONCORD ST	DAVENPORT IA 52802-2705
J0062-13	3208 ROCKINGHAM RD	APRIL K LANE	3208 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-01	2378 ROCKINGHAM RD	ARCP FD PORTFOLIO XIII LLC		
J0040-02	2370 ROCKINGHAM RD	ARCP FD PORTFOLIO XIII LLC		
J0040-03	2364 ROCKINGHAM RD	ARCP FD PORTFOLIO XIII LLC	19 S LASALLE ST STE 1007	CHICAGO IL 60603
J0054-03	2736 ROCKINGHAM RD	ARGUELLO RICK J	3716 BOIES AV	DAVENPORT IA 52802
R0401-06	3607 ROCKINGHAM RD	ARMAN MIKAILI	3607 ROCKINGHAM RD	DAVENPORT IA 52802
R0404-29	1004 S CONCORD ST	ASHLEY JEANINE STARK	1004 S CONCORD ST	DAVENPORT IA 52802
K0007-06A	1441 W 3RD ST	AYERS JAMES H	1441 W 3RD ST	DAVENPORT IA 52802
J0040-11	2302 ROCKINGHAM RD	B & V PARTNERS LLC 101	2490 HEATHER GLEN AV	BETTENDORF IA 52722
K0011-07	1518 W 2ND ST	B & V PARTNERS LLC 101		
K0011-09	1512 W 2ND ST	B & V PARTNERS LLC 194		
R0404-27	1018 S CONCORD ST	B C DEVELOPMENT OF DURANT	309 2ND ST	DURANT IA 52747
R0402-09	909 S MICHIGAN AV	BAKER INC ADAM	306 W AURETTA ST	BLUE GRASS IA 52726-9783
J0053-20	2912 ROCKINGHAM RD	BARBARA J HENDRICKSEN	2912 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-21A	2908 ROCKINGHAM RD	BARNETT PATRICIA	2908 ROCKINGHAM RD	DAVENPORT IA 52802
R3257-05	3806 ROCKINGHAM RD	BEAU L HINES	3806 ROCKINGHAM RD	DAVENPORT IA 52802
R0508-40	3823 ROCKINGHAM RD	BENJAMIN M STOCK	3823 ROCKINGHAM RD	DAVENPORT IA 52802-2504
J0040-30	2320 BOIES AV	BENNETT CAROLYN J	2320 BOIES AV	DAVENPORT IA 52802
R0508-27	3824 JOHNSON AV	BERNAL SUZANNE M	3824 JOHNSON AV	DAVENPORT IA 52802-2528
J0054-24A	2747 ROCKINGHAM RD	BETHANY ENTERPRISES INC	5 HIGHLAND CT	BETTENDORF IA 52722
J0042-16	2509 BOIES AVE	BEVERLY GOMEZ	2509 BOIES AVE	DAVENPORT IA 52802-2115
K0011-04	1530 W 2ND ST	BEVERLY A HENKEL	1530 W 2ND ST	DAVENPORT IA 52802
K0012-45	1620 ROCKINGHAM RD	BIG TAP PRODUCTIONS INC	12911 240TH ST	ELDRIDGE IA 52748
J0064-29	3615 BOIES AV	BILLY J DAVIS	3615 BOIES AV	DAVENPORT IA 52802
R0507-03		BLESSING SHERI		
R0506-07A		BLESSING SHERI L		
R0506-09		BLESSING SHERI L		
R0506-10		BLESSING SHERI L		
R0506-11		BLESSING SHERI L		



### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
K0032-41	2131 DIXWELL ST	BLINK WILLIAM R JR	7115 NORTHWEST BD	DAVENPORT IA 52806
R0508-35	3701 ROCKINGHAM RD	BLOCKER RODNEY	101 VALLEY HEIGHTS RD	BLUE GRASS IA 52726
R0507-23	3862 JOHNSON AV	BLUE MOON INVESTMENTS LLC	PO BOX 383	DAVENPORT IA 52805
R0401-18	3628 JOHNSON AV	BOBBY M GRIGGS	901 BROADWAY ST	LOST NATION IA 52254-9676
J0041-05A	2423 ROCKINGHAM RD	BOLT MORTORS INC	2423 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-24	2907 BOIES AVE	BONNIE C HOLDORF	2907 BOIES AVE	DAVENPORT IA 52802-2002
J0042-06	2542 ROCKINGHAM RD	BPLT MOTORS	1609 CEDAR ST	DAVENPORT IA 52804
L0016-07B	211 MARQUETTE ST	BRADLEY HOLDINGS LLC	PO BOX 769	ANDALUSIA IL 61232
R3257-23	3809 BOIES AV	BRANDON KNAPP	3809 BOIES AVE	DAVENPORT IA 52802
R0401-10	3627 ROCKINGHAM RD	BRANDON L DICKENS	3627 ROCKINGHAM RD	DAVENPORT IA 52802
J0061-01	940 S CONCORD ST	BRANDON M HEDRICK	940 S CONCORD ST	DAVENPORT IA 52802
J0053-06	808 S DITTMER ST	BRENDA L JEWELL	808 S DITTMER ST	DAVENPORT IA 52802-2030
J0062-17	826 S ELSIE AV	BRENT M HUSSER	1564 FOREST HILLS RD	BETTENDORF IA 52722
R0402-08	3509 ROCKINGHAM RD	BRIANNA N HAHN	3509 ROCKINGHAM RD	DAVENPORT IA 52802
K0032-35	312 S PINE ST	BRIDGES MARY FRANCES	3820 N MARYBELLE AV	PEORIA IL 61615
20503-47A	4316 ROCKINGHAM RD	BRIDGET M FUNK	4316 ROCKINGHAM RD	DAVENPORT IA 52802-2423
R0512-01A	1048 S PIONEER ST	BRUCE T HULL	1048 PIONEER ST	DAVENPORT IA 52802
R3257-03	3816 ROCKINGHAM RD	BRUCE W MORRIS	3816 ROCKINGHAM RD	DAVENPORT IA 52802
K0012-40	1642 ROCKINGHAM RD	C G & D PROPERTIES	2111 N OHIO AV	DAVENPORT IA 52804
R0402-19	934 S MICHIGAN AV	CAMERON L HAYNES	934 S MICHIGAN AV	DAVENPORT IA 52802
J0053-01	3010 ROCKINGHAM RD	CARA L SHELTON	3010 ROCKINGHAM RD	DAVENPORT IA 52802
K0019-18	1815 W 1ST ST	CARLOS R MARTINEZ		
K0019-19		CARLOS R MARTINEZ	1210 W 6TH ST	DAVENPORT IA 52802-1322
J0042-17	2515 BOIES AV	CAROL ABBAS	2515 BOIES AV	DAVENPORT IA 52802
K0032-24	423 S HANCOCK AV	CAROL BACK	423 S HANCOCK AV	DAVENPORT IA 52802
K0019-01	210 S HOWELL ST	CAROLE A RUSSELL	210 S HOWELL ST	DAVENPORT IA 52802
K0019-38	201 S HOWELL ST	CARPATHIAN CAPITAL FUND 1 L	7801 E BUSH LAKE RD STE 120	MN 55439
J0054-14A	2637 ROCKINGHAM RD	CARTERS AUTO SALVAGE	2637 ROCKINGHAM RD	DAVENPORT IA 52802-2816
J0054-13	2617 ROCKINGHAM RD	CARTER'S AUTO SAVAGE LLC	4620 ROCKINGHAM RD	DAVENPORT IA 52802
R3257-18A	3718 ROCKINGHAM RD	CASSATT DONALD E	3708 ROCKINGHAM RD	DAVENPORT IA 52802
J0063-24	3423 BOIES AV	CAUDLE STEVEN C JR	2139 W 5TH ST	DAVENPORT IA 52802-1009
K0012-32	143 N DIVISION ST	CECILIO CHAVEZ	2310 W 2ND ST	DAVENPORT IA 52802
R0403-21	932 MINNIE AV	CHAD PEPPERS	932 MINNIE AV	DAVENPORT IA 52802
J0061-24	3147 MARION ST	CHARLES D MADDEN	3147 MARION ST	DAVENPORT IA 52802
J0040-18	2325 BOIES AV	CHARLES E CAHILL	2325 BOIES AV	DAVENPORT IA 52802
R0403-01	914 S ELSIE AV	CHARLES J MATEJCEK	914 S ELSIE AV	DAVENPORT IA 52802
J0064-28	3609 BOIES AV	CHARLES R JENNETT	3609 BOIES AV	DAVENPORT IA 52802
20503-48		CHARLEY TROUP		
20503-49	4703 BLUE GRASS RD	CHARLEY TROUP		
20503-51		CHARLEY TROUP		
20503-53	4616 BLUE GRASS RD	CHARLEY TROUP	4616 BLUE GRASS RD	DAVENPORT IA 52802
R0507-24	3866 JOHNSON AV	CHERYL A HARRAH	3866 JOHNSON AV	DAVENPORT IA 52802
J0043-17	2707 BOIES AV	CHRISTIAN PRICE	3669 N HAWKINS AVE	MERIDIAN ID 83646-4749
R0508-25	3838 JOHNSON AV	CHRISTOPHE R BARBER	3838 JOHNSON AV	DAVENPORT IA 52802
J0053-13	801 S DITTMER ST	CHRISTOPHER VINE	801 S DITTMER ST	DAVENPORT IA 52802
R0508-39	3815 ROCKINGHAM RD	CHURCH OF GOD	3815 ROCKINGHAM RD	DAVENPORT IA 52802
J0062-43	3181 MARION ST	CINDY GRAVERT	3181 MARION ST	DAVENPORT IA 52802
K0011-14	1545 W 2ND ST	CITY CHURCH GRACE	1925 5TH AV	ROCK ISLAND IL 61201
20503-OLB		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
23251-30B	3902 ROCKINGHAM RD	CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
R0401-25	3607 JOHNSON AV	CLAIR D ODELL	3607 JOHNSON AV	DAVENPORT IA 52802
J0052-14	807 S CONCORD ST	CLARK D PLAMBECK	6602 W RIVER DR	DAVENPORT IA 52802
J0039-03	2512 BOIES AV	CLEMENTE SOLIS	2512 BOIES AV	DAVENPORT IA 52802
J0061-22	3135 MARION ST	CLIFFORD R RUSSELL	3135 MARION ST	DAVENPORT IA 52802
K0012-44	1622 ROCKINGHAM RD	CLIFFORD W TAPPA	12911 240TH ST	ELDRIDGE IA 52748
K0031-08	2011 DIXWELL ST	CLOUGH DOUGLAS L	302 ISLAND AV	EAST MOLINE IL 61244-1018
R0505-08A	4106 ROCKINGHAM RD	COFFMAN TIMOTHY R	4106 ROCKINGHAM RD	DAVENPORT IA 52802
J0063-15A	3414 ROCKINGHAM RD	COMPASSION CHURCH		
J0063-23A		COMPASSION CHURCH	3414 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-10	518 S LINCOLN AV	CONKLIN VIVIAN H	28200 TERRITORIAL RD	LECLAIRE IA 52753-9774
K0033-06A	2224 ROCKINGHAM RD	CONKLIN VIVIAN H		

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
J0062-11	3222 ROCKINGHAM RD	CONSTANCE K HAMMELL	3222 ROCKINGHAM RD	DAVENPORT IA 52802-3562
J0040-19	2329 BOIES AV	CORD R SASS	2329 BOIES AV	DAVENPORT IA 52802
20503-54	4515 RICKER HILL RD	CORY ANTLE	4515 RICKER HILL RD	DAVENPORT IA 52802-2337
K0012-29B		CT PROPERTIES LLC		
K0012-33A	139 N DIVISION ST	CT PROPERTIES LLC	135 N DIVISION ST	DAVENPORT IA 52802
K0012-36B	119 N DIVISION ST	CT PROPERTIES LLC		
K0012-37	115 N DIVISION ST	CT PROPERTIES LLC	139 S DIVISION ST	DAVENPORT IA 52802
K0020-08	110 N DIVISION ST	CT PROPERTIES LLC		
J0061-07	3153 ROCKINGHAM RD	CUNNINGHAM SUSAN K	3153 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-32	2811 BOIES AV	CYNTHIA M RICHARDSON	2811 BOIES AV	DAVENPORT IA 52802
R0401-19	3624 JOHNSON AV	CYNTHIA S ALLBEE	3624 JOHNSON AV	DAVENPORT IA 52802
J0054-12	2613 ROCKINGHAM RD	DANICA UNDERWOOD	2613 ROCKINGHAM RD	DAVENPORT IA 52802
R0404-41	962 S CONCORD ST	DANIEL REED	3841 HOBSON AV	DAVENPORT IA 52802
J0063-02	3514 ROCKINGHAM RD	DANIEL C DUGAN	3514 ROCKINGHAM RD	DAVENPORT IA 52804
R0404-11	955 S CONCORD ST	DANIEL L REED		
J0043-18	2713 BOIES AV	DANIEL N MAYS TRUST	435 W PARKVIEW DR	WALCOTT IA 52773-8504
J0059-03	941 S ROLFF ST	DANIEL P WALLACE		
R0401-08	3619 ROCKINGHAM RD	DANIEL P WALLACE	1406 W CENTRAL PARK AVE	DAVENPORT IA 52804
J0062-02A	815 S OHIO AV	DANNY R ANTLE	815 S OHIO AVE	DAVENPORT IA 52802
K0012-42	1632 ROCKINGHAM RD	DARSHANS IOWA PROPERTIES F	9653 N GRANVILLE RD	MEQUON WI 53097
K0014-20	1802 W 1ST ST	DAVENPORT ELECTRIC CONTRA	529 PERSHING AV	DAVENPORT IA 52803
R3258-03	3862 ROCKINGHAM RD	DAVID BROWN	3862 ROCKINGHAM RD	DAVENPORT IA 52802
J0042-24	2549 BOIES AV	DAVID E COURTNEY	2549 BOIES AV	DAVENPORT IA 52802
J0061-12A	3130 ROCKINGHAM RD	DAVID EUGENE GRIMES	3130 ROCKINGHAM RD	DAVENPORT IA 52802
J0064-38	3648 ROCKINGHAM RD	DAVID L RINDLER	3648 ROCKINGHAM RD	DAVENPORT IA 52802
R0506-01	4014 ROCKINGHAM RD	DAVID LLEWELLYN BROWN	4014 ROCKINGHAM RD	DAVENPORT IA 52802-2418
R3255-01A	3858 ROCKINGHAM RD	DAVID M BROWN	3858 ROCKINGHAM RD	DAVENPORT IA 52802-2503
J0053-04	818 S DITTMER ST	DAVID R CONGER	818 S DITTMER ST	DAVENPORT IA 52802
R0403-13	929 S OHIO AV	DAVID W SNEED	929 S OHIO AVE	DAVENPORT IA 52802
J0064-22	805 S NEVADA AV	DEAN L ALLERS	805 S NEVADA AVE	DAVENPORT IA 52802
J0054-08	2718 ROCKINGHAM RD	DEBBIE NILES	2718 ROCKINGHAM RD	DAVENPORT IA 52802
K0031-07	2007 DIXWELL ST	DEBRA K VALLE	2007 DIXWELL ST	DAVENPORT IA 52802
R0401-20	3620 JOHNSON AV	DELL II MUNN	3620 JOHNSON AVE	DAVENPORT IA 52802
J0062-16	830 S ELSIE AV	DENISE HALE	830 S ELSIE AVE	DAVENPORT IA 52802
J0063-21	806 S OHIO AV	DENNIS R DEW	806 S OHIO AV	DAVENPORT IA 52802
J0063-25	3427 BOIES AV	DESTINY DAWN KRIEGER	3427 BOIES AV	DAVENPORT IA 52802
J0061-05A	3129 ROCKINGHAM RD	DILLON REAL ESTATE CO INC	1014 VINE STREET	CINCINNATI OH 45202
R3257-19	3708 ROCKINGHAM RD	DONALD E CASSATT	117 N PINE ST	DAVENPORT IA 52802
R3257-20	3702 ROCKINGHAM RD	DONALD E CASSATT		
R0403-27B	931 MINNIE AV	DONALD G THOMPSON	931 MINNIE AV	DAVENPORT IA 52802
J0042-21	2537 BOIES AV	DONALD L TEEL	2537 BOIES AV	DAVENPORT IA 52802
J0062-22	3217 BOIES AV	DONALD M WULF	3217 BOIES AVE	DAVENPORT IA 52802
R0401-23	3602 JOHNSON AV	DONALD M YOUNGERS	3602 JOHNSON AV	DAVENPORT IA 52802-2524
K0012-24C	1621 W 2ND ST	DORIS J WENDT	1621 W 2ND ST	DAVENPORT IA 52802
R0402-28	936 S OHIO AV	DOROTHY I REIS	936 S OHIO AV	DAVENPORT IA 52802
J0040-29	2324 BOIES AV	DOUGLAS MOORMAN	2324 BOIES AV	DAVENPORT IA 52802
J0043-15	2627 BOIES AV	DOUGLAS A AYERS	3830 HIGHWAY 22	MUSCATINE IA 52761-9428
J0061-27	3132 MARION ST	DOUGLAS J BERNER	3132 MARION ST	DAVENPORT IA 52802
R0512-02G	4319 ROCKINGHAM RD	DWIGHT D HOLMES	4319 ROCKINGHAM RD	DAVENPORT IA 52802
R0512-02E		DWIGHT L HOLMES		
R0512-02F	4335 ROCKINGHAM RD	DWIGHT L HOLMES	4335 ROCKINGHAM RD	DAVENPORT IA 52802-2424
J0064-35	3647 BOIES AV	EDITH M VAUGHN	3647 BOIES AVE	DAVENPORT IA 52802
R0404-42	956 S CONCORD ST	EDNA M ROENFELDT	956 S CONCORD ST	DAVENPORT IA 52802
R0403-11	917 S OHIO AV	EDWARD A BERNAUER	917 S OHIO AV	DAVENPORT IA 52802
R0403-06	3303 ROCKINGHAM RD	EDWARD E JACKSON	3303 ROCKINGHAM RD	DAVENPORT IA 52802
K0019-20A	1823 W 1ST ST	ELGATIAN PAULINE S	2724 E 28TH CT	DAVENPORT IA 52803
R0402-11	927 S MICHIGAN AVE	ELISE FAHRENKRUG	927 S MICHIGAN AV	DAVENPORT IA 52802
J0043-14	2623 BOIES AV	ELIZABETH A EMMONS	2623 BOIES AVE	DAVENPORT IA 52806
J0061-21	3129 MARION ST	ELLWOOD E BENKER	3129 MARION ST	DAVENPORT IA 52802
J0063-08	3503 BOIES AV	EMERSON O PLATT	PO BOX 624	BETTENDORF IA 52722
R0403-04	3233 ROCKINGHAM RD	EMMA F SCHAECKENBACH	3233 ROCKINGHAM RD	DAVENPORT IA 52802

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
K0011-17	1534 ROCKINGHAM RD	ERIC A MURPHY	1534 ROCKINGHAM RD	DAVENPORT IA 52802
J0063-09	3507 BOIES AV	ERIC P EISENBACHER	3507 BOIES AV	DAVENPORT IA 52802
R0404-31A	1001 S ELSIE AVE	ERIK D HERUM	1001 S ELSIE AVE	DAVENPORT IA 52802-2609
J0062-45	3174 ROCKINGHAM RD	ESTEBAN J MUNZO	3174 ROCKINGHAM RD	DAVENPORT IA 52802-2071
K0012-26	1627 W 2ND ST	ESTELA TORRES	1627 W 2ND ST	DAVENPORT IA 52802
K0019-45	1818 ROCKINGHAM RD	ESTHILL-HENDERSON SILENTOR	2034 W 5TH ST	DAVENPORT IA 52802
R3242-01		FAIRMOUNT CEMETERY ASSN		
R3258-01	3902 ROCKINGHAM RD	FAIRMOUNT CEMETERY ASSN	3902 ROCKINGHAM RD	DAVENPORT IA 52802
K0019-37	1829 DIXWELL ST	FAMILY TRUST THOMANN	4725 W LOCUST ST	DAVENPORT IA 52804
K0012-23	1617 W 2ND ST	FARLEY MARY E	5 VALLEY RIDGE DR	BLUE GRASS IA 52726
R0404-12	959 S CONCORD ST	FIDEL DIAZ GUERRERO	959 S CONCORD ST	DAVENPORT IA 52802-2706
R0403-07	3307 ROCKINGHAM RD	FIG TREE HOLDINGS LLC	2208 E 52ND ST STE C & D	DAVENPORT IA 52807
J0064-39	3644 ROCKINGHAM RD	FINANCIAL GROUP FIRST		
K0012-13	1602 W 2ND ST	FINANCIAL GROUP FIRST	1987 SPRUCE HILLS DR	BETTENDORF IA 52722
K0012-27	1633 W 2ND ST	FINANCIAL GROUP FIRST		
J0043-30	2542 BOIES AV	FIRST FINANCIAL GROUP LC		
J0052-18	3106 MARION ST	FIRST FINANCIAL GROUP LC		
J0053-03	3002 ROCKINGHAM RD	FIRST FINANCIAL GROUP LC		
J0063-06	822 INDIAN RD	FIRST FINANCIAL GROUP LC		
K0019-34	1821 DIXWELL ST	FIRST FINANCIAL GROUP LC		
K0032-28		FIRST FINANCIAL GROUP LC		
K0032-33	2124 ROCKINGHAM RD	FIRST FINANCIAL GROUP LC		
R0401-12	3639 ROCKINGHAM RD	FOGLE BETTY L	3639 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-34	2820 ROCKINGHAM RD	FRACKIE'S HOLDINGS LLC	406 W 2ND ST	DAVENPORT IA 52801
J0043-09	2605 BOIES AV	FRANCISCAN SISTERS OF CHRIST	2605 BOIES AV	DAVENPORT IA 52802
J0043-11	2609 BOIES AV	FRANCISCAN SISTERS OF CHRIST T		
J0043-28	2550 BOIES AV	FRANCISCAN SISTERS OF CHRIST T		
R0507-22	3856 JOHNSON AV	FRANK ALLEN SCHUMACHER	3856 JOHNSON AV	DAVENPORT IA 52802
J0061-09	3154 ROCKINGHAM RD	FRANKIE LEE BALLARD	3154 ROCKINGHAM RD	DAVENPORT IA 52802
J0042-07	2538 ROCKINGHAM RD	FUTURE CAPITAL LLC		
J0053-02	3006 ROCKINGHAM RD	FUTURE CAPITAL LLC	5001 TREMONT AV	DAVENPORT IA 52807
J0040-31	428 S LINCOLN AV	GABRIEL RAMIREZ	428 S LINCOLN AV	DAVENPORT IA 52802
R0404-33	1009 S ELSIE AV	GARRISON ROBERT W	2123 W 38TH ST	DAVENPORT IA 52806
J0039-02	2516 BOIES AV	GARY MATHIAS	2516 BOIES AVE	DAVENPORT IA 52802
R0402-26	926 S OHIO AV	GARY YORK	926 S OHIO AVE	DAVENPORT IA 52802
J0053-31	810 S ROLFF ST	GARY L DOHRN	810 S ROLFF ST	DAVENPORT IA 52802
J0060-04	3019 ROCKINGHAM RD	GEIFMAN FOOD STORES INC	5025 UTICA RIDGE RD STE 105	DAVENPORT IA 52807
J0039-17	BOIES AVE	GENVENTURES INC		
J0040-04	ROCKINGHAM RD	GENVENTURES INC		
J0040-05	ROCKINGHAM RD	GENVENTURES INC	1227 E RUSHOLME ST	DAVENPORT IA 52803
J0040-21	2371 BOIES AV	GENVENTURES INC		
J0040-22	2371 BOIES AV	GENVENTURES INC		
J0042-27		GENVENTURES INC		
J0040-26	2334 BOIES AV	GEORGE H FIELDS	2334 BOIES AV	DAVENPORT IA 52802
J0043-16	2701 BOIES AV	GERALD E LANG	2701 BOIES AV	DAVENPORT IA 52802
J0041-07A		GI PROPERTY COMPANY	2117 STATE ST	BETTENDORF IA 52722-5172
J0042-03A	2603 ROCKINGHAM RD	GIMM LEO C	2603 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-28	2326 BOIES AV	GIVINE M BINNS	2326 BOIES AV	DAVENPORT IA 52802
K0032-09	428 S HANCOCK AV	GLENDA L BELL	428 S HANCOCK AV	DAVENPORT IA 52802
R0404-38	3134 JOHNSON AV	GOACHER BRUCE A	3134 JOHNSON AV	DAVENPORT IA 52802
R0403-12	925 S OHIO AV	GORDON W MCLELAND	2826 GAINES ST	DAVENPORT IA 52804
K0033-03	2217 ROCKINGHAM RD	GORSLINE MICHAEL L	5119 UTICA RIDGE RD	DAVENPORT IA 52807
R0402-04	3419 ROCKINGHAM RD	GREEN DENNIS H	3419 ROCKINGHAM RD	DAVENPORT IA 52802
R0402-02A	3409 ROCKINGHAM RD	GREGG E MOYERS	3409 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-26	728 S CLARK ST	GREGG T QUERIN	315 S FAIRMOUNT ST	DAVENPORT IA 52802-8800
R0404-26	1024 S CONCORD ST	HABU HOLDINGS LLC	2208 E 52ND ST B&D	DAVENPORT IA 52807
R3257-04	3810 ROCKINGHAM RD	HAISLIP SR KEITH W	3810 ROCKINGHAM RD	DAVENPORT IA 52802
J0043-01	817 S FARRAGUT ST	HAPPY JOE'S PIZZA & ICE CREAM	2705 HAPPY JOE DR	BETTENDORF IA 52722
J0043-03	2620 ROCKINGHAM RD	HAPPY JOE'S PIZZA & ICE CREAM		
J0043-02	2626 ROCKINGHAM RD	HAPPY JOES PIZZA & ICE CREAM P		
R0506-05	3940 ROCKINGHAM RD	HARRINGTON RAQUEL B	1323 W HIGH ST	DAVENPORT IA 52804



### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
J0042-05	2550 ROCKINGHAM RD	HARRINGTON RAQUEL	1609 CEDAR ST	DAVENPORT IA 52804
R0508-26	3830 JOHNSON AV	HARRIS ARCHIE D	216 E DOVER CT	DAVENPORT IA 52803
R3257-11	3704 BOIES AV	HARRY L PHILLIPS	3704 BOIES AV	DAVENPORT IA 52802
J0040-14	502 S LINCOLN AVE	HARTMAN STEVEN G	PO BOX 32	ANDOVER IL 61233
R0506-16	1031 S PIONEER ST	HEATHER OETZEL	1031 S PIONEER ST	DAVENPORT IA 52802-2408
J0043-08	816 S BIRCHWOOD AV	HEATHER'S TRUST FOR 816 S BIF	100 E KIMBERLY RD STE 800	DAVENPORT IA 52806
J0062-04	821 S OHIO AV	HEBELER JR DAVID W	821 S OHIO AV	DAVENPORT IA 52802
J0043-04	2614 ROCKINGHAM RD	HEIDI MARI HOLT	3170 MARION ST	DAVENPORT IA 52802
K0019-31		HEIN JILL A	1826 DIXWELL ST	DAVENPORT IA 52802
J0053-36	2808 ROCKINGHAM RD	HELEN CHRISTINE DAUFELDT	2808 ROCKINGHAM RD	DAVENPORT IA 52802
K0019-32	1822 DIXWELL ST	HILARIO GONZALEZ	1822 DIXWELL ST	DAVENPORT IA 52802
K0019-42	1834 ROCKINGHAM RD	HIRSTEIN GULASY PROPERTIES LLC		
K0032-25	427 S HANCOCK AV	HIRSTEIN GULASY PROPERTIES L	2809 E 44TH ST	DAVENPORT IA 52807
K0032-32	2128 ROCKINGHAM RD	HIRSTEIN GULASY PROPERTIES LLC		
K0012-39	1650 ROCKINGHAM RD	HOLECEK JOSEPH E	1650 ROCKINGHAM RD	DAVENPORT IA 52802
R0403-05	3301 ROCKINGHAM RD	HOLLY J STOWE	3301 ROCKINGHAM RD	DAVENPORT IA 52802
R0512-02H	4319 ROCKINGHAM RD	HOLMES DWIGHT D	4319 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-35	2814 ROCKINGHAM RD	HOLT JAMES P		
J0054-11	2702 ROCKINGHAM RD	HOLT JAMES P JR	PO BOX 5267	DAVENPORT IA 52808
J0041-08	2343 ROCKINGHAM RD	HOWARD STEEL COMPANY	2343 ROCKINGHAM RD	DAVENPORT IA 52802
K0019-35		HOWELL STREET PROPERTIES LL	935 WILKES AVE	DAVENPORT IA 52804
K0019-43	1826 ROCKINGHAM RD	HOWELL STREET PROPERTIES LLC		
R0402-06	3501 ROCKINGHAM RD	HUBERT R MAXWELL	326 S ELMWOOD AVE	DAVENPORT IA 52802
J0061-03A		HY-VEE FOOD STORES INC	5820 WESTOWN PARKWAY	WEST DES MOINES IA 50266
K0033-07		ICROWN VENTURES REALTY LLC	573 ARROWHEAD DR	YORKVILLE IL 60560
R0506-06A		IK & C PROPERTIES LLC		
R0507-01		IK & C PROPERTIES LLC	12996 S UTAH AV	DAVENPORT IA 52804
R0507-02		IK & C PROPERTIES LLC		
K0033-06B		ILIVING OUR DREAMS LLC	14631 FERN AV	DAVENPORT IA 52804
R3257-01	3834 ROCKINGHAM RD	IMMANUEL EVANGELICAL LUTH	3834 ROCKINGHAM RD	DAVENPORT IA 52802
K0033-05	513 S LINCOLN AV	INCORPORATED THE WOODCHII	2625 E 56TH CT	DAVENPORT IA 52807
J0062-18	814 S ELSIE AV	INVESTMENTS LLC FITHIAN	218 DIXWELL CT	DAVENPORT IA 52802
J0040-06		IOLDEROG TIRE SERVICE INC	2316 ROCKINGHAM RD	DAVENPORT IA 52802
K0031-02	1945 DIXWELL ST	IONA L PORTER	1945 DIXWELL ST	DAVENPORT IA 52802
20503-59A	4412 RICKER HILL RD	IOWA-AMERICAN WATER CO.	PO BOX 5086	MOUNT LAUREL NJ 08054
J0043-27B	2618 BOIES AV	IST ALPHONSUS CHURCH	2618 BOIES AV	DAVENPORT IA 52802
K0032-29		ISTYVAERT RENTAL PROPERTIES	4315 SPRING ST	DAVENPORT IA 52807
J0043-06		ITLC PROPERTIES	1001 MANSUR AVE	CARBON CLIFF IL 61239
R0401-21	3616 JOHNSON AV	IVAN JR ARONSON	12779 86TH AVE	BLUE GRASS IA 52726
K0032-05	507 S LINCOLN AV	IV-P INVESTMENTS LLC	4440 CHEYENNE AVE	DAVENPORT IA 52806
R3257-08		IWHITSON TERRY	21445 SCOTT PARK RD UNIT 21	DAVENPORT IA 52807
J0042-14	2501 BOIES AV	J AUGUSTIN LOPEZ	1641 W 34TH ST	DAVENPORT IA 52806
R0508-36	3705 ROCKINGHAM RD	J.W.'S FIRST AND LAST LAP INC	11609 130TH ST	DAVENPORT IA 52804
R0508-37		J.W.'S FIRST AND LAST LAP INC		
R0508-38	3801 ROCKINGHAM RD	J.W.'S FIRST AND LAST LAP INC		
J0064-31		JACEN P MCCOLLOM	3627 BOIES AV	DAVENPORT IA 52802
J0064-32	3627 BOIES AVE	JACEN P MCCOLLOM		
R0401-14	3646 JOHNSON AV	JACEN P MCCOLLOM	3646 JOHNSON AV	DAVENPORT IA 52802
R0402-27	932 S OHIO AV	JACK ANTLE	PO BOX 5308	DAVENPORT IA 52808
K0012-20	1607 W 2ND ST	JACK AYERS	2143 W 5TH ST	DAVENPORT IA 52802
J0064-24	3530 ROCKINGHAM RD	JACOB BYERS	3530 ROCKINGHAM RD	DAVENPORT IA 52802-2514
20503-41	4504 ROCKINGHAM RD	JAMES DIXON	4504 ROCKINGHAM RD	DAVENPORT IA 52802-2345
20503-42A		JAMES DIXON		
R0508-34	3702 JOHNSON AV	JAMES A WALKER	326 PARKVIEW DR	WALCOTT IA 52773
J0064-13	3606 BOIES AV	JAMES C BOWLING	3606 BOISE AV	DAVENPORT IA 52802
J0060-01	2935 ROCKINGHAM RD	JAMES E TULLY REVOCABLE TRU	3000 BARCELONA TR	BETTENDORF IA 52722
J0061-28	3126 MARION ST	JAMES JOHN DAILY	3126 MARION ST	DAVENPORT IA 52802
R0402-01	3405 ROCKINGHAM RD	JAMES L COLLINS	3405 ROCKINGHAM RD	DAVENPORT IA 52802
R0403-10	3321 ROCKINGHAM RD	JAMES L DEEDS	3321 ROCKINGHAM RD	DAVENPORT IA 52802
J0043-29	2546 BOIES AV	JAMES P SPITZER	2546 BOIES AV	DAVENPORT IA 52802-2114
K0031-12	2039 DIXWELL ST	JAMI L WILKERSON	3625 MISSISSIPPI AV	DAVENPORT IA 52807

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
J0063-20	814 S OHIO AV	JANIT HARPER WAAGE	814 S OHIO AV	DAVENPORT IA 52802
K0031-33	328 S PINE ST	JASON MENDOZA	328 S PINE ST	DAVENPORT IA 52802-1760
J0064-25	3528 ROCKINGHAM RD	JASON L PARRIS	3528 ROCKINGHAM RD	DAVENPORT IA 52802
J0054-19	2715 ROCKINGHAM RD	JASON T PHELPS	2715 ROCKINGHAM RD	DAVENPORT IA 52802
R0401-01	3513 ROCKINGHAM RD	JAVIER D RAMOS	3513 ROCKINGHAM RD	DAVENPORT IA 52802-2515
J0062-05	835 S OHIO AV	JAYME C ANTLE	835 S OHIO AVE	DAVENPORT IA 52802
J0042-22	2541 BOIES AV	JBB HD ONE LLC	7531 E 2ND ST	SCOTTSDALE AZ 85251-4503
R0402-07	3505 ROCKINGHAM RD	JBB HD TWO LLC		
R3257-13	3703 BOIES AV	JEAN L HANLEY	3703 BOIES AVE	DAVENPORT IA 52802
J0064-40	3640 ROCKINGHAM RD	JEFFERY A WALKER	3705 ROCKINGHAM RD	DAVENPORT IA 52802
R0404-13	963 S CONCORD ST	JEFFERY D MORRIS	963 S CONCORD ST	DAVENPORT IA 52802
J0062-20	3207 BOIES AV	JEFFREY SCHUTTE	3207 BOIES AVE	DAVENPORT IA 52802
J0042-09	2526 ROCKINGHAM RD	JEFFREY R PAAVO	416 W 61ST ST	DAVENPORT IA 52806
20503-05	4410 RICKER HILL RD	JEFFREY R SUDBECK	4410 RICKER HILL RD	DAVENPORT IA 52802-2334
J0040-09	2316 ROCKINGHAM RD	JEGQC PROPERTIES LLC	951 S ROLFF ST	DAVENPORT IA 52802
J0040-24	2340 BOIES AV	JENNIFER BRODERICK	2340 BOIES AVE	DAVENPORT IA 52802
R0403-22	928 MINNIE AVE	JENNIFER L DORMIER	928 MINNIE AVE	DAVENPORT IA 52802-2631
K0032-26	431 S HANCOCK AV	JENNIFER L SMITH	431 S HANCOCK AV	DAVENPORT IA 52802
K0031-05	2003 DIXWELL ST	JEREMY J HAEFT	2003 DIXWELL ST	DAVENPORT IA 52802
R0403-30	1023 S ELSIE AV	JERRY L WEIPERT	1023 S ELSIE	DAVENPORT IA 52802
K0019-28	1830 DIXWELL ST	JESSICA WATERMAN	1830 DIXWELL ST	DAVENPORT IA 52802
K0031-06	2005 DIXWELL ST	JESSICA DICKINSON	2005 DIXWELL ST	DAVENPORT IA 52802-1750
K0012-10	1616 W 2ND ST	JESUS PEREZ	1221 ESPLANADE AV	DAVENPORT IA 52803
K0019-30	1826 DIXWELL ST	JILL A JACOBS	1826 DIXWELL ST	DAVENPORT IA 52802
J0064-12	729 S FAIRMOUNT ST	JIMMIE J JOHNSON	729 S FAIRMOUNT ST	DAVENPORT IA 52802
J0042-12	2510 ROCKINGHAM RD	JOANN K VESOLE TRUST	2490 HEATHER GLEN AV	BETTENDORF IA 52722
J0042-13	2502 ROCKINGHAM RD	JOANN K VESOLE TRUST		
J0053-37	2802 ROCKINGHAM RD	JOANN K VESOLE TRUST		
J0054-18	2709 ROCKINGHAM RD	JOANN K VESOLE TRUST		
R0404-35	1017 S ELSIE AV	JOHN & LINDA SUE HENDLEY TR	1017 S ELSIE AVE	DAVENPORT IA 52804
J0053-14	805 S DITTMER ST	JOHN A POHLMANN	805 S DITTMER ST	DAVENPORT IA 52802
R0506-17	1037 S PIONEER ST	JOHN B MOLER	1037 PIONEER ST	DAVENPORT IA 52802
K0008-11	1351 W 3RD ST	JOHN G DELLEMAN TRUSTEE		
K0008-12	1353 W 3RD ST	JOHN G DELLEMAN TRUSTEE	2411 LORTON PL	DAVENPORT IA 52803
J0043-12	2613 BOIES AV	JOHN J CARRILLO	5505 TELEGRAPH RD	DAVENPORT IA 52804
J0063-07	818 INDIAN RD	JOHN JAMES SCOTT	818 INDIAN RD	DAVENPORT IA 52802-1934
J0064-30	3619 BOIES AV	JOHN M DUTTON	3619 BOIES AV	DAVENPORT IA 52802
J0042-15	2505 BOIES AV	JOHN R FARLEY	2505 BOIES AV	DAVENPORT IA 52802
20503-52	4702 BLUE GRASS RD	JOHN S RIPSlinger	4702 BLUE GRASS RD	DAVENPORT IA 52802-2305
K0014-15	1834 W 1ST ST	JOHNSON PATRICIA M	1834 W 1ST ST	DAVENPORT IA 52802
R0508-23	3846 JOHNSON AV	JON C BEADLE	3846 JOHNSON AV	DAVENPORT IA 52802
R0507-04B		JONATHAN D FROHNA		
R0507-04A	930 S STARK ST	JONATHAN D FROHNA		
R0507-05	1004 S STARK ST	JONATHAN D FROHNA	1004 S STARK ST	DAVENPORT IA 52802
J0061-02	932 S CONCORD ST	JONES JEFFREY S	932 S CONCORD ST	DAVENPORT IA 52802
K0031-11	2033 DIXWELL ST	JOSE A TELLEZ	2033 DIXWELL ST	DAVENPORT IA 52802
K0030-08	1912 ROCKINGHAM RD	JOSEPH E VANGORDER	619 ARKANSAS AV	DAVENPORT IA 52802
J0053-38	816 S ROLFF ST	JOSEPH G MCINTYRE	816 S ROLFF ST	DAVENPORT IA 52802
K0032-02	425 S LINCOLN AV	JOSEPH R STURGIS	425 S LINCOLN AV	DAVENPORT IA 52802
R0401-47	931 S NEVADA AV	JOSPEH A BENISCH	931 S NEVADA AV	DAVENPORT IA 52802
K0010-04	1462 ROCKINGHAM RD	JOYCE D STINOCHER	1462 ROCKINGHAM RD	DAVENPORT IA 52802-1601
K0010-06	1452 ROCKINGHAM RD	JOYCE D STINOCHER		
K0011-20	1502 ROCKINGHAM RD	JOYCE D STINOCHER		
K0011-22		JOYCE D STINOCHER		
K0011-24	222 WASHINGTON ST	JOYCE D STINOCHER		
K0032-27	435 S HANCOCK AV	JOYCE J GREENLEE	435 S HANCOCK AV	DAVENPORT IA 52802
J0042-19	2525 BOIES AV	JR RICHARD SCHUTTERS	2525 BOIES AV	DAVENPORT IA 52802
J0061-30	3030 ROCKINGHAM RD	JUDY L DUNCALF TRUST	13605 138TH ST W	TAYLOR RIDGE IL 61284
K0014-16	1830 W 1ST ST	JULIA SIRD	1830 W 1ST ST	DAVENPORT IA 52802
R3257-15	3713 BOIES AV	JULIET L NETTLES	3713 BOIES AVE	DAVENPORT IA 52802
R0402-12	929 S MICHIGAN AVE	JULINDA VENS	929 S MICHIGAN AVE	DAVENPORT IA 52802-2620

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
R0401-17	3632 JOHNSON AV	JUSTIN L MANN	3632 JOHNSON AVE	DAVENPORT IA 52802
J0041-03	2365 ROCKINGHAM RD	K & K FOOD & GAS INC.	16540 S HALSTED ST	HARVEY IL 60426
J0042-10	2522 ROCKINGHAM RD	KAREN JENSEN	2522 ROCKINGHAM RD	DAVENPORT IA 52802
K0020-06	102 N DIVISION ST	KAREN JENSEN		
K0007-09	1423 W 3RD ST	KAREN M FISCHLEIN	1423 W 3RD ST	DAVENPORT IA 52802
K0020-07	104 N DIVISION ST	KARJEN PROPERTIES LLC		
J0062-09		KARR DEREK K	3302 ROCKINGHAM RD	DAVENPORT IA 52802
R0505-06	4302 ROCKINGHAM RD	KASKE JAY	4302 ROCKINGHAM RD	DAVENPORT IA 52802
R0401-07	3615 ROCKINGHAM RD	KATHLEEN GATES	3615 ROCKINGHAM RD	DAVENPORT IA 52802-2517
J0054-27A	931 S ROLFF ST	KAY MCCOLLAM	931 S ROLFF ST	DAVENPORT IA 52802
J0061-23	3139 MARION ST	KELLI CARR	3139 MARION ST	DAVENPORT IA 52802
R0402-22	910 S MICHIGAN AV	KELLY JO STONEBURNER	910 S MICHIGAN AV	DAVENPORT IA 52802
R0401-33	3645 JOHNSON AV	KENNETH M TAYLOR	3645 JOHNSON AV	DAVENPORT IA 52802-2525
K0019-02	206 S HOWELL ST	KENT ROBERT A	5636 BUCKHORN LN	DAVENPORT IA 52802
K0019-40	1842 ROCKINGHAM RD	KENT ROBERT A		
J0062-08	3308 ROCKINGHAM RD	KEVIN BARNIER	3308 ROCKINGHAM RD	DAVENPORT IA 52802
J0061-10	3146 ROCKINGHAM RD	KEVIN W ELLIS	3146 ROCKINGHAM RD	DAVENPORT IA 52802
R0511-01	1041 S PIONEER ST	KIEL M HEIKE	1041 S PIONEER ST	DAVENPORT IA 52802
R0404-32	1005 S ELSIE AV	KIMBERLY A BORDER	1005 S ELSIE AVE	DAVENPORT IA 52802
R0507-25	3872 JOHNSON AV	KIMBERLY S ROLEWSKI	3872 JOHNSON AV	DAVENPORT IA 52802-2528
K0012-17	111 STURDEVANT ST	KLEMME PERFORMANCE INC	1550 ROCKINGHAM RD	DAVENPORT IA 52802
K0012-51	1550 ROCKINGHAM RD	KLEMME PERFORMANCE INC		
J0061-16	832 S CONCORD ST	KLINE GROUP LLC	4023 LILLIE AVE #301	DAVENPORT IA 52806
R0508-28	3820 JOHNSON AV	KOCK LARRY W	1654 VAIL AV	MUSCATINE IA 52761
K0008-06A		KRAFT FOODS GLOBAL INC	801 WAUKEGAN RD	GLENVIEW IL 60025
K0010-09	1438 ROCKINGHAM RD	KRAFT FOODS GLOBAL INC		
L0001-36B		KRAFT FOODS GLOBAL INC		
K0007-14	1401 W 3RD ST	KRAFT FOODS GROUP INC		
K0009-02	1334 W 2ND ST	KRAFT FOODS INC		
K0009-05		KRAFT FOODS INC		
K0010-11	1432 ROCKINGHAM RD	KRAFT FOODS INC		
R0505-01A	4224 BLUE GRASS RD	L U L A C #10 INC	PO BOX 4116	DAVENPORT IA 52808
R3255-01B	3854 ROCKINGHAM RD	LARRY D PHILLIPS	3854 ROCKINGHAM RD	DAVENPORT IA 52802
J0054-07B	2724 ROCKINGHAM RD	LARRY L MAYES	9308 126TH ST W	ANDALUSIA IL 61232
R0403-03C	3215 ROCKINGHAM RD	LARRY L SHOWENS	3215 ROCKINGHAM RD	DAVENPORT IA 52802
K0022-02	1531 W RIVER DR	LASSE THOMAS V	8714 N TRESCHER RD	MILTON WI 53563
J0054-01	2727 BOIES AV	LAVERN A HILL	2727 BOIES AV	DAVENPORT IA 52802
R0401-28A	3627 JOHNSON AV	LAVERNE E BURTON	3627 JOHNSON AV	DAVENPORT IA 52802
J0052-17	821 S CONCORD ST	LEE CHRISTENSON	821 S CONCORD ST	DAVENPORT IA 52802-2018
J0043-07	820 S BIRCHWOOD AV	LESTER H DUMER	810 MAIN ST	WARSAW IL 62379-1352
K0011-06	1520 W 2ND ST	LILLIAN F MONROE	1520 W 2ND ST	DAVENPORT IA 52802
R0506-15	1027 S PIONEER ST	LINDA A ARTHUR	1027 S PIONEER ST	DAVENPORT IA 52802
R3257-21	3821 BOIES AV	LINDA J JONES	3821 BOIES AV	DAVENPORT IA 52802
J0053-15	809 S DITTMER ST	LINDA K SHROYER	809 S DITTMER ST	DAVENPORT IA 52802
J0064-43	3618 ROCKINGHAM RD	LINDA S DAHL	3618 ROCKINGHAM RD	DAVENPORT IA 52802
R3257-22	3815 BOIES AV	LISHA L BURCH	3815 BOIES AVE	DAVENPORT IA 52802
R0402-20	930 S MICHIGAN AV	LIVING TRUST SPEAK	930 S MICHIGAN AV	DAVENPORT IA 52802
K0031-01	1941 DIXWELL ST	LLC BLAKOAI	PO BOX 980	EAST LANSING MI 48826
K0031-32	2112 ROCKINGHAM RD	LLC LADD	5410 RIVERVIEW CIR DR	THOMSON IL 61285
K0032-34	2118 ROCKINGHAM RD	LLC LADD		
J0062-23	3221 BOIES AV	LLC MKRP	P O BOX 857	MILAN IL 61264-0857
K0019-27	1834 DIXWELL ST	LLC BLUE SUN REAL ESTATE	4970 HOMESTEAD PL #20	THORNTON CO 80229
J0063-11	3515 BOIES AV	LLC JCC REAL ESTATE	1705 W 4TH ST	DAVENPORT IA 52802
K0031-10	2027 DIXWELL ST	LLC NATIONSTAR REO SUB 1B	8950 CYPRESS WATERS BD	COPPELL TX 75019
J0062-15	834 S ELSIE AV	LLC RAMOS PROPERTIES	2313 N LINWOOD AV	DAVENPORT IA 52804
K0032-31	2132 ROCKINGHAM RD	LLC SID INVESTMENTS	1315 W LAWRENCE AV	SPRINGFIELD IL 62704
J0062-01	807 S OHIO AV	LOLA M RICE	807 S OHIO AV	DAVENPORT IA 52802
K0019-33	1816 DIXWELL ST	LOPEZ AUGUSTINE J	2501 BOISE AVE	DAVENPORT IA 52802
R0401-30	3631 JOHNSON AV	LOREN WAYNE CLAPP	3631 JOHNSON AV	DAVENPORT IA 52802
R0402-03A	3415 ROCKINGHAM RD	LORETTA BANKSON	3415 ROCKINGHAM RD	DAVENPORT IA 52802
J0042-23	2545 BOIES AV	LORI K OSBORN	2545 BOIES AV	DAVENPORT IA 52802



### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
R0402-25	920 S OHIO AV	LOU ELLEN BUTLER	920 S OHIO AV	DAVENPORT IA 52802
J0040-01A	2333 ROCKINGHAM RD	LOYAL ORDER OF THE MOOSE L	2333 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-20	2335 BOIES AV	LSFP MASTER PARTICIPATION TI	13801 WIRELESS WAY	OKLAHOMA CITY OK 73134
K0033-02A	2201 ROCKINGHAM RD	LYKAM JAMES K	2906 W 35TH ST	DAVENPORT IA 52806
K0011-15	1540 ROCKINGHAM RD	LYNDA J NORMAN	1540 ROCKINGHAM RD	DAVENPORT IA 52802-1247
J0062-41	3173 MARION ST	LYNN E MADISON	3173 MARION ST	DAVENPORT IA 52802-2049
K0019-03	1921 DIXWELL ST	MALLOY RICKY ALLEN	1918 W 16TH ST	DAVENPORT IA 52804
K0011-08	1516 W 2ND ST	MARIA ROSARIO RUIZ	1629 13TH AV	MOLINE IL 61265
K0032-38	2119 DIXWELL ST	MARK A ERPS	412 W WEBSTER ST	WYOMING IA 52362
J0053-19	2918 ROCKINGHAM RD	MARK A FIALA	2502 10TH AVE SW	CEDAR RAPIDS IA 52404
J0064-36	3651 BOIES AV	MARK L RAY	3651 BOIES AV	DAVENPORT IA 52802
K0012-19	1605 W 2ND ST	MARTIN TORRES	1605 W 2ND ST	DAVENPORT IA 52802
J0043-19	2717 BOIES AV	MARTIN AGUILERA-PEREZ	2717 BOIES AV	DAVENPORT IA 52802
R0401-46	1003 S NEVADA AV	MARTIN L EBERHART	1003 S NEVADA AV	DAVENPORT IA 52802
J0064-41	3628 ROCKINGHAM RD	MARVIN O BIRD	3628 ROCKINGHAM RD	DAVENPORT IA 52802
K0020-04	1708 ROCKINGHAM RD	MARY ELLEN JENSEN	944 S CONCORD ST	DAVENPORT IA 52802
K0020-05	1702 ROCKINGHAM RD	MARY ELLEN JENSEN		
R0404-43	944 S CONCORD ST	MARY ELLEN JENSEN		
K0032-08	430 S HANCOCK AV	MARY JO CRIST	430 S HANCOCK AVE	DAVENPORT IA 52802
20503-55	4511 RICKER HILL RD	MARY K BUERKLIN	4511 RICKER HILL RD	DAVENPORT IA 52802
20503-61	4516 RICKER HILL RD	MARY MARGARET FELLOWS	4516 RICKER HILL RD	DAVENPORT IA 52802
J0061-08	3162 ROCKINGHAM RD	MATTHEW HERNANDEZ	3162 ROCKINGHAM RD	DAVENPORT IA 52802-2071
J0052-15	809 S CONCORD ST	MATTHEW WHITE	809 S CONCORD ST	DAVENPORT IA 52802
K0031-03	1947 DIXWELL ST	MATTHEW FLEISHER	38 WHITE BIRCH CR	NIANTIC CT 06357
J0064-21	729 S NEVADA AV	MATTHEW J HERMISTON	729 S NEVADA AV	DAVENPORT IA 52802
K0032-39	2127 DIXWELL ST	MATTHEW J TURNER	2127 DIXWELL ST	DAVENPORT IA 52802
J0061-06	3143 ROCKINGHAM RD	MC JOHNSON CORP	3143 ROCKINGHAM RD	DAVENPORT IA 52802
K0010-02	225 WASHINGTON ST	MCCALIN BRIAN J	223 WASHINGTON ST	DAVENPORT IA 52802-1251
K0012-21		MCCLUSKEY MYRNA	2721 REDWOOD AV	DAVENPORT IA 52802
R0401-09	3623 ROCKINGHAM RD	MCFADDEN JAY R	3623 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-16	2319 BOIES AV	MCFARLAND JASON A SR	2319 BOIES AV	DAVENPORT IA 52802
K0031-04	2001 DIXWELL ST	MEDINA PROPERTY MANAGEMI	4013 THOMAS POINT DT	DAVENPORT IA 52807
J0040-15	2307 BOIES AV	MERRIHEW ROLF	PO BOX 2151	DAVENPORT IA 52809
J0054-20	2721 ROCKINGHAM RD	MERVIN R IOSSI REVOCABLE TRI	3010 GROVE ST	DAVENPORT IA 52804
J0054-21	2727 ROCKINGHAM RD	MERVIN R IOSSI REVOCABLE TRUST		
J0063-05	826 INDIAN RD	MICHAEL EISENBACHER	826 INDIAN RD	DAVENPORT IA 52802
K0012-29A	1639 W 2ND ST	MICHAEL D BLOCKER	1639 W 2ND ST	DAVENPORT IA 52802
J0063-23	3417 BOIES AV	MICHAEL D MARIET	3417 BOIES AV	DAVENPORT IA 52802
R0512-02	1034 S PIONEER ST	MICHAEL F RYAN	1034 S PIONEER ST	DAVENPORT IA 52802
J0054-09	2714 ROCKINGHAM RD	MICHAEL J GULDNER	2714 ROCKINGHAM RD	DAVENPORT IA 52802
J0039-05	2502 BOIES AV	MICHAEL J HINRICHS	2502 BOIES AVE	DAVENPORT IA 52802
R0507-28	3865 ROCKINGHAM RD	MICHAEL L SERSIG	3865 ROCKINGHAM RD	DAVENPORT IA 52802
J0064-27	3605 BOIES AV	MICHAEL R SCHULZ	3605 BOIES AV	DAVENPORT IA 52802
J0063-17	3402 ROCKINGHAM RD	MICHAEL S HUTCHISON	3402 ROCKINGHAM RD	DAVENPORT IA 52802
R0402-24	914 S OHIO AV	MICHAEL W BROWN TRUST	1901 W 38TH ST	DAVENPORT IA 52806
J0064-25A	3524 ROCKINGHAM RD	MICHELLE L GUILLE	3524 ROCKINGHAM RD	DAVENPORT IA 52802
R0506-12	4025 ROCKINGHAM RD	MICHELLE S CARD		
R0506-13	4025 ROCKINGHAM RD	MICHELLE S CARD	4025 ROCKINGHAM RD	DAVENPORT IA 52802
L0016-27U		MID AMERICAN ENERGY		
L0016-28U		MID AMERICAN ENERGY		
R0405-07U	920 S DITTMER ST	MID AMERICAN ENERGY	PO BOX 657	DES MOINES IA 50306-0657
K0011-27	1545 ROCKINGHAM RD	MID-AMERICAN GLASS INC	PO BOX 3428	DAVENPORT IA 52722
K0011-28	147 S STURDEVANT ST	MID-AMERICAN GLASS INC	147 S STURDEVANT ST	DAVENPORT IA 52802
K0031-35	320 S PINE ST	MIKE AYERS	320 S PINE ST	DAVENPORT IA 52802
R0403-29	1014 S ELSIE AV	MILDRED C RICHARDSON	1014 S ELSIE AV	DAVENPORT IA 52802
K0019-39	205 S HOWELL ST	MILLER LESLIE R	P O BOX 645	BUFFALO IA 52728
K0030-09	1910 ROCKINGHAM RD	MILLER LESLIE R	PO BOX 645	BUFFALO IA 52728
K0030-11A	1902 ROCKINGHAM RD	MILLER LESLIE R	P O BOX 645	BUFFALO IA 52728
K0030-12	220 S HOWELL ST	MILLER LESLIE R	PO BOX 645	BUFFALO IA 52728
R0508-31		MMTL INVESTMENTS LLC		
R0508-32	3712 JOHNSON AV	MMTL INVESTMENTS LLC	3495 NORTHDAL BD STE 200	COON RAPIDS MN 55448

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
J0053-25	2917 BOIES AV	MONTY MCCLEARY	2917 BOIES AV	DAVENPORT IA 52802
J0053-42A	2923 ROCKINGHAM RD	MU-GAMMA PROPERTIES LLC	2423 E LOMBARD ST	DAVENPORT IA 52803
K0022-05	1701 ROCKINGHAM RD	MURRAY ENTERPRISES LTD	1011 FLORAL LN	DAVENPORT IA 52802
R0405-06	915 FLORAL LN	MURRAY ROBERT F	915 FLORAL LN	COAL VALLEY IL 61240
K0012-22	1613 W 2ND ST	MYRNA ANN MCCLUSKY	411 BRADVIEW CT	MONTICELLO IA 52310
J0053-07	802 S DITTMER ST	NANCY CHEEK	802 S DITTMER ST	DAVENPORT IA 52802
R0401-24	1006 S NEVADA AV	NANCY A RICE	1006 S NEVADA AV	DAVENPORT IA 52802
J0062-12	3214 ROCKINGHAM RD	NANCY K MATHEWS REV TRUST	1761 STONE GATE CR	DAVENPORT IA 52807
R0508-33	3710 JOHNSON AV	NATALIE JEAN WALKER	3702 JOHNSON AV	DAVENPORT IA 52802
K0010-03	219 WASHINGTON ST	NGUYEN INC	6201 N MARQUETTE ST	DAVENPORT IA 52806-2068
K0019-20B	1827 W 1ST ST	NGUYEN ROBERT	4018 W 13TH ST	DAVENPORT IA 52804
K0020-01	1725 ROCKINGHAM RD	NICHOLS ALUMINUM INC	1725 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-17	2926 ROCKINGHAM RD	NICOLE D WINGATE	2926 ROCKINGHAM RD	DAVENPORT IA 52802-2062
J0061-20	3125 MARION ST	NORTHWEST BANK & TRUST CO	100 E KIMBERLY RD	DAVENPORT IA 52806
K0005-35	212 STURDEVANT ST	OAK HELM PARTNERS		
K0011-25	226 WASHINGTON ST	OAK HELM PARTNERS	2920 HARRISON ST	DAVENPORT IA 52803
R0401-49	919 S NEVADA AV	OAK HELM PARTNERS		
K0019-46	1816 ROCKINGHAM RD	OHP 1 LC	1814 ROCKINGHAM RD	DAVENPORT IA 52802
R0402-05	3433 ROCKINGHAM RD	OLDEROG ROBERT J	2214 MEADOW BROOK RD	DAVENPORT IA 52807
K0007-08A		OSCAR MAYER FOODS CORP		
K0007-13A		OSCAR MAYER FOODS CORP		
K0008-04A		OSCAR MAYER FOODS CORP	801 WAUKEGAN RD	GLENVIEW IL 60025
K0008-10A	W 3RD ST	OSCAR MAYER FOODS CORP		
K0009-01	1356 W 2ND ST	OSCAR MAYER FOODS CORP		
K0009-06	1337 W 2ND ST	OSCAR MAYER FOODS CORP		
L0016-04A		OSCAR MAYER FOODS CORP		
R0401-15	3642 JOHNSON AV	PAMELA S FOGLE	3642 JOHNSON AVE	DAVENPORT IA 52802
R0507-26	3878 JOHNSON AVE	PAMELA S STOWE TRUST	1819 OAK ST	BETTENDORF IA 52722
J0061-25	3146 MARION ST	PATRICK K MIROCHA	3146 MARION ST	DAVENPORT IA 52802
20503-43	4412 ROCKINGHAM RD	PATRICK N HOLMES	4412 ROCKINGHAM RD	DAVENPORT IA 52802
R0506-14	1019 S PIONEER ST	PAUL YORK	1019 S PIONEER ST	DAVENPORT IA 52802
R0507-21	3850 JOHNSON AV	PAUL A BERGTHOLD	3850 JOHNSON AV	DAVENPORT IA 52802
J0042-11	2516 ROCKINGHAM RD	PAUL D SASS	2516 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-13	506 S LINCOLN AV	PAUL J SCHURLOCK	506 S LINCOLN AV	DAVENPORT IA 52802
R0403-08	3311 ROCKINGHAM RD	PAULETTE B LEONARD	3311 ROCKINGHAM RD	DAVENPORT IA 52802
R3258-02	3870 ROCKINGHAM RD	PAULEY DOUGLAS M	216 5TH ST	BUFFALO IA 52728
J0061-17		PAULSEN JAMES M		
J0061-18	3105 MARION ST	PAULSEN JAMES M	537 S DOWNEY ST	WALCOTT IA 52773
J0053-30	723 S CLARK ST	PHILLIP M DUAX	723 S CLARK ST	DAVENPORT IA 52802
K0020-02A	1730 ROCKINGHAM RD	PIGGOTT PROPERTIES LLC	2228 ELM ST	DAVENPORT IA 52803
R0507-30A	3855 ROCKINGHAM RD	PIGGOTT PROPERTIES LLC	2228 ELM ST	DAVENPORT IA 52803
J0042-02	2609 ROCKINGHAM RD	PRIESTER CONSTRUCTION CO	513 FILLMORE ST	DAVENPORT IA 52808-3587
J0054-30		PRIESTER CONSTRUCTION CO		
J0054-31		PRIESTER CONSTRUCTION CO		
J0039-01	2522 BOIES AV	PROPERTIES LLC JO	PO BOX 4301	DAVENPORT IA 52808
J0042-26	2528 BOIES AV	PROPERTIES LLC JO	PO BOX 4301	DAVENPORT IA 52808
R0403-24	916 MINNIE AV	PROPERTIES LLC THOMA-HAGEN	309 2ND ST	DURANT IA 52747-9710
K0012-31	145 N DIVISION ST	PROPERTY RENTALS LLC	1104 KIMBERLY RD SUITE 112	BETTENDORF IA 52722
K0032-06	434 S HANCOCK AV	QC HOMES LLC		
K0032-37	304 S PINE ST	QC HOMES LLC	2631 1/2 N MAIN ST	DAVENPORT IA 52803
J0062-24	3225 BOIES AV	QUAKENBUSH DAVID E II	3225 BOIES AV	DAVENPORT IA 52802
K0019-41	1836 ROCKINGHAM RD	QUILTY JENNIFER C	101 W HARVEST ST	ELDRIDGE IA 52748
R3257-24	806 S GAYMAN AV	QUINN VANESSA L	806 S GAYMAN AV	DAVENPORT IA 52802
J0063-18	824 S OHIO AV	R & D INVESTMENTS LLC	6252 LAKEHURST DR	DAVENPORT IA 52807
R0401-02	3523 ROCKINGHAM RD	R & D INVESTMNETS LLC		
K0031-21A	2016 ROCKINGHAM RD	RALSTON PURINA	1CHECKERBOARD SQUARE	ST LOUIS MO 63164
K0031-23G	433 S PINE ST	RALSTON PURINA COMPANY	1 CHECKERBOARD SQUARE	ST LOUIS MO 63164
J0063-10	3511 BOIES AVE	RANDAL P WEILAND	1419 WISCONSIN AV	DAVENPORT IA 52804
J0061-29	3120 MARION ST	RANDY AHMANN	2724 E 28TH CT	DAVENPORT IA 52803
R0403-23	922 MINNIE AV	RAUL A CUEVAS	922 MINNIE AVE	DAVENPORT IA 52802
K0014-17	1826 W 1ST ST	RAY CORNELISON	PO BOX 383	DAVENPORT IA 52805

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
R0404-28	1008 S CONCORD ST	RAY HOUSTON H	1104 KIMBERLY RD UNIT 112	BETTENDORF IA 52722
K0012-28	1635 W 2ND ST	RAYMOND & PATRICIA MILLER	1635 W 2ND ST	DAVENPORT IA 52802-1137
J0044-27	2804 BOIES AV	REBITZER MICHAEL J	3223 FOREST RD	DAVENPORT IA 52807-2429
R0404-10	947 S CONCORD ST	REED DANIEL L	955 S CONCORD ST	DAVENPORT IA 52802
J0040-12	510 S LINCOLN AV	REI LLC MINASIAN	124 3RD AV W	MILAN IL 61264-2440
J0061-31	3026 ROCKINGHAM RD	REI LLC MINASIAN	210 FLOWERFIELD LN	LAHABRA HEIGHTS CA 90631
20503-42	4424 ROCKINGHAM RD	REX A SHINN	4424 ROCKINGHAM RD	DAVENPORT IA 52802
K0033-04	2255 ROCKINGHAM RD	RICH METALS CO		
K0033-09	510 SCHMIDT RD	RICH METALS CO	510 SCHMIDT RD	DAVENPORT IA 52802
R3257-02	3822 ROCKINGHAM RD	RICHARD KRONFELD	3822 ROCKINGHAM RD	DAVENPORT IA 52802
J0040-17	2321 BOIES AV	RICHARD B JANSEN	2321 BOIES AV	DAVENPORT IA 52802
K0007-02	1453 W 3RD ST	RICHARD E RODRIGUEZ	1453 W 3RD ST	DAVENPORT IA 52802
K0014-19	1816 W 1ST ST	RICHARD I VESOLE 401 K PROF	PO BOX 383	DAVENPORT IA 52805
K0014-18	1818 W 1ST ST	RICHARD I VESOLE 401K PROFIT	PO BOX 383	DAVENPORT IA 52805
R0401-11	3631 ROCKINGHAM RD	RICHARD P SIEVERDING	3631 ROCKINGHAM RD	DAVENPORT IA 52802
J0043-20	2723 BOIES AV	RICHARD W MORITZ	718 S ROLFF ST	DAVENPORT IA 52802
R0401-13	3643 ROCKINGHAM RD	RICHELL L NELSON REVOCABLE	12219 W CENTRAL PARK AVE	DAVENPORT IA 52804
R0508-30	3804 JOHNSON AV	RICHELL L NELSON REVOCABLE	12219 W CENTRAL PARK AV	DAVENPORT IA 52804
R3257-09	3716 BOIES AV	RICK J ARGUELLO	3716 BOIES AV	DAVENPORT IA 52802
J0062-06	3320 ROCKINGHAM RD	RICK J HAUGEN REVOC TRUST	3320 ROCKINGHAM RD	DAVENPORT IA 52802
J0064-26	804 S NEVADA AV	RILLO HOMES LLC	3828 N THORNWOOD AV	DAVENPORT IA 52806
J0063-14	3430 ROCKINGHAM RD	RIPPLE & FRENELL AUTO	2825 ROCKINGHAM RD	DAVENPORT IA 52802
R0507-27A	3869 ROCKINGHAM RD	RIPPLE & FRENELL AUTO SALES	3911 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-42C	2825 ROCKINGHAM RD	RIPPLE & FRENELL AUTO SALES I LLC		
K0032-36	310 S PINE ST	RITA M WHITNEY	310 S PINE ST	DAVENPORT IA 52802-1760
K0013-12	1703 W 2ND ST	RKR LLC	2733 E 53RD ST	DAVENPORT IA 52807
K0013-10A	1726 W 1ST ST	RKR ASSOCIATES		
J0059-02	930 S ROLFF ST	RMR INVESTMENTS INC	23801 FARMDALE RD	WASHINGTON IL 61571
R0403-02	3201 ROCKINGHAM RD	ROBERT LOUCK	3201 ROCKINGHAM RD	DAVENPORT IA 52802
20503-62	4424 RICKER HILL RD	ROBERT E TAPPENDORF	6605 W RIVER DR	DAVENPORT IA 52802-2256
J0043-05	2610 ROCKINGHAM RD	ROBERT P STEDMAN	2610 ROCKINGHAM RD	DAVENPORT IA 52802
R0401-26	3615 JOHNSON AV	ROBERT S SCHUERCH	3615 JOHNSON AV	DAVENPORT IA 52802
J0042-18	2521 BOIES AV	ROBERT W FIELDS	2521 BOIES AV	DAVENPORT IA 52802
J0063-19	820 S OHIO AV	ROCHELLE A LIKENESS	820 S OHIO ST	DAVENPORT IA 52803
R0506-02	ROCKINGHAM ROAD	ROCKINGHAM DAIRY FREEZ LLC	6200 115TH ST	BLUE GRASS IA 52726
R0506-03	4004 ROCKINGHAM RD	ROCKINGHAM DAIRY FREEZ LLC		
R0506-04	3950 ROCKINGHAM RD	ROCKINGHAM DAIRY FREEZ LLC		
J0042-01	2525 ROCKINGHAM RD	ROCKINGHAM L L C	384 S 2ND AV BLDG 938	SAN BERNARDINO CA 92408
20503-56	4525 RICKER HILL RD	ROGER D ANTLE	4525 RICKER HILL RD	DAVENPORT IA 52802
K0007-01	229 WASHINGTON ST	ROGER K HEIM TRUST	4444 N KNOXVILLE #302	PEORIA IL 61614
R0404-39	3124 JOHNSON AV	RONALD E WILLIAMS	621 S BIRCHWOOD AVE	DAVENPORT IA 52802-2106
R3257-10	3710 BOIES AV	RONALD G SEXTON	3710 BOIES AV	DAVENPORT IA 52802
R0403-28	1020 S ELSIE AV	RONALD P VERNON	1005 MINNIE AV	DAVENPORT IA 52802
R0401-16	3638 JOHNSON AV	RONALD V JASPER	5 KNOLL CREST CT	E PEORIA IL 61611
R0401-31	3637 JOHNSON AV	RONALD V JASPER	PO BOX 3631	DAVENPORT IA 52808-3631
J0053-16	815 S DITTMER ST	ROSAS JR JOSE A	815 S DITTMER ST	DAVENPORT IA 52802
J0039-04	2510 BOIES AV	RUTH F MCGINNIS	2510 BOIES AV	DAVENPORT IA 52804
K0011-31	1601 ROCKINGHAM RD	RYAN BEN E	2301 SCOTT ST	DAVENPORT IA 52803
K0011-05	1526 W 2ND ST	RYAN JOHNSON PROPERTIES LL	2401 BRADY ST	DAVENPORT IA 52803
J0040-23	2348 BOIES AVE	RYAN JOHNSON PROPERTIES LL	2401 BRADY ST	DAVENPORT IA 52803
K0012-15	117 STURDEVANT ST	S & J REALTY	115 N STURDEVANT ST	DAVENPORT IA 52802-1142
J0061-13	3112 ROCKINGHAM RD	SAINI II LLC		
J0061-15	838 S CONCORD ST	SAINI II LLC	3108 W CENTRAL PARK AV	DAVENPORT IA 52804
J0061-19	3113 MARION ST	SAINI II LLC		
K0032-03	501 S LINCOLN AV	SALVADOR GARCIA	501 S LINCOLN AV	DAVENPORT IA 52802
R0505-03C	4109 ROCKINGHAM RD	SAMPSON EASTERN IOWA FENC	4109 ROCKINGHAM RD	DAVENPORT IA 52802
R0505-04A	4141 ROCKINGHAM RD	SAMPSON FENCE & DECK CO INC		
R0403-25	917 MINNIE AV	SANDRA K RAUSCH	917 MINNIE AV	DAVENPORT IA 52802
J0053-18	2920 ROCKINGHAM RD	SARA J DAY	2920 ROCKINGHAM RD	DAVENPORT IA 52802
J0053-33	2815 BOIES AV	SARAH BERG	2815 BOIES AV	DAVENPORT IA 52802-2121
J0054-26A	S ROLFF ST	SASS PAUL D	921 S ROLFF ST	DAVENPORT IA 52802



### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
K0011-16	1538 ROCKINGHAM RD	SCHAFER EARL D	1536 ROCKINGHAM RD	DAVENPORT IA 52802
J0063-01	3520 ROCKINGHAM RD	SCOTT A NICELY	3520 ROCKINGHAM RD	DAVENPORT IA 52802
R0401-03	3527 ROCKINGHAM RD	SCOTT L SPITZMILLER	3527 ROCKINGHAM RD	DAVENPORT IA 52802
J0063-04	3502 ROCKINGHAM RD	SCOTT TODD		
K0019-04	1923 DIXWELL ST	SCOTT TODD	6137 W KIMBERLY RD	DAVENPORT IA 52806
R0401-05A	3601 ROCKINGHAM RD	SCOTT TODD W		
J0062-39	3165 MARION ST	SCOTT W DAILY	3165 MARION ST	DAVENPORT IA 52802
K0011-03A	1534 W 2ND ST	SEAN M COONS	1534 W 2ND ST	DAVENPORT IA 52802-1243
J0063-12	3519 BOIES AV	SERIES J FOURKIDS LLC	6411 WOODLAND CT	DAVENPORT IA 52807
R0402-13	933 S MICHIGAN AV	SHANDA L ROBB	933 S MICHIGAN AV	DAVENPORT IA 52802
K0006-37	238 WASHINGTON ST	SHANNON WATSON	238 WASHINGTON ST	DAVENPORT IA 52802
R0505-01	1030 S PIONEER ST	SHAREN K GRUBBS	1030 S PIONEER ST	DAVENPORT IA 52802-2407
J0062-46	3172 ROCKINGHAM RD	SHAWN STEBENS	3172 ROCKINGHAM RD	DAVENPORT IA 52802
R0506-08A	3929 ROCKINGHAM RD	SHERI L BLESSING	3929 ROCKINGHAM RD	DAVENPORT IA 52802
R0401-48	923 S NEVADA AV	SHERRIE L SCHMITT	PO BOX 4702	DAVENPORT IA 52808
J0042-20	2531 BOIES AV	SHERRY ZARUBA	3235 WOODLAND DR	LECLAIRE IA 52753
J0062-42	3177 MARION ST	SHERRY L KELLY	2343 W 11TH ST	DAVENPORT IA 52804
R0402-23	904 S OHIO AV	SHERRY L WIESE	904 S OHIO AV	DAVENPORT IA 52802
J0064-01	3646 BOIES AV	SHIRLEY J DAHL	3646 BOIES AV	DAVENPORT IA 52802
J0042-25	2534 BOIES AV	SHIRLEY M VENS LAND	2534 BOIES AV	DAVENPORT IA 52802
R0403-03B		SHOWENS LARRY L		
J0062-10	3302 ROCKINGHAM RD	SHOWENS SR LARRY L		
K0006-38	1503 W 3RD ST	SIERRA LEE LLC	1987 SPRUCE HILLS DR	BETTENDORF IA 52722
R0403-04A	3223 ROCKINGHAM RD	SJM PROPERTIES LLC	2122 WINDING HILL RD	DAVENPORT IA 52807
L0016-07C	1136 W 2ND ST	SMITH LARRY E		
L0016-10A	1128 W 2ND ST	SMITH LARRY E	744 W 48TH ST	DAVENPORT IA 52806
L0016-11	1124 W 2ND ST	SMITH LARRY E		
J0042-08	2532 ROCKINGHAM RD	SNOW DALEN F II	2532 ROCKINGHAM RD	DAVENPORT IA 52802-2814
R0401-27	3619 JOHNSON AV	STEVE CASTER	3619 JOHNSON AVE	DAVENPORT IA 52802
K0011-23	218 WASHINGTON ST	STINOCHER JOYCE	1600 4TH AV STE 400	ROCKISLAND IL 61201
R0508-29	3812 JOHNSON AV	STOLTENBERG BARBARA J	113 TIMBER CR	SAFETY HARBOR FL 34695
K0007-10	1419 W 3RD ST	STYVAERT CHARLES	2837 OAK ST	BETTENDORF IA 52722
R0511-02	1047 S PIONEER ST	SUE A THOMPSON	1047 PIONEER ST	DAVENPORT IA 52802
K0032-07	432 S HANCOCK AVE	SUN TRUST MORTGAGE INC	PO BOX 27767	RICHMOND VA 23261
K0019-29	1828 DIXWELL ST	SUSAN R WILLS	1828 DIXWELL ST	DAVENPORT IA 52802
J0052-16	817 S CONCORD ST	SUZY R MIZER	817 S CONCORD ST	DAVENPORT IA 52802
J0062-44	3176 ROCKINGHAM RD	TAMMY J ALDRICH	3176 ROCKINGHAM RD	DAVENPORT IA 52802
J0054-02	2729 BOIES AV	TAMMY L SPARBEL	5419 APPOMATTOX RD APT 10	DAVENPORT IA 52806
K0031-09	2015 DIXWELL ST	TAMMY LOOS	2015 DIXWELL ST	DAVENPORT IA 52802-1750
23251-OLA		TAPPENDORF ROBERT E	4410 RICKER HILL RD	DAVENPORT IA 52802
J0053-23	2901 BOIES AV	TERRANCE L ERBST	2901 BOIES AVE	DAVENPORT IA 52802
K0031-34	324 S PINE ST	TERRY D ROLFS	410 W 15TH AVE	COAL VALLEY IL 61240
J0061-26	3138 MARION ST	TERRY E GIBBS	3211 BOIES AV	DAVENPORT IA 52802
J0062-21	3211 BOIES AV	TERRY E GIBBS		
K0010-23	1400 ROCKINGHAM RD	THE FAMILY CREDIT UNION	1400 ROCKINGHAM RD	DAVENPORT IA 52802
J0064-33	804 S FAIRMOUNT ST	THERESA A PARRIS	804 S FAIRMOUNT ST	DAVENPORT IA 52802
J0043-13	2619 BOIES AVE	THOMAS C PAUSTIAN	2619 BOIES AVE	DAVENPORT IA 52802-2117
J0053-05	814 S DITTMER ST	THOMAS D TUTTLE	814 S DITTMER ST	DAVENPORT IA 52802
J0064-23	811 S NEVADA AV	THOMAS H PURDY	811 S NEVADA AV	DAVENPORT IA 52802
R0402-21	924 S MICHIGAN AV	THOMAS J HEIDGERKEN	924 S MICHIGAN AV	DAVENPORT IA 52802
K0012-11	1612 W 2ND ST	THOMAS L DUETT	1612 W 2ND ST	DAVENPORT IA 52802
J0052-13	805 S CONCORD ST	THOMAS W BEHRENSMEYER	1821 LITTLE DR	PRINCETON IA 52768
J0054-10	2708 ROCKINGHAM RD	TIGHE L HALLOWELL	2708 ROCKINGHAM RD	DAVENPORT IA 52802
J0064-37	3650 ROCKINGHAM RD	TIMOTHY A SCHERER	3650 ROCKINGHAM RD	DAVENPORT IA 52802
J0043-31	2538 BOIES AV	TIMOTHY C LANDERS	2538 BOIES AV	DAVENPORT IA 52802
R0401-32	3641 JOHNSON AV	TIMOTHY E HESKETT	3641 JOHNSON AV	DAVENPORT IA 52802
R0512-01	1040 S PIONEER ST	TINA LYNN MOONEY	1040 S PIONEER ST	DAVENPORT IA 52802-2407
K0007-04	1445 W 3RD ST	TIOFILO PEREZ	1445 W 3RD ST	DAVENPORT IA 52802
K0022-01		TITAN REAL ESTATE LLC	2621 IOWA ST	DAVENPORT IA 52803
K0022-03A	1607 W RIVER DR	TITAN REAL ESTATE LLC		
R0505-03B	1022 S PIONEER ST	TODD C DOSS	1603 MIDDLE RD	BETTENDORF IA 52722

### Neighborhood Meeting and Adjacent Owner Notice List

Parcel	Property Address	Owner Name	Owner Street	Owner CityStateZip
L0016-01	1216 W 2ND ST	TODD C DOSS		
L0016-05	200 MARQUETTE ST	TODD C DOSS		
K0019-26	1838 DIXWELL ST	TRUST DIXWELL	4730 S FORT APACHE RD	LAS VEGAS NV 89147
J0061-14	3102 ROCKINGHAM RD	U.A.W. LOCAL 1896	3102 ROCKINGHAM RD	DAVENPORT IA 52802
J0062-14	3204 ROCKINGHAM RD	US BANK NATIONAL ASSOCIATIC	4801 FREDERICAST	OWENSBORO KY 42301
K0012-18	1601 W 2ND ST	VANOVER CATHERINE L	2223 EMERALD DR	DAVENPORT IA 52804
R0403-26	923 MINNIE AV	VICKI A ROBINSON-STRAND	923 MINNIE AVE	DAVENPORT IA 52802
R0403-09	3317 ROCKINGHAM RD	VICKI K DUNCAN	207 E MAYNE ST	BLUE GRASS IA 52726
J0064-45	3602 ROCKINGHAM RD	VIRGINIA A THOMAS	3602 ROCKINGHAM RD	DAVENPORT IA 52802
K0012-16	115 STURDEVANT ST	VIVAN L SOUNTRIS	6480 131ST ST	BLUE GRASS IA 52726
J0054-26B	921 S ROLFF ST	W & H HOLDINGS LLC	614 MAIN ST	DAVENPORT IA 52803
J0061-32	3018 ROCKINGHAM RD	WACHAL DONALD J	4108 FOREST RD	DAVENPORT IA 52807-1538
R0508-41	3835 ROCKINGHAM RD	WALLY B WOODS	3845 ROCKINGHAM RD	DAVENPORT IA 52802
R0508-42	3845 ROCKINGHAM RD	WALLY B WOODS		
R0508-24	3842 JOHNSON AV	WALTER F MEANS	3842 JOHNSON AV	DAVENPORT IA 52802-2528
K0006-36	232 WASHINGTON ST	WARD RIP SHILO T	30816 KENTUCKY PL	MACON MO 63552-4403
K0032-30	2138 ROCKINGHAM RD	WAYNE C IJOHNSTON	2138 ROCKINGHAM RD	DAVENPORT IA 52802-2807
K0011-19	1512 ROCKINGHAM RD	WENDEL JEFF J	817 N PINE ST	DAVENPORT IA 52804
J0042-04		WEST END ALANO CLUB INC	2603 ROCKINGHAM RD	DAVENPORT IA 52802
L0001-37A	223 MARQUETTE ST	WEST GERALD G	214 N MISSISSIPPI ST	BLUE GRASS IA 52726
R0404-36	3173 ROCKINGHAM RD	WESTMARLAN LLC SERIES G	PO BOX 99	DAVENPORT IA 52805
J0062-07	3314 ROCKINGHAM RD	WESTMORELAND GARY A	3314 ROCKINGHAM RD	DAVENPORT IA 52802
R0404-37	907 S ELSIE AV	WESTSIDE ASSEMBLY OF GOD	P O BOX 4611	DAVENPORT IA 52808
R0512-02D		WESTSIDE ASSEMBLY OF GOD	3908 W RIVER DR	DAVENPORT IA 52802
R0402-10	923 S MICHIGAN AV	WHITE TERRY L	923 S MICHIGAN AVE	DAVENPORT IA 52802
J0064-34	3641 BOIES AV	WILLARD M SMITH	3641 BOIES AV	DAVENPORT IA 52802-1916
R0401-22	3612 JOHNSON AV	WILLIAM J MCCLIMON TRUST	3612 JOHNSON AV	DAVENPORT IA 52802
K0012-47	1610 ROCKINGHAM RD	WILLIAM M BURKE REVOCABLE	1610 ROCKINGHAM RD	DAVENPORT IA 52802-1140
K0019-05	1929 DIXWELL ST	WILLIAM MEIS	1347 COLLEGE FARM RD	PLATEVILLE WI 53818
J0062-40	3169 MARION ST	WILLIAM R COOK	3740 KEOTA AV	DAVENPORT IA 52802
R3257-14	3709 BOIES AV	WILLIAM R WYMER	PO BOX 51	MOLINE IL 61266
L0001-39	1125 W 3RD ST	WILLMAN CONSTRUCTION	1129 W 3RD ST	DAVENPORT IA 52802
L0001-40		WILLMAN CONSTRUCTION		
L0001-38	1129 W 3RD ST	WILLMAN MARK J	11385 74TH AV	BLUE GRASS IA 52726
K0010-01B	1441 ROCKINGHAM RD	WINDMILL HILL LC		
K0010-08A	1448 ROCKINGHAM RD	WINDMILL HILL LC	PO BOX 17	DAVENPORT IA 52805
K0010-10	1434 ROCKINGHAM RD	WINDMILL HILL LC		
K0011-19A	1526 ROCKINGHAM RD	WINDMILL HILL LC		
K0011-10	1514 W 2ND ST	WOLFE ROBERT J	4795 TRAILS END RD	NETTENDORF IA 52722
R0403-03D		WOOD WILLIAM K	PO BOX 218	BETTENDORF IA 52722
K0019-25	1842 DIXWELL ST	YOUNG II STANLEY D	1842 DIXWELL ST	DAVENPORT IA 52802

## **Neighborhood Meeting Outline**

- I. Introduction**
  - a. Staff**
  - b. Purpose**
    - i. For the Meeting**
    - ii. For Corridor Improvement**
  - c. Methods for Corridor Improvement**
    - i. Zoning Ordinance**
    - ii. Economic Development**
- II. Zoning Ordinance Tools**
  - a. Overlay Districts**
  - b. Allowed Uses**
  - c. Building and Site Design**
- III. Stakeholder Preference**
  - a. What identity should the corridor have?**  
(through the use of the zoning code)
  - b. Recommended Uses and Design Options**
- IV. Questions/Closing**





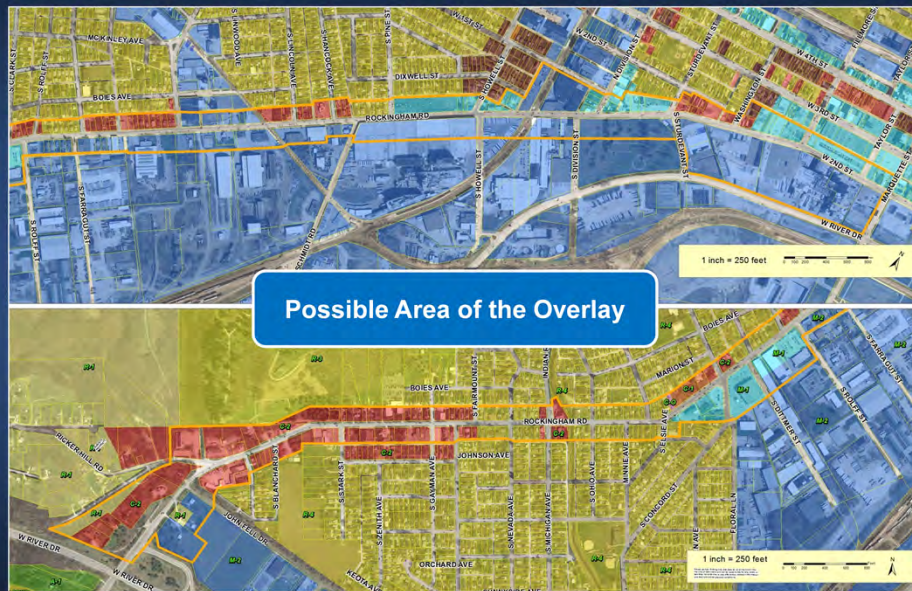
Welcome everyone to the Rockingham Corridor Neighborhood Meeting.

Frist I would like to introduce city staff and elected officials who are in attendance tonight.

Alderman Rick Dunn from the 1<sup>st</sup> Ward is in attendance. Also impacted by this project is 3<sup>rd</sup> Ward, represented by Alderman Marion Meginnis.

Staff here tonight are Bruce Berger, Matt Flynn, Wayne Wille, and Sara Ott. My name is Scott Koops. All of the staff here tonight are from the Community Planning and Economic Development Department. Bruce Berger our Department Director.

# Purpose of the Meeting

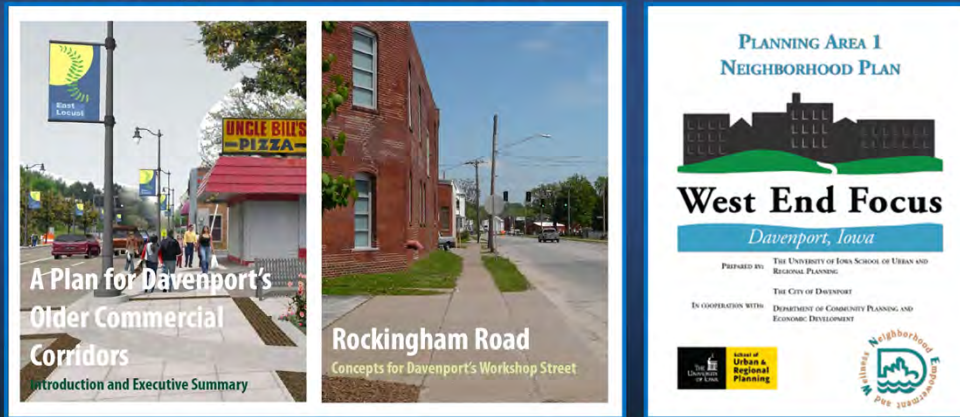


So why is everyone here tonight? As residents and business owners of this area you familiar with the opportunities and needs of this neighborhood. City Council and the City Administrator also understand these needs and are looking to improve the corridor.

As you may know, a moratorium on business licenses is in effect on the corridor presently. Staff has been directed to draft a zoning ordinance change to address some the needs of this corridor. This meeting is staff's chance to get input from all of you on what that ordinance might look like.

# Purpose: Corridor Improvement & Commercial Identity

## Rockingham Area Plans:



As I have stated before, the method for improving Rockingham Corridor will be a proposed change to the zoning ordinance. Two planning efforts have already given staff some direction, they are the Older Commercial Corridors Plan, and the West End Focus, which was a neighborhood plan. One of the goals of the neighborhood plan was to create a commercial identity for the corridor. Tonight staff will ask for your input on how this corridor might establish an identity and how it might be improved through a zoning ordinance change.





As city leaders directed staff to write a code change, the tool we will use to create the corridor's identity will be the Zoning Ordinance, however business owners should keep in mind that there are other tools available to them to improve their businesses. Our Economic Development staff oversee three economic development programs that may be beneficial. They are:

The **Small Business Loan Program** which is federally funded loan program for expanding small businesses, up to \$20,000 per business is potentially available at 2% interest for 60 months.

The **Façade Loan Program** provides assistance for improvements to commercial buildings, owners may apply for up to \$1,000,000 at 2% interest for 60 months.

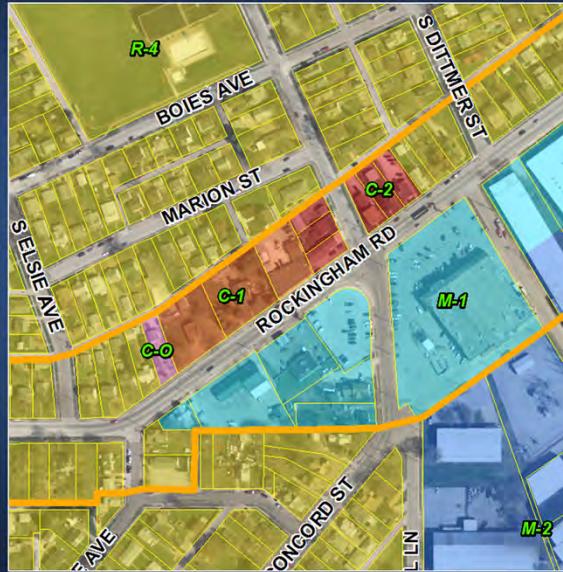
And last, the **Urban Revitalization Tax Exemption Program** helps offset the increase in property taxes that often occur due to recent building improvements.

So remember, tonight we are talking about how the zoning ordinance can help the corridor, but after the meeting please feel free to talk with Sara or Bruce regarding the economic programs that are available as well.

# Tools for Corridor Improvement

## Zoning Ordinance tools:

- Overlay District
- Use Restrictions
- Design Standards



The proposed method for the corridor zoning change is an Overlay District. A zoning overlay is often used to apply additional standards to an existing area. Or said another way:

An overlay zoning is a regulatory tool that creates a special zoning district, placed over existing base zones, which identify special provisions in addition to those in the underlying base zones.

In this case, the overlay would only apply to properties that have existing commercial or industrial zones under the overlay. Residential properties would not be directly impacted by the overlay, and their taxes would not be affected.

With an overlay in place, two primary tools are at our disposal. 1- We can customize which uses are allowed, and 2 – We can establish improved design standards (design standard help us shape the built form and the neighborhood's aesthetics).

Building design standards can be anything from what type of building materials are allowed, to where windows shall be located. Site design standards allow for additional setbacks, build-to-lines, and improved landscape standards.

# Tools

- Tool #1:  
Use  
Restrictions
- Corridor  
Identity is  
shaped by  
**Allowed Uses**



Here are some of the existing uses in the corridor:

New retail

Auto sales



## Corridor Identity is shaped by **Allowed Uses**



Corner bar

Outside storage

## Corridor Identity

Is shaped by **Allowed Uses**



Service establishment

Auto sales

## Corridor Identity is shaped by **Allowed Uses**



Retail

Vacant lot/ storage lot with tall weeds



## Corridor Identity is shaped by **Allowed Uses**



Corner business

Car sales with no setback for sidewalk, side walk butting the street

## Corridor Identity

is shaped by **Allowed Uses**



Here is an example of a new attractive building that addresses the street with the front entrance and with a number of windows, however, across the street is a nonconforming gravel parking lot that has potholes and mud.

This gravel lot is a significant source of dust. As you can see the dust is obscuring the new building in the background. This photo shows both the strengths and the challenges that face the Rockingham Corridor.

## **Potential Uses to Limit:**

- **Outside storage**
- **Gravel Lots**
- **Vehicle Sales**
- **Vehicle Junk Yards (auto salvage)**

So, having looked at a number of the existing uses in the corridor, here are some uses that we might want to restrict:



# Tools

- Tool #2:

## Design Standards

- Building and Site Design control aesthetics of the area

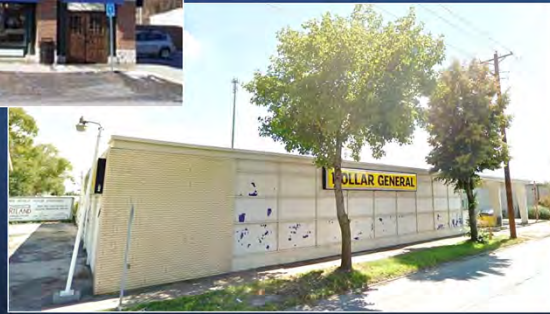


After considering how uses impact the corridor, let us now move on to Design Standards.

This example shows a large wall expanse. When a building must have a large blank wall, design elements can improve the aesthetics and make for a more inviting pedestrian environment.

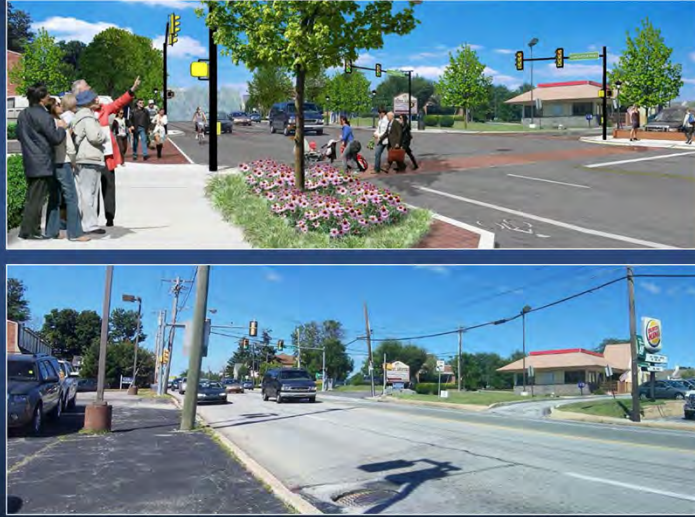
This wall in the top photo has vertical relief (brick pilaster) and horizontal trim detail and a base. Compare this to the blank wall in the bottom photograph.

## Corridor Identity is shaped by **Design Standards**



Here the business on the top has a entrance that faces the street and window which show the interior of the business, while the store on the bottom does not have a visible entrance and the windows are painted over.

# Corridor Identity is shaped by **Design Standards**



This last set of photos shows how streetscaping can impact a corridor.

Two items of note:

Parking Lot Setback – separation of the parking lot from the sidewalk provides a place for greenspace and landscaping.

Sidewalk setback – pedestrians feel safer when the sidewalk is not abutting the curb and street pavement.



## What Uses and Design Standards should the Rockingham Corridor have in place?



At this time I would like your participation.

If Matt can lend me a hand, he will write down your ideas as I call on you one at a time.

**Questions?**

**What's Next?**

**Public Hearing:**

**March 20, 2018**

**City Hall Council Chambers**

**226 W 4<sup>th</sup> Street**

**5:00 PM**

Wednesday, March 7, 2018

Please publish the following Plan and Zoning Commission public notice. We would appreciate an email articulating which edition the ad will be published.

The PO number for this notice is: **1813019**

Please provide proof of publication for our records. If you have any questions, please contact me at [sek@ci.davenport.ia.us](mailto:sek@ci.davenport.ia.us) or 563-328-6701

-Scott Koops, AICP – Planner II

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**PUBLIC HEARING NOTICE  
PLAN AND ZONING COMMISSION  
CITY OF DAVENPORT**

There is on file in the office of Community Planning, on behalf of the City Plan and Zoning Commission, the following petitions:

Case No. CP18-01: Consideration of the Elmore Corners Area Plan as an Element to the Davenport Comprehensive Plan. [Ward 6]

Case No. ORD18-01: Request of the City of Davenport to amend Title 17 of the Davenport **Municipal Code, entitled, "Zoning". Proposed changes include creation of an Elmore Corners Overlay District and adoption of Design Standards.** [6<sup>th</sup> Ward]

Case ORD18-02 Ordinance amending Title 17 to incorporate a zoning component to promote and create a commercial identity for the Rockingham Road corridor through the use of design and use standards. City of Davenport is the Petitioner. Chapter 17.60 of the Davenport Municipal Code allows for text and map amendments. [1<sup>st</sup> & 3<sup>rd</sup> Wards]

Public hearings on the above matters are scheduled for 5:00 p.m. or as soon thereafter as possible on Tuesday, March 20, 2018 in the Council Chambers of the Davenport City Hall, 226 West 4th Street, Davenport, Iowa. It is your privilege to submit written comments on the above item(s) or to attend the public hearing to express your views, or both. Any written comments to be reported at the public hearing should be received in the Department of Community Planning & Economic Development, at the above address, no later than 12:00 noon on the day of the public hearing(s). PO No. 1813019

Department of Community Planning & Economic Development  
E-MAIL: [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) PHONE: 563-326-7765



**PUBLIC HEARING NOTICE  
PLAN AND ZONING COMMISSION  
CITY OF DAVENPORT**



**Public Hearing Details:**

Date: 3/20/2018

Ward: **1st & 3rd**

Time: 5:00 PM

Location: Council Chambers at City Hall, 226 West 4th Street Davenport, Iowa

Subject: Public hearing for a rezoning request before the Plan and Zoning Commission

Case #: ORD18-02

To: All property owners within 200 feet of the subject property located at **Rockingham Corridor from West River Drive to Marquette Street.**

**What is this All About?**

This notice is being sent to inform you that a public hearing will be held for a rezoning request. The purpose of the rezoning request is to **change the property's allowed uses by changing the zoning classification.**

Request Description

**Case ORD18-02 Ordinance amending Title 17 to incorporate a zoning component to promote and create a commercial identity for the Rockingham Road corridor through the use of design and use standards. City of Davenport is the Petitioner. Chapter 17.60 of the Davenport Municipal Code allows for text and map amendments. [1st & 3rd Wards]**

**What are the Next Steps after the Public Hearing?**

This public hearing is the first step in the review/approval process. The Commission's recommendation from this public hearing will be forwarded to the City Council which will then hold its own public hearing. You will receive a notice of the City Council's public hearing as you received this notice. For the specific dates and times of subsequent meetings, please contact the case planner below.

**Would You Like to Submit an Official Comment?**

As a neighboring property owner, you may have an interest in commenting on the proposed request either in writing/email or in person at the public hearing. If you intend to send in written comments, it is appreciated if those comments could be received by Community Planning no later than 12:00 PM *one day before* the public hearing. Send comments to [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) or CPED, 226 W 4th St, Davenport IA 52801.

**Do You Have Any Questions?**

If you have any questions on this request, or if you need accommodations for any reason, please contact Scott Koops, AICP, the case planner assigned to this project at [sek@ci.davenport.ia.us](mailto:sek@ci.davenport.ia.us) or 563-328-6701. Interpretive services are available at no charge. Servicios interpretativos libres estan disponibles. TTY: (563) 326-6145

Please note that items may be removed from the agenda or tabled to a future hearing date at the request of the Petitioner or Commission/Board. If you are interested in the current schedule and outcome of this case, please contact the Community Planning Office at 563-326-7765 or [planning@ci.davenport.ia.us](mailto:planning@ci.davenport.ia.us) for updates.

## ORD18-02 – Public Notification Summary

<b>Activity</b>	<b>Due Date</b>	<b>Actual Date</b>
<b>Application Received</b>	<b>2/26/2018</b>	<b>2/26/2018</b>
<b>Neighborhood Meeting Notice Mailed</b>	<b>5-7 days prior</b>	<b>3/6/2018</b>
<b>Neighborhood Meeting Held (Date, Time, Place)</b>	<b>prior to the PH</b>	<b>3/15/2018</b>
<b>P&amp;Z Public Hearing Quad City Times Notice</b> <small>(sent 17 days prior to the Public Hearing : State Code allows 20 to 4 days prior to)</small>	<b>3/10/2018</b>	<b>3/10/2018</b>
<b>Sign Posted on Property</b> <small>(ideally at least one week prior to public hearing)</small>	<b>3/13/2018</b>	<b>3/13/2018</b>
<b>Public Hearing Report Posted on City Website</b>	<b>3/16/2018</b>	
<b>P&amp;Z Public Hearing Adjacent Owners Notice Mailed</b> <small>(ideally 7-10 days prior to public hearing)</small>	<b>3/6/2018 to 3/12/18</b>	<b>3/6/2018</b>
<b>Notice of Public Hearing posted on City Hall kiosk</b> <small>(No later than Friday prior to the Public Hearing)</small>	<b>3/16/2018</b>	
<b>P&amp;Z Public Hearing Held on (Date)</b> <small>(see Development Calendar)</small>	<b>3/20/2018</b>	
<b>P&amp;Z Regular Meeting Recommendation Held on (Date)</b> <small>(see Development Calendar)</small>	<b>4/3/2018</b>	
<b>City Council Public Hearing Quad City Times Notice Mailed</b> <small>(see Development Calendar)</small>	<b>4/5/2018 runs 4-11-18</b>	
<b>COW Public Hearing Adjacent Owners Notice Mailed</b>	<b>4/11/2018</b>	
<b>Committee of the Whole Public Hearing</b>	<b>4/18/2018</b>	

# Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

Name	Address	Email	Business Name (if applicable)
1 Helen Dausfeldt	2508 Rockingham Rd		
2 Rick Dunn			
3 Al + Penny Polina	2129 Dixwell St	albertpolina@yahoo.com	
4 Terry Wepest	4202 Rockingham	Terry's Brake.com	Storehouse 3200cr
5 Pat Egly	701 Iowa St.		
6 Kay & Harry Showers	3215 Rockingham Rd		
7 Jerry Rina	1020 South Elsie Ave	Davenport	
8 Nail Sillanpaa	1014 S. Elsie	DAV.	
9 Ann Kelly	3610 Rockingham Rd	Davenport	
10 BEAU HINES	3806 ROCKINGHAM RD	beauhines1@yahoo.com	
11 Brian McHain	223 Washington St		
12 Adam Anderson	1451 W. 3rd St.		
13 Jeei Poell	1400 Rockingham Rd		The Family Credit Union
14 Jan Tapper	1620 Rockingham Rd		Tapper's Strick House
15 Cliff Tapper			
16 Richard Kronfeld	3822 Rockingham Rd.		
17 Tony Ryholts	935 S. Ohio Ave		
18 Derric Carter	2637 Rockingham rd & 4620 rockingham Rd		
19 Elizabeth Samell	1107 S Ohio Ave.	563-322-4161	
20 SAM FOOD	648 MARQUETTE ST.	563-529-3241	
21 Jill Troup	4616 Blue Grass Rd	563-322-2353	
22 Michelle Magyar	1545 Rockingham Rd.	563-326-6294	
23 Laura Patton		563-940-1873	
24 Faith C. Willis	1821 W 7th St.	563-323-4934	
25 Ron Patton	9856 130th St, Dav	563-210-9971	

52804



# Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

Name	Address	Email	Business Name (if applicable)
1 Bruce Goacher	2028 WEST 2nd		GOACHER TOWING
2 Robert Leppen	PO BOX 2821		
3 Dwight Hines	4319 Rockingham Rd		
4 LINDA FRIES	1148 SO CONCORD		
5 FRED FRIES			
6 Lynn MADISON	3173 MARION ST	lesmadison56@gmail.com	
7 ROGER ANTLE	4525 RICKER HILL Road		
8 Michael + Kelly Marbury	723 S. Dittmer St.		
9 Van Willows			
10 Michael Leppen			
11 Renee Berger	226 W. 4th	bds@ci.davenport.iowa.us	City
12 Belvin Enoch	PO BOX 2402	DAV 52809	
13 John MARTIN	2850 Rockingham Rd	DAV 52802	
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# Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

Name

Address

Email

Business Name (if applicable)

1 DENNIS Gibson 1523 S. FAIRMOUNT AVE

gibson.dennis@mhsi

2 Tammy Blake 1722 W. 8th St Des. tsueblake@gmail.com

3 Ray Davis

4 Bob Page 2717 Jackson Ave. Des. Ia.

5 Jimi Tarmar 1454 Rockingham Rd

6 Joyce Stucker 1456 Rockingham Rd.

7 Adam Hillborn

8 Brian Zinsli 7729 OKLAHOMA AVE

9 Richard E Hahn 21 3411 ORCHARD AVE 3248501

10 Paulette Leonard 3311 Rockingham

11 Linda Hendley 1017 S. Elsie AVE.

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## Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

Name	Address	Email	Business Name (if applicable)
1 Alan Goacher	2028 Ward		Sweet Delite
2 CHRIS Russell	3135 Marion St.		
3 Don Cooper	1146 Garden		
4 PETE GRAVER	3181 MARION S.		
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# Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

	Name	Address	Email	Business Name (if applicable)
1	Arthur Andersen		NO Good deed goes UNpunished@gmail.com	
2	Rosl Conner			
3	Marion Meginnis		mmeqinnis@ci.claremont.IA	
4	Jennifer Conner		brwniis82@aol.com	
5	Kevin Fuchler		1423 10.3 <sup>rd</sup> St. Davenport, IA	
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## Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

	Name	Address	Email	Business Name (if applicable)
1	Sheri Blessing	3829 Rockingham	SLBLSSNG@YAHOO.COM	
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## Sign Up Sheet – Rockingham Road Neighborhood Meeting 3-15-18

	Name	Address	Email	Business Name (if applicable)
1	CARLTON WILKS	1028 DIXWELL ST		
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City of Davenport  
Plan and Zoning Commission

Department: Community Planning and Economic Development  
Department  
Contact Info: Ryan Rusnak 563-888-2022  
rrusnak@ci.davenport.ia.us

**Date**  
**3/20/2018**

**Subject:**

Case No. ORD18-03: Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.48.020.C by adding Sale and Storage of Fireworks and Explosive Devices to the list of uses requiring a Special Use Permit in the "M-2" Heavy Industrial District. [Wards All]

**Recommendation:**

There is no recommendation at this time.

**Relationship to Goals:**

Strengthen the existing built environment.

**Background:**

Please see attached staff report.

**ATTACHMENTS:**

Type	Description
▢ Cover Memo	Hearing Report

**Staff Workflow Reviewers**

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/15/2018 - 2:01 PM



City of Davenport  
Community Planning & Economic Development Department  
**PUBLIC HEARING STAFF REPORT**

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**Meeting Date:** March 20, 2018  
**Request:** Amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.48.020.C by adding Sale and Storage of Fireworks and Explosive Devices to the list of uses requiring a Special Use Permit in the "M-2" Heavy Industrial District. [Wards All]  
**Location:** N/A  
**Case No.:** ORD18-03  
**Applicant:** City of Davenport

**Recommendation:**

There is no recommendation at this time.

**Introduction:**

Request of the City of Davenport to amend Title 17 of the Davenport Municipal Code, entitled, "Zoning" by amending Section 17.48.020.C by adding Sale and Storage of Fireworks and Explosive Devices to the list of uses requiring a Special Use Permit in the "M-2" Heavy Industrial District. [Wards All]

**Public Input:**

The public notice for the Plan and Zoning Commission public hearing for the proposed Ordinance was published in the March 14, 2018 edition of the Quad-City Times.

**Discussion:**

Currently, the Zoning Ordinance does not regulate the sale or storage of fireworks and explosive devices other than to require that they be located on property that is zoned "C-1" Neighborhood Shopping District or higher.

It is the City's opinion that the location for the sale or storage of fireworks and explosive devices should be regulated similarly as uses that "...are deemed harmful by reason of dust, gas, smoke, noise, fumes, odor, vibrations, soot, sudden fire or explosion or any other nuisance or danger."

If amended, the Zoning Ordinance would require the sale of fireworks and explosive devices to be located on property zoned "M-2" Heavy Industrial District and require the granting of a Special Use Permit for said use by the Zoning Board of Adjustment.

Section 17.48.020.C of the Davenport City Code:

New ordinance language is underlined and removed ordinance language is ~~stricken through~~.

- C. In the M-2 Heavy Industrial District the following or similar uses which are lawful within the city, but are deemed harmful by reason of dust, gas, smoke, noise, fumes, odor, vibrations, soot, sudden fire or explosion or any other nuisance or danger provided that:
1. Such uses are located more than one thousand feet from any residential district and five hundred feet from any commercial district;
  2. The zoning board of adjustment in making their determination may consider the necessity of additional requirements pertaining to screening, fencing, hours of operation, appropriate accessory uses, parking lots, lighting or other similar conditions:
    - a. Acid manufacture;
    - b. Cement, lime, gypsum or plaster of Paris manufacture;
    - c. Distillation of bones;
    - d. Fat rendering;
    - e. Fertilizer manufacture;
    - f. Gas manufacture;
    - g. Offal or dead animal reduction or dumping;
    - h. Glue manufacture;
    - i. Petroleum or its products, refining of;
    - j. Metal or ore smelting;
    - k. Stockyards or the slaughter of animals;
    - l. Wholesale storage of gasoline;
    - m. Junk yards and auto salvage where the premises upon which the activities are conducted are completely screened from adjacent property and rights-of-way by a solid fence, wall or berm at least six feet in height;
    - n. Sale and storage of fireworks and explosive devices.

### **Staff Recommendation**

There is no recommendation at this time.

Prepared by:

A handwritten signature in blue ink, appearing to read "Ryan Rusnak", with a stylized flourish at the end.

Ryan Rusnak, AICP  
Planner III



City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

Subject:

Tuesday, April 03, 2018 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

Staff Workflow Reviewers

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/14/2018 - 5:43 PM

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

Subject:  
Report of City Council Action 03-14-18 meeting

ATTACHMENTS:

Type	Description
Backup Material	03-14-18 Activity

Staff Workflow Reviewers

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/15/2018 - 10:04 AM

## **Report of City Council Activity**

March 14, 2018 Meeting –

Adopted Resolution 2018-88 for Case No. FDP18-01 being the request of John Crump for a PDD Final Development Plan for a four-story hotel located north of East 53<sup>rd</sup> Street and west of Elmore Avenue on 2.28 acres, more or less.

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

Subject:  
(March 06, 2018 meeting minutes)

ATTACHMENTS:

Type	Description
▢ Backup Material	March 06, 2018 Commission Minutes

Staff Workflow Reviewers

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/14/2018 - 5:46 PM



**CITY PLAN AND ZONING COMMISSION  
CITY OF DAVENPORT, IOWA**

**TUESDAY MARCH 06, 2018 • 5:00 PM  
COUNCIL CHAMBERS – DAVENPORT CITY HALL  
226 W 4<sup>TH</sup> STREET DAVENPORT, IA**

**MINUTES**

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**PUBLIC HEARING AGENDA**

**OLD BUSINESS –**

**NEW BUSINESS –**

**Next Public Hearing:**

Tuesday, March 20, 2018 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4<sup>th</sup> Street.

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**REGULAR MEETING AGENDA**

The regular meeting was called to order at 5:00 p.m. (there was no public hearing)

**I. Roll Call of the Membership**

Present: Connell, Hepner, Inghram, Kelling, Lammers, Manessartinez, Medd, Quinn, Reinartz and Tallman

Excused: None

Absent: Martinez

Staff: Flynn, Leabhart, and Wille

**II. Report of the City Council Activity**

**III. Secretary's Report** The minutes of the February 20, 2018 meeting were approved

**IV. Report of the Comprehensive Plan Committee**

Flynn indicated that staff is still reviewing the first draft of the zoning ordinance and has also recieved a preliminarydraft zoning map. Additional review is still needed before another advisory committee meeting is held.

**V. Zoning Activity**

**A. Old Business –**

**B. New Business -**

1. Case No. REZ18-01: Request of Dave Meyer on behalf of Tom Swanwick dba Forest View LLC for a rezoning (map amendment) on 1.19 acres of property known as Lot 2 of Ryde High 2<sup>nd</sup> Addition located on the south side of East 46<sup>th</sup> Street between Grand and Tremont Avenues. The rezoning is from "C-2" General Commercial District to R-6M Planned Unit Development to construct attached townhouses on individual lots. Ten units are proposed. [Ward 7]

## Findings

That the proposed development fits with the surrounding developments

## Recommendation:

The City Plan and Zoning Commission accepts the finding and forwards Case No. REZ18-01 to the City Council for approval subject to the following condition:

1. That the Proposed Land Use Map for Davenport+2035 be corrected to include this area as Residential General as shown in Exhibit "A".
2. That the center access point for 46<sup>th</sup> Street be moved eastward as far as practical (separation should be 230 feet) though may be less if approved by the Traffic Engineer.

A motion from Tallman, seconded by Connell, to accept the finding and forward Case No. REZ18-01 to the City Council for approval subject to the above stated conditions was approved on a vote of 9-yes, 0-no and 0-abstention.

## **VI. Subdivision Activity**

### **A. Old Business –**

### **B. New Business –**

1. Case No. F18-02: Final plat of Bett's Corporation 2nd Addition on 1.21 acres, more or less, located abutting to the east of 741 West 53rd Street containing one (1) lots. The property is zoned "R-1" Low Density Dwelling District. [Ward 7]

## Findings:

The plat as proposed does not conform to the requirements of the Title 16 "Subdivisions".

## Recommendation:

There are three options for the Commission:

- a. Forward the plat to the City Council for approval subject to the following condition:
  1. That the plat be modified to incorporate the remaining portion of the parcel as a two-lot subdivision.
  2. The plat be tied to two existing lot corners in an existing subdivision (only one corner is noted).
- b. Forward the plat to the City Council for approval as proposed
- c. Return the plat to be resubmitted as a two lot subdivision incorporating the remainder of the unplatted land (no additional fee will be charged).

Staff indicated the developer has submitted a revised plat, and would recommend the plat be tabled for one cycle to allow for technical review.

A motion by Connell, seconded by Tallman, to table Case No. F18-02 for one cycle was approved on a vote of 9-yes, 0-no and 0-abstention.

## **VII. Other Business –**

## **VIII. Future Business –** Preview of items for the March 20<sup>th</sup> public hearing and/or regular meeting (*note-not all items to be heard may be listed*):

1. Case No. CP18-01: Consideration of the Elmore Corners Area Plan as an Element to the Davenport Comprehensive Plan. [Ward 6]
2. Case No. ORD18-01: Proposed Zoning Ordinance Text Amendment creating an Elmore Corners Overlay District (ECOD) and adoption of design standards. [Ward 6]
3. Case No. P18-02: Preliminary plat Seng Meadows located west of Northwest Boulevard and north of 46<sup>th</sup> Street containing 58 residential lots and one outlot. [Ward 7]

**IX. Communications (Time open for citizens wishing to address the Commission on matters not on the established agenda)**

**X. Adjourn – the meeting was adjourned at approximately 5:16 p.m.**

- *Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.*
- *Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.*
- *A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.*

**Next Public Hearing/Regular Plan & Zoning Meeting:**

**Tuesday, March 20, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4<sup>th</sup> Street.**

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

**Subject:**

Case No. F18-01: Revised final plat of Reed's Retreat located west of Wisconsin Avenue and north of Telegraph Road, containing three (3) lots and one (1) outlot, the ownership of which would remain with the rest of the un-platted ground. on 17.79 acres, more or less, The property is zoned both "R-1" Low Density Dwelling District and "A-1" Agricultural District.[Ward 1]

**ATTACHMENTS:**

Type	Description
▣ Backup Material	F18-01 Revised Reed's Retreat

**Staff Workflow Reviewers**

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/14/2018 - 5:49 PM





City of Davenport  
Community Planning & Economic Development Department  
**FINAL STAFF REPORT**

## PLAN AND ZONING COMMISSION

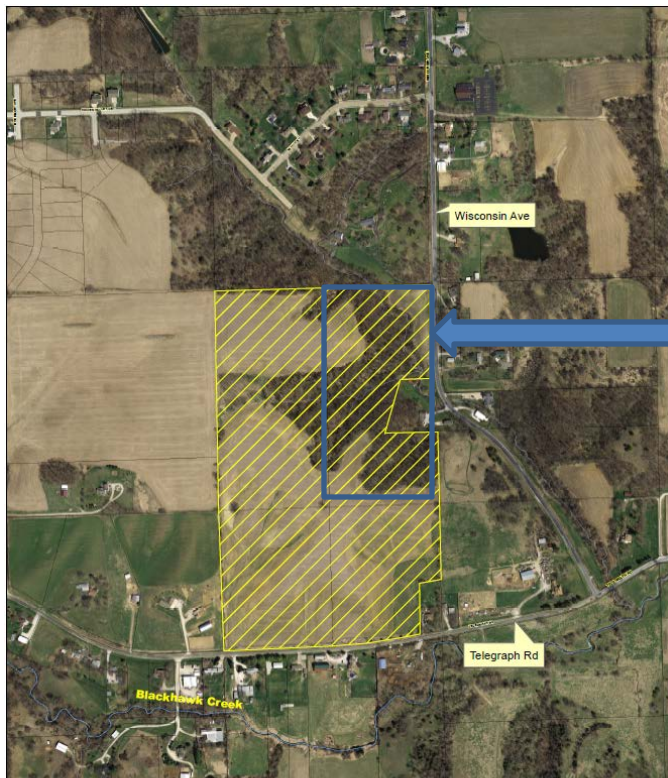
**Preview Date:** March 20, 2018  
**Request:** F18-01 Revised–Final Plat - Reed's Retreat  
**Address:** West of Wisconsin Ave & North of Telegraph Rd  
**Applicant:** Jeff Reed

## INTRODUCTION

Request of Jeff Reed for a final plat on 17.79 acres, more or less, located west of Wisconsin Avenue and north of Telegraph Road, containing three (3) lots and one (1) outlot, ownership of which would remain with the rest of the un-platted ground. The property is zoned both "R-1" Low Density Dwelling District and "A-1" Agricultural District. The previous preliminary and final plats were withdrawn by the applicant. [Ward 1]

**Recommendation:** Staff recommends the City Plan and Zoning Commission forward Case No. F18-01 the final plat of Reed's Retreat to the City Council for approval subject to the listed conditions.

## Aerial Photo:



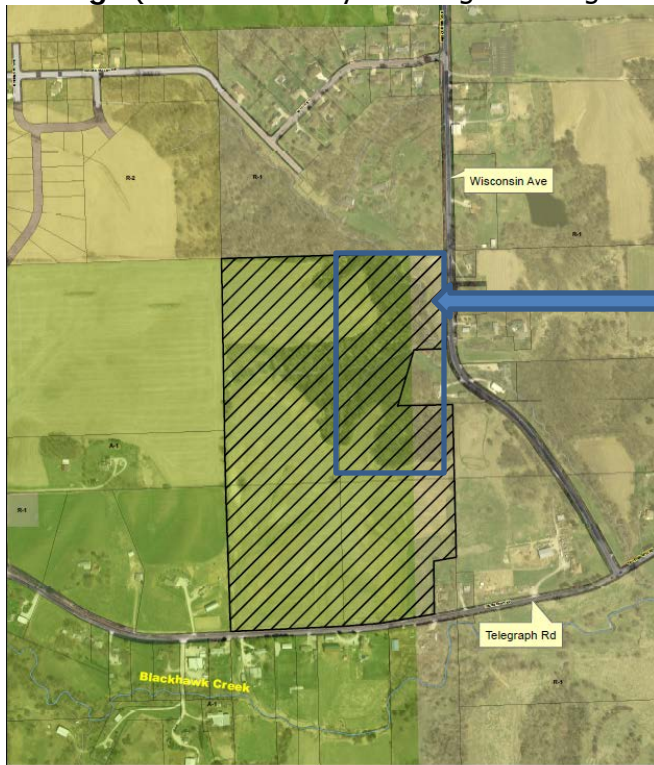
Area of Revised Plat  
Outlined in Blue

Aerial Photo 2014

0 250 500 1,000  
Feet



### Zoning (R-1 Low Density Dwelling & A-1 Agricultural District)



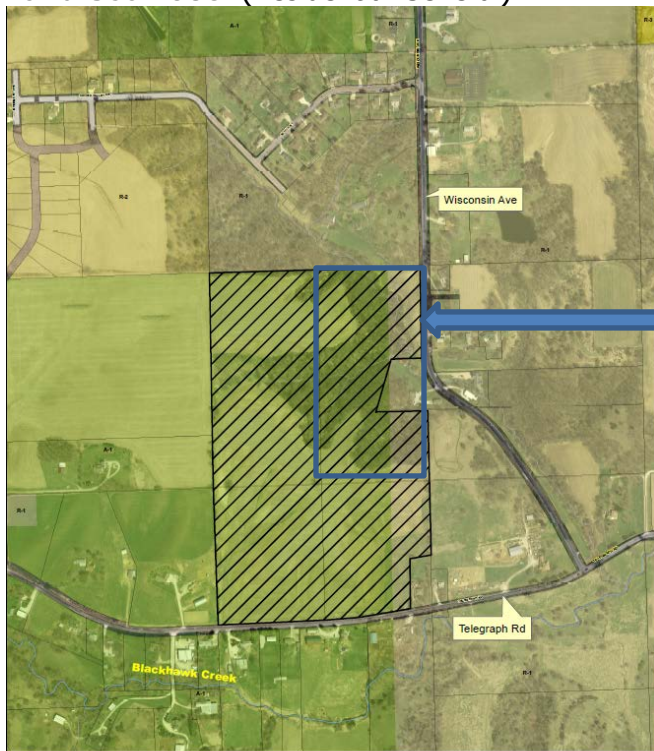
Area of Revised Plat  
Outlined in Blue

ZONING  
A-1 Agricultural  
R-1 & R-2 Low Density Dwelling

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### Land Use 2035 (Residential General)



Area of Revised Plat  
Outlined in Blue

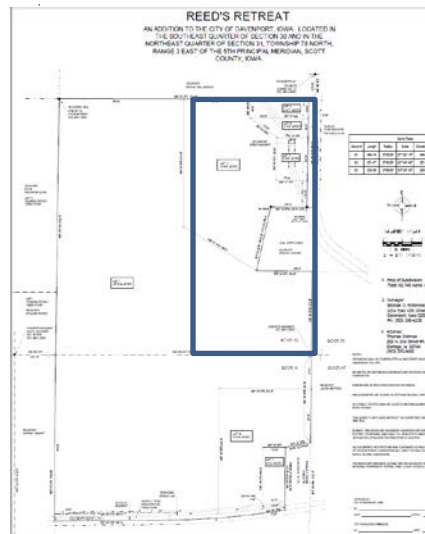
ZONING  
A-1 Agricultural  
R-1 & R-2 Low Density Dwelling

0 250 500 1,000  
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FINAL PLAT OF:

## REED'S RETREAT



Outlot A will remain in the ownership of the remaining un-platted ground. A note will be added to the plat stating such until it is replatted. The Outlot completes the “aliquot” Part being the East Half of the SE Quarter of Section 30-T78N R3E:

## BACKGROUND

### Comprehensive Plan:

Within Urban Service Area (USB35): Yes  
Proposed Land Use Designation: RG - Residential General

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant *Davenport+2035* Goals and Objectives:

1. *Strengthen the existing built environment.*
  - b. *Reduce the number of underoccupied, abandoned, or vacant buildings / properties through adaptive reuse and infill.*
2. *Identify and reserve land for future development*

### Technical Review:

Streets. No new streets are proposed with this request. However Wisconsin Avenue will require the dedication of additional right-of-way to meet future pavement and development needs. This is shown on the revised plat.

Storm Water. There is no existing stormwater infrastructure in the general area. Storm drainage is overland to the drainage way along Wisconsin Avenue and the Blackhawk Creek south of Telegraph Road. A drainage easement is shown for the major drainage way cutting across the plat (See reference stormwater ordinance below in the discussion section)

Sanitary Sewer. Sanitary sewer service is located in the drainage way along Wisconsin Avenue. An easement will need to be provided for this sewer and the easement will need to be tied to the plat so as to locate the easement from referenced lot corner(s).

Other Utilities. This is an urban area and normal utility services are available. The utility companies will need to sign the plat when their easement needs have been met. The utility easement will need to be shown on the plat (dedicated) with at least a fifteen (15) foot utility easement dedicated along all street frontages, both Wisconsin Avenue and Telegraph Road.

Parks/Open Space. The proposed plat does not impact any existing or planned parks or public open spaces.



**PUBLIC INPUT** This is a subdivision plat. No notification is required.

## **DISCUSSION**

The previous preliminary and final plats were withdrawn by the applicant.

### **Zoning**

The area of the subdivision contains two zoning classifications, "R-1" Low Density Dwelling District and "A-1" Agricultural District. The "R-1" zoning line was established in 1964 with the adoption of the 1964 zoning ordinance and map. The depth of the "R-1" zoning should be 300 feet from the right-of-way easement line (333 feet from the East Line of Section 30 and 31. This zoning line "as of (date)" should be shown on the plat.

All of the lots contain some "R-1" Low Density Dwelling District zoning which will allow for residential construction. Any residence will need to be located within the "R-1" zoned area or else additional area would need to be rezoned.

### **Stormwater management**

A significant drainage way is located within the northeast area of this plat. Section 13.34.160 of the Davenport City Code entitled "Stormwater Management – Easements" states:

*B. Whenever any stream or water course is located in an area that is being subdivided, the subdivider shall dedicate a public right-of-way or drainage easement conforming substantially with the lines of such stream or water course and shall include such additional area adjoining both edges of such stream or water course that has been affected by damaging flood waters and/or inundated by the one hundred-year flood waters, as determined by the city engineer. This easement area shall also contain a minimum thirty foot vegetated buffer area on both sides of the stream as measured landward horizontally on a line perpendicular to a vertical line marking the top of the existing banks of the stream or drainage way. This buffer shall be planted with vegetation native to the mid-west region of the United States and maintained as a prairie as outlined in the Davenport Stormwater Manual.*

*C. Unless deeded to the city of Davenport, maintenance of the stream, streambanks and easement areas described in Section 13.34.160B shall be the responsibility of the landowners upon which the stream is located. This maintenance responsibility shall be clearly defined in a recorded document. The subdivider shall also provide reasonable public easements for access. Procedures for transfer of the property described in Section 13.34.160B to the city for maintenance or ownership are described in the Davenport Stormwater Manual.*

*D. It shall be noted on the final plat, "Owners of lots on which a drainage easement has been established as a stormwater passageway shall maintain said easement as a lawn, planted in grass and free of structures, fences, fill, bushes, trees, shrubs, or other landscaping that would impede the flow of water" and "Owners of lots on which a stream buffer is required shall maintain said buffer as a native planting area, not allowing vegetation to be cut to a height of less than nine-inches without authorization of the city of Davenport natural resources division." In the event that the area established as a drainage easement is reshaped or otherwise restricted for use as a drainage easement, the city will cause the restrictions to be removed at the expense of the parties causing the restriction.*

### **Other platting requirements**

The name and address of the owner/developer will need to be shown on the plat.

### **STAFF RECOMMENDATION**

#### Findings

- The plat conforms to Davenport+2035.
- The plat proposes development for the southwest area.

#### Recommendation

Staff recommends the City Plan and Zoning Commission forward Case No. F18-01 the final plat of Reed's Retreat to the City Council for approval subject to the following conditions:

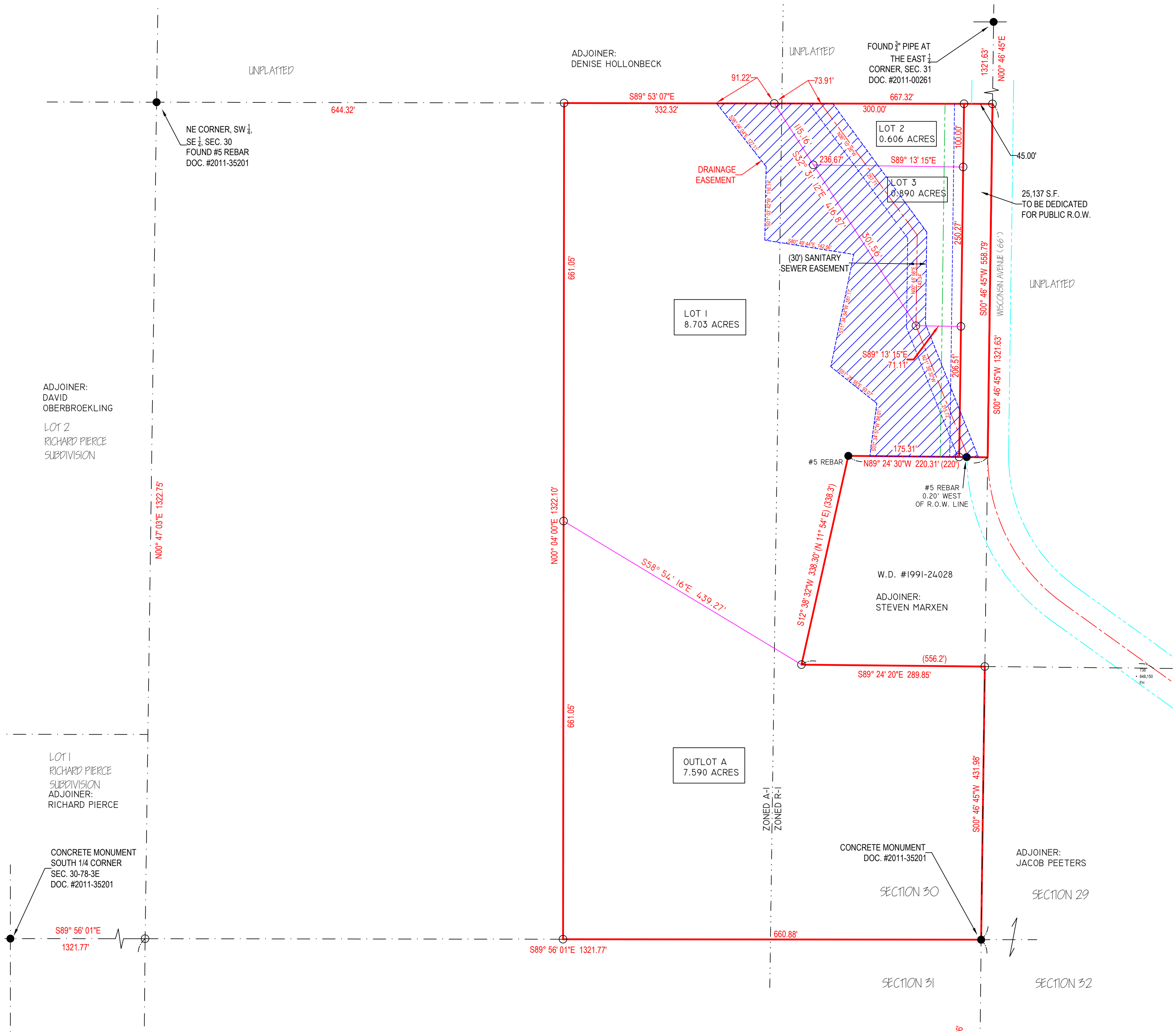
(These are ordinance conditions)

1. The surveyor signs the plat.
2. The utility companies sign the plat when their easement needs have been met and all easement are shown and labeled as to use, and tied to the plat by bearing/dimension.
3. The Owner/Developer's name and address are shown.

Prepared by:

Wayne Wille, CFM – Planner II  
Community Planning Division

FINAL PLAT OF:  
**REED'S RETREAT**  
AN ADDITION TO THE CITY OF DAVENPORT, IOWA. LOCATED IN  
THE SOUTHEAST QUARTER OF SECTION 30 AND IN THE  
NORTHEAST QUARTER OF SECTION 31, TOWNSHIP 78 NORTH,  
RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN, SCOTT  
COUNTY, IOWA.



NOTES:  
SIDEWALKS SHALL BE CONSTRUCTED ALONG STREET RIGHT OF WAYS WHEN SO ORDERED BY THE CITY.

NO WATER DETENTION REQUIREMENTS ARE PROPOSED WITH THIS SUBDIVISION.

DIMENSIONS ALONG CURVES ARE ARC DISTANCES.

MEASUREMENTS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF.

ALL PUBLIC UTILITIES SHALL BE LOCATED WITHIN EASEMENTS OR PUBLIC RIGHT-OF-WAY.

THIS SURVEY IS NOT VALID WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL.

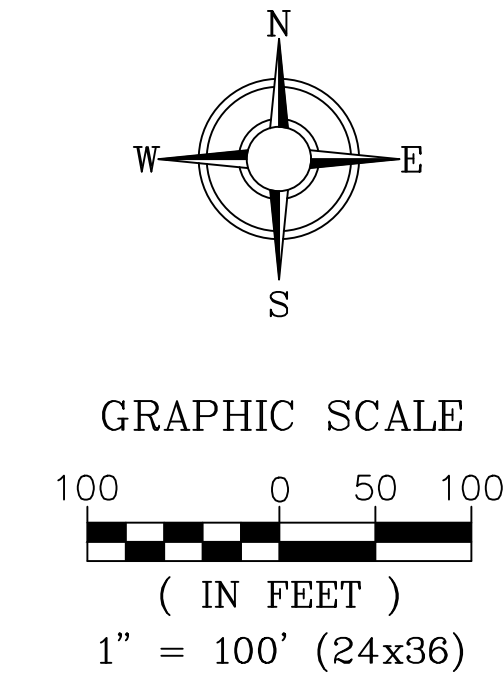
BLANKET UNDERGROUND EASEMENTS GRANTED FOR SEWER, WATER, GAS, ELECTRIC, TELEPHONE, AND CABLE T.V. SERVICES TO INDIVIDUAL STRUCTURES WITHIN THE LOT WHERE THE STRUCTURE IS LOCATED.

ALL EASEMENTS, RESTRICTIONS AND COVENANTS ESTABLISHED IN FINAL PLAT OF RICHARD PIERCE SUBDIVISION WILL APPLY TO FINAL PLAT OF RICHARD PIERCE SECOND SUBDIVISION.

THE MEASURED BEARINGS SHOWN HEREON ARE BASED ON THE IOWA REGIONAL COORDINATE SYSTEM, ZONE 11 NAD '83 (2011) EPOCH 2010.00

OWNERS OF LOTS ON WHICH A DRAINAGE EASEMENT HAS BEEN ESTABLISHED AS A STORM WATER PASSAGEWAY SHALL MAINTAIN SAID EASEMENT AS A LAWN, PLANTED IN GRASS AND FREE OF STRUCTURES, FENCES, FILL, BUSHES, TREES, SHRUBS, OR OTHER LANDSCAPING THAT WOULD IMPEDE THE FLOW OF WATER" AND "OWNERS OF LOTS ON WHICH A STREAM BUFFER IS REQUIRED SHALL MAINTAIN SAID BUFFER AS A NATIVE PLANTING AREA, NOT ALLOWING VEGETATION TO BE CUT TO A HEIGHT OF LESS THAN NINE-INCHES WITHOUT AUTHORIZATION OF THE CITY OF DAVENPORT NATURAL RESOURCES DIVISION. IN THE EVENT THAT THE AREA ESTABLISHED AS A DRAINAGE EASEMENT IS RESHAPED OR OTHERWISE RESTRICTED FOR USE AS A DRAINAGE EASEMENT, THE CITY WILL CAUSE THE RESTRICTIONS TO BE REMOVED AT THE EXPENSE OF THE PARTIES CAUSING THE RESTRICTION.

APPROVED BY:  
CITY OF DAVENPORT, IOWA  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_ ATTEST: \_\_\_\_\_  
CITY PLAN & ZONE COMMISSION  
BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
MEDIACOM \_\_\_\_\_ DATE: \_\_\_\_\_  
IOWA - AMERICAN WATER COMPANY \_\_\_\_\_ DATE: \_\_\_\_\_  
CENTURY LINK \_\_\_\_\_ DATE: \_\_\_\_\_  
MIDAMERICAN ENERGY \_\_\_\_\_ DATE: \_\_\_\_\_  
APPROVED SUBJECT TO ENCUMBRANCES OF RECORD BY MIDAMERICAN



LEGEND:  
DEED DIMENSION = (0.00')  
FIELD DIMENSION = 0.00'  
MONUMENTS FOUND:  
AS NOTED = ●  
MONUMENTS SET:  
#5 REBAR W/ YELLOW CAP #23503 = ○  
BOUNDARY LINE = ————  
ROAD CENTER LINE = ————  
EASEMENT LINE = ————  
SETBACK LINE = ————  
SECTION LINE = ————

1. Area of Subdivision-  
Total: 18.366 Acres +/-

2. Surveyor:  
Michael D. Richmond  
2224 East 12th Street  
Davenport, Iowa 52801  
Ph: (563) 286-4236

3. Attorney:  
Thomas Shirman  
202 N. 2nd Street #A  
Eldridge, Ia 52748  
(563) 285-9600

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Land Surveyor under the laws of the State of Iowa.  
MICHAEL D. RICHMOND  
Iowa License Number: 23503  
My license renewal date is December 31, 2019  
Pages or sheets covered by this seal: 1

<b>TOWNSEND</b> ENGINEERING CIVIL • STRUCTURAL • LAND DEVELOPMENT	DATE: 1-11-18  563 386.4236 office 386.4231 fax 2224 East 12th Street, Davenport, IA 52803	DRAWN BY: KLC CHECKED BY: MDR LOCATION BY: S:\REED-JEFF\SUBDIVISION.DWG	NO.	REVISIONS:	DATE	PROJECT FINAL PLAT REED'S RETREAT DAVENPORT, IOWA	OWNER JEFF REED DA MONTANA, LLC 9114 113TH STREET, BLUE GRASS, IOWA	SHEET NO. 1 OF 1
				DESCRIPTION				

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

**Subject:**

Case No. P18-02: Preliminary plat Seng Meadows located west of Northwest Boulevard and north of 46th Street containing 58 residential lots and one outlot. [Ward 7]

**ATTACHMENTS:**

Type	Description
▣ Cover Memo	P18-02 SR packet

**Staff Workflow Reviewers**

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/14/2018 - 5:52 PM





City of Davenport  
Community Planning & Economic Development Department  
**PREVIEW REPORT**

## PLAN AND ZONING COMMISSION

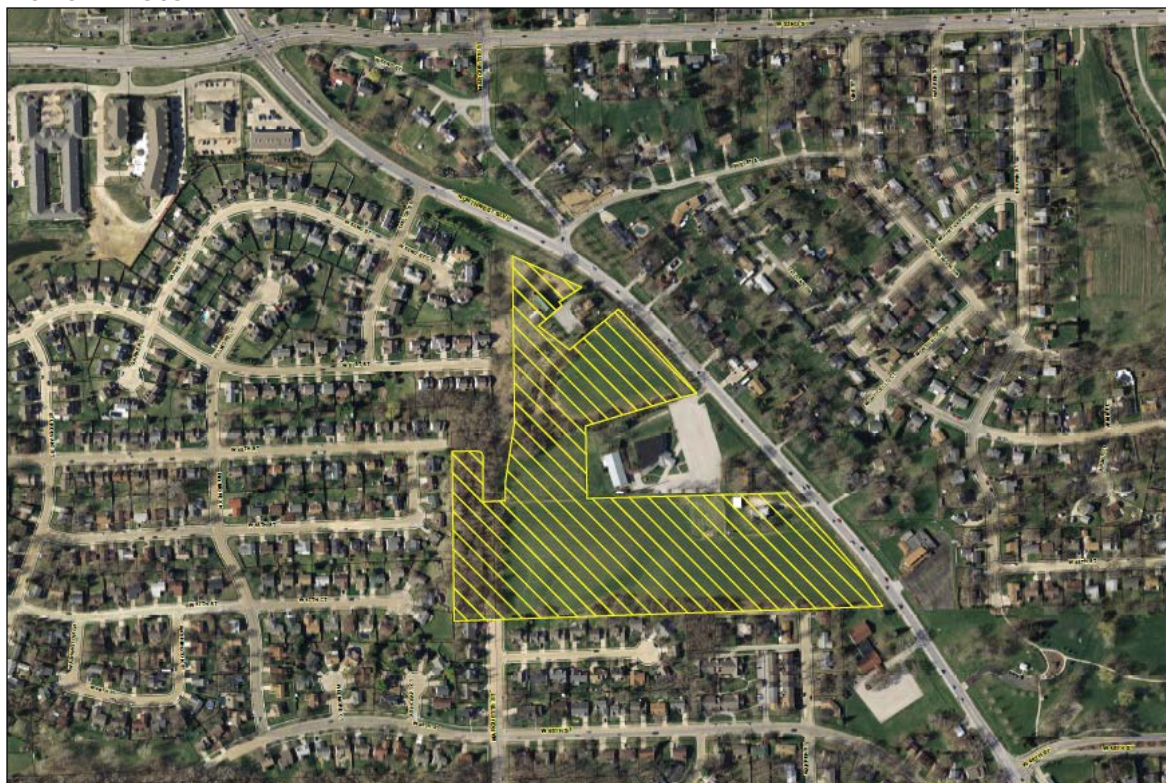
**Preview Date:** March 20, 2018  
**Request:** P18-02 Preliminary Plat – Seng Meadows  
**Address:** West of Northwest Blvd & North of 46<sup>th</sup> St  
**Applicant:** Seng Meadows LLC

## INTRODUCTION

Request of Seng Meadows LLC for a preliminary plat of 20.9 acres, more or less, located west of Northwest Boulevard and north of 46<sup>th</sup> Street, containing fifty-eight (58) residential lots. The property is zoned “R-3” Moderate Density Dwelling District. [Ward 7]

**Recommendation:** Staff recommends the City Plan and Zoning Commission forward the preliminary plat to the City Council for approval subject to the listed conditions.

## Aerial Photo:



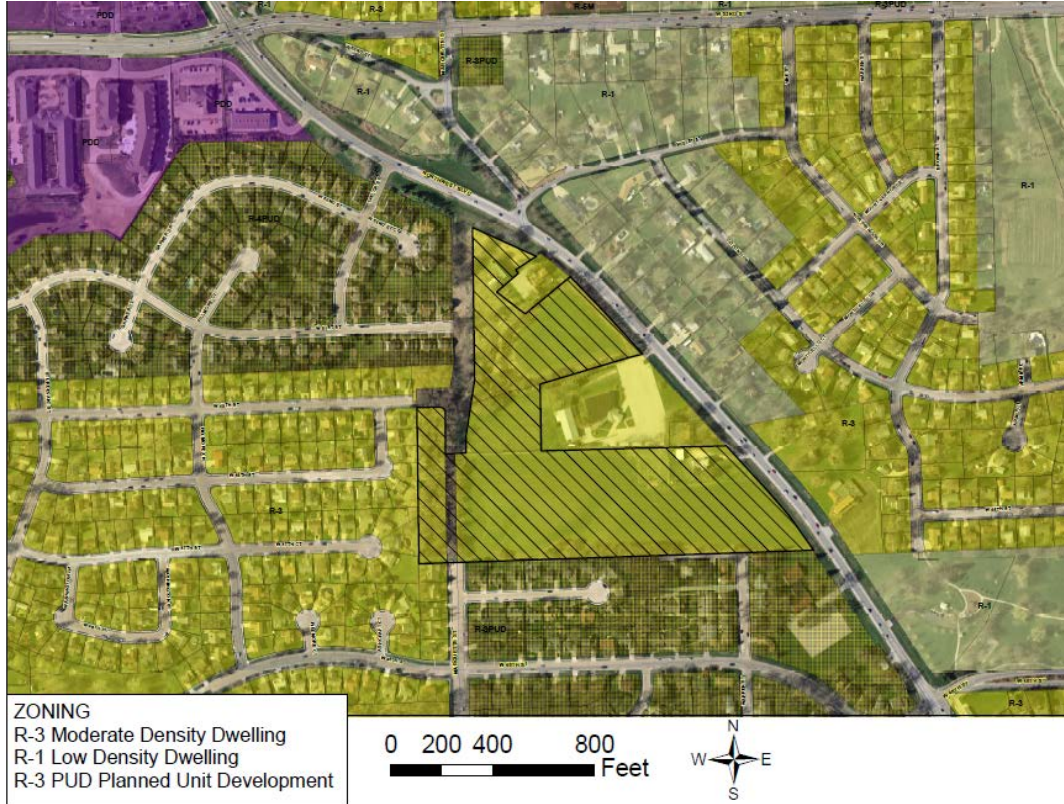
Aerial Photo 2014

0 200 400 800  
Feet

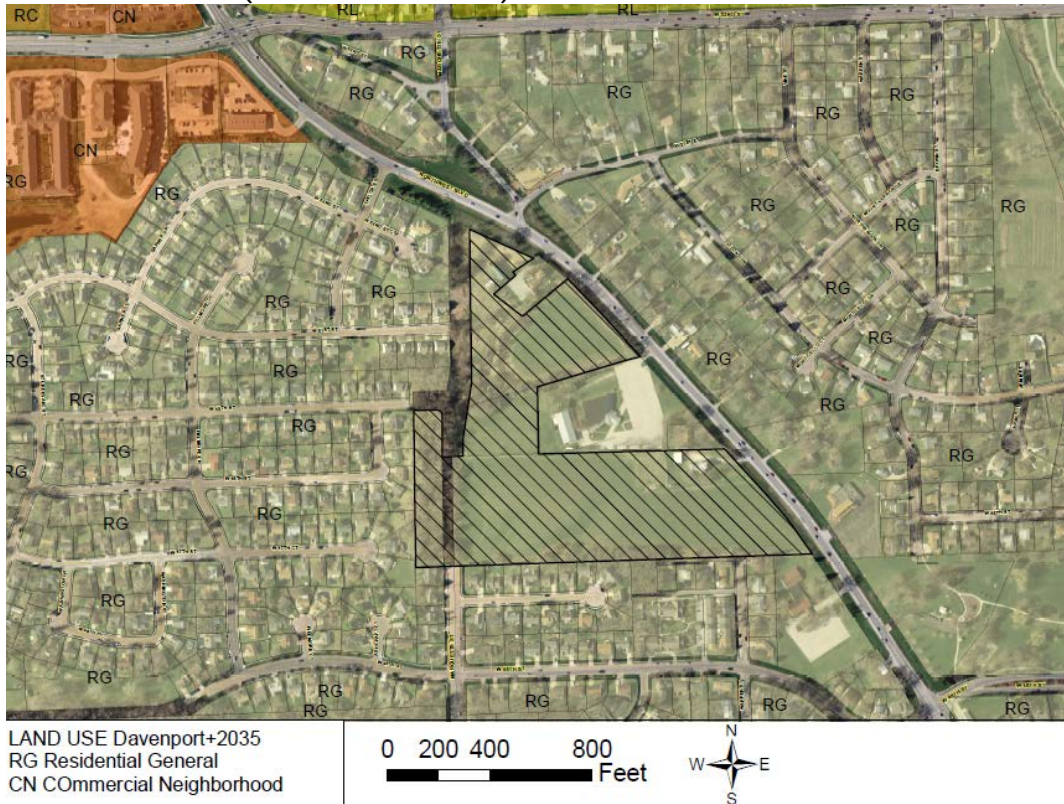




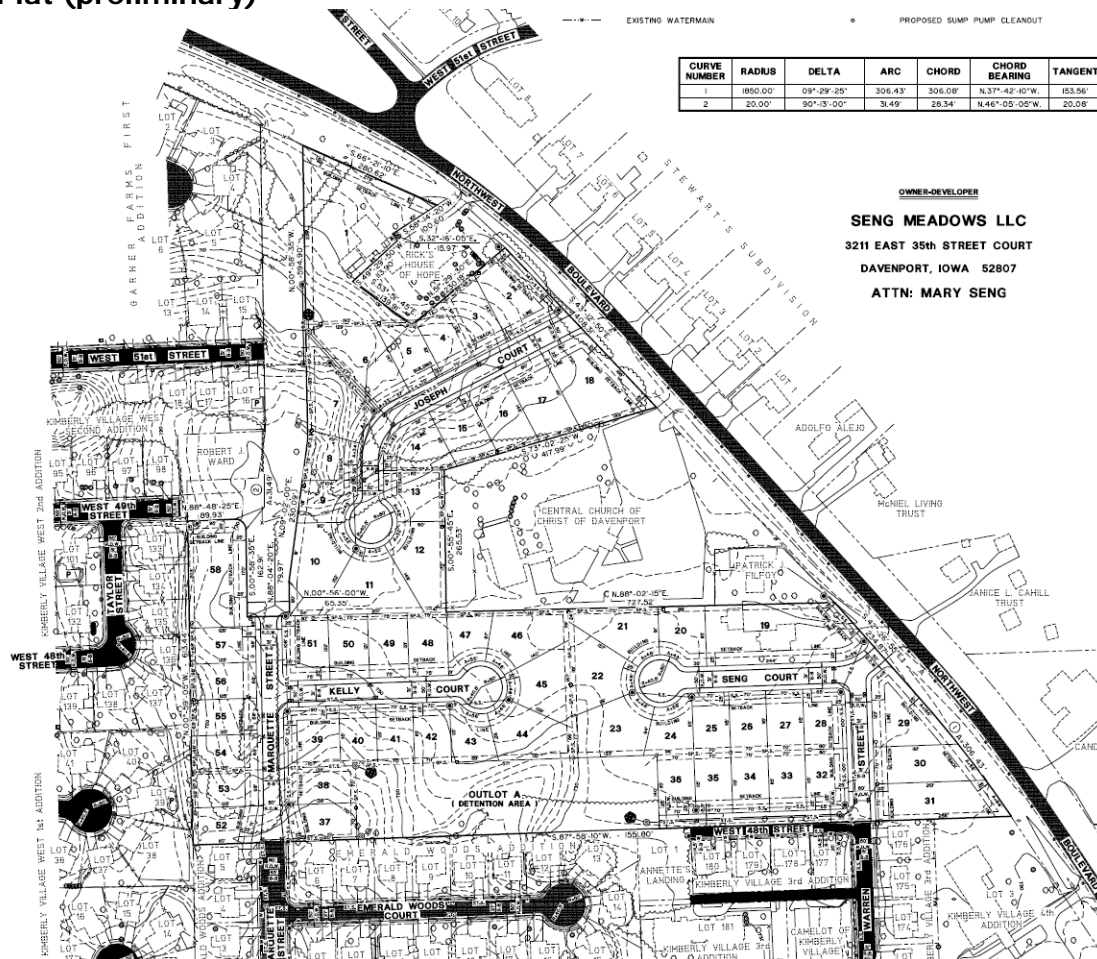
## Zoning (R-3 Moderate Density Dwelling)



## Land Use 2035 (Residential General)



## Plat (preliminary)



## BACKGROUND

### Comprehensive Plan:

Within Urban Service Area (USB35): Yes  
Proposed Land Use Designation: RG - Residential General

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant *Davenport+2035* Goals and Objectives:

1. *Strengthen the existing built environment.*
  - b. *Reduce the number of underoccupied, abandoned, or vacant buildings / properties through adaptive reuse and infill.*

## *2. Identify and reserve land for future development*

### **Technical Review:**

Streets. Marquette is proposed to extend into the proposed plat but not the length of the plat. Three cul-de-sacs are also proposed. There already exists a Kelly Court in Irish Woods Additions in the approximately same alignment. To differentiate, the developer may want to consider naming it West Kelly Court or since it aligns with the proposed Seng Court it should carry the same name.

#### **16.24.040 Streets.**

*A. The arrangement of street rights-of-way in new subdivisions shall make provisions for the extension of the existing system of street rights-of-way (or their proper projection where adjacent property is not subdivided) insofar as they may be necessary for public requirements. The street and alley right-of-way arrangements shall also be such as to cause no hardship to owners of adjacent property when they plat their own land and seek to provide for convenient access to it.*

*General Note: Staff posed a question internally as to the time it takes to plow a cul-de-sac versus a regular street. Part of the time depends on how many cars are parked in the Cul-de-sac I would say that a court that has no obstacles would average 15 to 20 minutes and then if cars are present it could add up to 25 to 30 minutes. Now if you are street plowing a regular street making four passes per block would be no more than 5 minutes per block.*

The three cul-de-sacs could be interconnected and provide a "U" type street connection to Northwest Boulevard similar to Northwest Crossings south east of Wood Junior High. This allows for access to Northwest Boulevard during repairs on any portion of the street. This would still maintain the privacy of the area without through connections to Marquette Street.

There is right-of-way dedicated as part of Anette's Landing for the extension of 48<sup>th</sup> Street that needs to be shown on the plat. If 48<sup>th</sup> Street is not extended to the north a provision for a turn-around should be made so as not to inconvenience the abutting owners to the southeast.

The preference would be to maintain the eighty (80) foot right-of-way of Marquette Street to be continuous with the existing right-of-way to the south.

Storm Water. There is no existing stormwater infrastructure in the general area. Storm drainage is overland to the ditch line along Northwest Boulevard. Storm water infrastructure will need to be extended into the area. This subdivision is over 5 acres so it will require detention. Detention is proposed along the south boundary of the proposed plat, though the two lot abutting this area to the west are lower in elevation. With final platting, the detention will need to be designed to protect abutting properties to an elevation of one-foot above the 100-year storm event elevation. This subdivision will also create more than 10,000 square feet of hard surface when it is built out so it will require water quality as well.

Sanitary Sewer. Sanitary sewer service is located in Marquette Street and 48<sup>th</sup> Street adjacent to the plat. Sanitary is also located in 49<sup>th</sup> and 51<sup>st</sup> Street along the west boundary of the property. The developer's engineer will need to



confirm whether sanitary sewer has or has not been extended to the church being surrounded by this development.

Other Utilities. This is an urban area and normal utility services are available.

Parks/Open Space. The proposed plat does not impact any existing or planned parks or public open spaces.

**PUBLIC INPUT** This is a subdivision plat. No notification is required.

## **DISCUSSION**

The following is excerpted from the City Code containing the ordinance language for a preliminary plat:

### **16.16.020 Submission of preliminary plat — Contents.**

A. *The location of present property lines, section lines, easements, corporate limits and other legally established districts, streets, buildings, watercourses, tree masses and other existing features within the area to be subdivided and similar facts regarding existing conditions on land immediately adjacent thereto;*

B. *The proposed location and width of streets, alleys, lots, building setback lines and easements, if any;*

C. *Existing sanitary and storm sewers, water mains, culverts and other underground structures within the tract and immediately adjacent thereto. The location and size of the nearest water main and sewer or outlet are to be indicated in a general way upon the plat;*

D. *Proposed name of the subdivision (which shall not duplicate any previously filed plat), the name of the land owner, land developer, and land surveyor;*

E. *The names and adjoining boundaries of all adjacent subdivisions and the names of record owners of adjoining parcels of unsubdivided land;*

F. *Existing contours with intervals of five feet or less;*

G. *North point, scale and date;*

H. *A vicinity sketch showing the proposed subdivision in relationship to surrounding development and street systems.*

### **16.16.030 Conformance with minimum standards.**

*The city plan and zoning commission shall study such preliminary plat to see if it conforms with the minimum standards and requirements as outlined in this chapter. The approval of the preliminary plat does not constitute acceptance with the subdivision by the city, but is deemed to be an authorization to proceed with the preparation of the final plat.*

## **STAFF RECOMMENDATION**

Finding:

The residential plat conforms to the land use map of Davenport+2035.

Recommendation:

Staff recommends the City Plan and Zoning Commission forward the preliminary plat to the City Council for approval subject to the following conditions:

1. That the developer's engineer confirm whether sanitary sewer has or has not been extended to the church property; and if not, then it will need to be shown as extending to the property.
2. That the area reserved for right-of-way intended for the extension of 48<sup>th</sup> Street in Anette's Landing be shown on the plat

3. If 48<sup>th</sup> Street is not to be extended, then the existing street needs to end in a turn around, either a hammer-head or cul-de-sac.
4. With final platting the design for the detention must show the surrounding properties are protected to an elevation one-foot above the 100-year storm event elevation.
5. That the eighty (80) foot right-of-way of Marquette Street be maintained.

Prepared by:

Wayne Wille, CFM – Planner II  
Community Planning Division

## Technical Review Comments:

### Tom Leabhart - PW

- Sanitary sewer is not shown to be extended to the church property. If it is already connected to the east this may not be necessary, but the Engineer is to confirm one way or another.
- The plat for Lot 1 of Annette's Landing includes an area reserved for street ROW intended for the extension of 48<sup>th</sup> Street. This area should be shown on the plat.
- If 48<sup>th</sup> Street is not to be extended the street should end in a cul-de-sac or approved hammer head design providing a turnaround for solid waste and snow removal.
- With final platting, design for the detention basin must show that the surrounding properties are protected to an elevation one foot above the 100 year storm event.
- It is preferred that the width of the Marquette Street ROW remain at 80' to be contiguous with the existing ROW to the south.

### David Cox - PW Software Administrator

- Kelly Ct is already a name in Irish Woods Subdivision. It will need to be renamed.

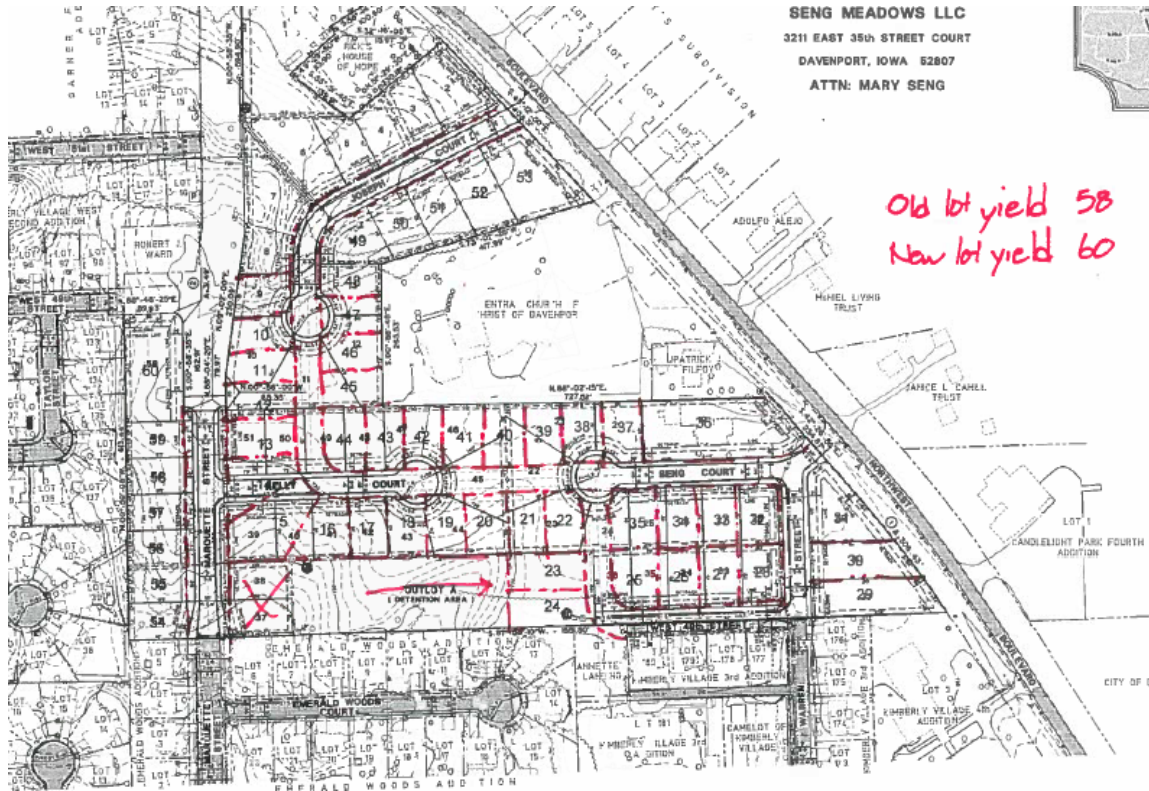
### Billy Fisher - PW Urban Conservationist

- This subdivision is over 5 acres so it will require detention.
- It will create more than 10,000 square feet of hard surface when it is built out so it will require water quality as well.

### Zachary C. Peterson – PW Landscape Design Architect

- Preserve the 80' ROW on Marquette. The current and previous several Comprehensive Plans call for a direct neighborhood collector connection from 46<sup>th</sup> St. to NW Blvd. (More connections in the street grid = more choice = more even traffic distribution throughout the existing street network = longer pavement shelf life)
- Preserve existing street width on Marquette at 45'. The Comprehensive Plan calls for the future connection to Northwest Blvd. Preserving the existing cross section will allow for the inclusion of complete street infrastructure per the recommendations of *Davenport In-Motion* and future Multi-Modal Plan initiatives currently in progress with *Davenport-GO*. A future direct connector on Marquette will ultimately minimize the current cut through traffic currently taking place on 46<sup>th</sup>/Fillmore Ln/51<sup>st</sup>/Taylor and will reduce the traffic burden in the residential neighborhood along 46<sup>th</sup> St. to the East.
- The proposed lots 37 & 38 are located on a naturally occurring site low point which may run the risk of future water flow issues in the future.
- Eliminate the proposed 3 cul-de-sac street and 48<sup>th</sup> Street dead-end alignment in favor of a contiguous loop configuration with an integrated 48<sup>th</sup> St. through connection for the following reasons (see attached exhibit):
  - The loop road layout as shown works with existing site topography to reduce site grading costs.
  - A loop road layout as shown provides a more efficient lot layout which equates to a higher lot yield.
  - A loop road layout provides a higher yield of walk-out lots.
  - A loop road layout provides the opportunity to relocate lots 36 & 37 to the east on a higher side of the property which allows the natural low point to be used for detention and not affect the lot yield bottom line.
  - Lot 1 of Annette's landing has an easement in place which assumes the future connection of 48<sup>th</sup> St.

- From a public safety perspective, a loop road layout provides an auxiliary exit point in an emergency situation and better facilitates Fire Department access and fire truck maneuverability.
- A loop road configuration better facilitates snow removal activity and would eliminate the need to stack snow at the end of the cul-de-sac. Streets crews estimate that it takes additional time (see street comment below) for snow removal time to clear a typical cul-de-sac. That figure attributed to this site (3 cul-de-sacs) will cost an additional 45 minutes of clearance time for this development alone.



Art Bartleson – PW Street Maintenance Supervisor

- This is depending on how many cars are parked in the Cul-de-sac I would say that a court that has no obstacles would average 15 to 20 minutes and then if cars are present it could add up to 25 to 30 minutes.
- Now if you are street plowing a regular street making four passes per block would be no more than 5 minutes per block.



100 0 25 50 100  
( SCALE : 1" = 100' )  
( FEBRUARY 20, 2018 )

# LEGEND

— 180 —	EXISTING CONTOURS ( INDEX )	— S.S. —	PROPOSED SANITARY SEWER
— 178 —	EXISTING CONTOURS ( INTERMEDIATE )	⊙	PROPOSED SANITARY SEWER MANHOLE
--- S.S. ---	EXISTING SANITARY SEWER	— ST.S. —	PROPOSED STORM SEWER
⊙	EXISTING SANITARY SEWER MANHOLE	⊗	PROPOSED CATCH BASIN
--- ST.S. ---	EXISTING STORM SEWER	⊢	PROPOSED FLARED END SECTION
⊗	EXISTING CATCH BASIN	⊗	PROPOSED RIP - RAP
▨	EXISTING PAVEMENT	⊙	PROPOSED DETENTION OUTFALL
⊙	EXISTING FIRE HYDRANT	— SP.S. —	PROPOSED SUMP PUMP SEWER
— W. —	EXISTING WATERMAIN	⊙	PROPOSED SUMP PUMP CLEANOUT

CURVE NUMBER	RADIUS	DELTA	ARC	CHORD	CHORD BEARING	TANGENT
1	1850.00'	09°-29'-25"	306.43'	306.08'	N.37°-42'-10"W.	153.56'
2	20.00'	90°-13'-00"	31.49'	28.34'	N.46°-05'-05"W.	20.08'

## OWNER-DEVELOPER

**SENG MEADOWS LLC**

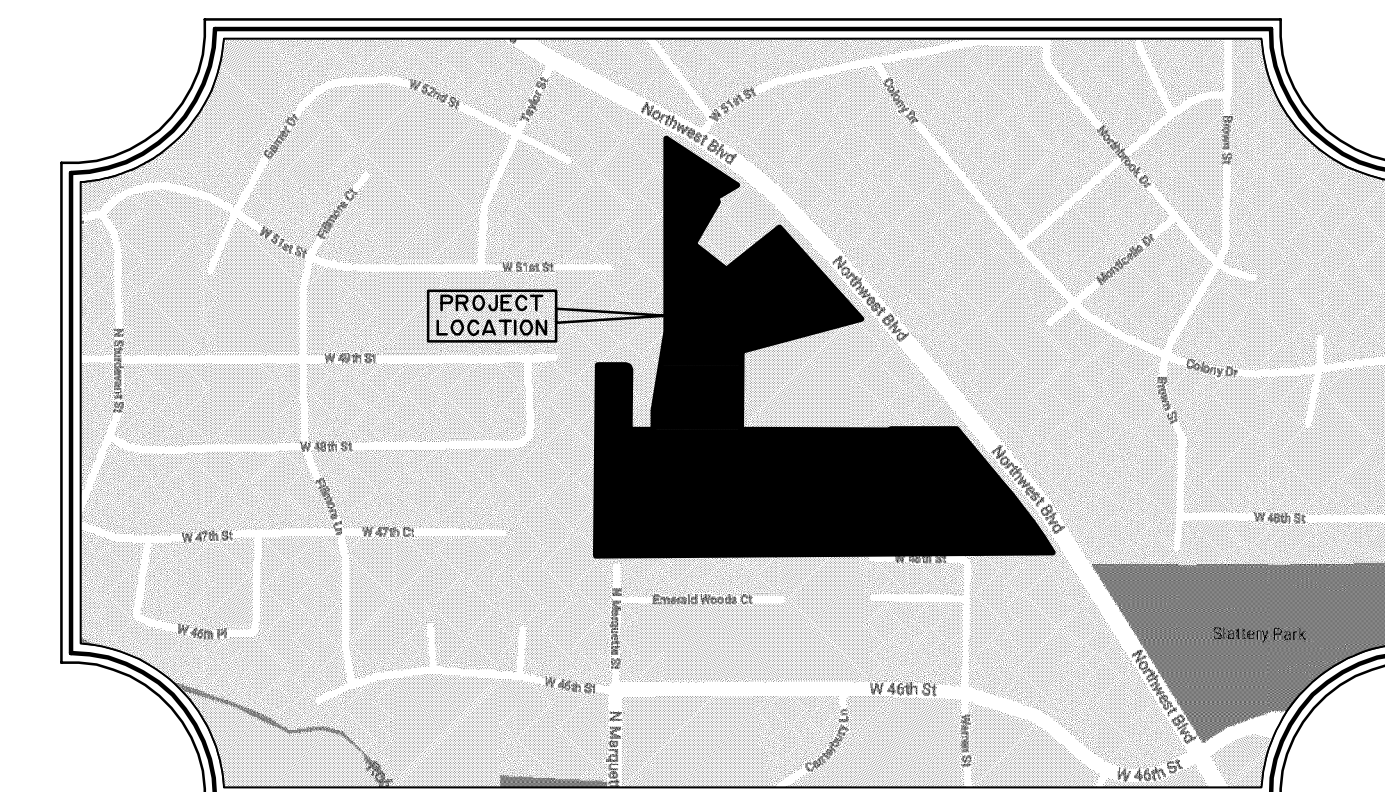
3211 EAST 35th STREET COURT

DAVENPORT, IOWA 52807

ATTN: MARY SENG

# PRELIMINARY PLAT OF SENG MEADOWS AN ADDITION TO THE CITY OF DAVENPORT, IOWA

BEING PART OF THE SOUTHEAST QUARTER OF SECTION 10 AND  
PART OF THE SOUTHWEST QUARTER OF SECTION 11  
TOWNSHIP 78 NORTH, RANGE 3 EAST OF THE 5th P.M.  
AND IN PART BEING A REPLAT OF OUTLOT 2  
EMERALD WOODS ADDITION



LOCATION MAP

ALL IMPROVEMENTS ARE TO BE INSTALLED IN ACCORDANCE WITH THE LATEST CITY OF DAVENPORT STANDARD SPECIFICATIONS AND DETAIL DRAWINGS.

ALL INTERIOR LOT DIMENSIONS ARE APPROXIMATE.

TOPOGRAPHY WAS DONE BY OTHERS.

SUBDIVISION CONTAINS 20.9 ACRES, MORE OR LESS.

FRONT YARDS WHERE SANITARY IS SHOWN SHALL HAVE A 15 FOOT SANITARY SEWER & UTILITY EASEMENT. FRONT YARDS WITHOUT SANITARY SEWER SHALL HAVE A 15 FOOT WATERMAIN & UTILITY EASEMENT. SIDE LOT LINES WITH SANITARY AND STORM SEWER SHALL HAVE A 30 FOOT SEWER & DRAINAGE EASEMENT. SIDE YARD WITH SUMP PUMP SEWER SHALL HAVE A 10 FOOT DRAINAGE EASEMENT CENTERED ON LOT LINE.

PROPOSED ZONING IS R-3 ( MODERATE DENSITY DWELLING DISTRICT ).

ALL SANITARY SEWER SHALL BE 8 INCH DIAMETER.

ALL WATERMAIN SHALL BE 8 INCH DIAMETER DUCTILE IRON PIPE.

ALL STORM WATER DETENTION SHALL BE DESIGNED AT THE TIME OF FINAL PLATTING.

THE CITY OF DAVENPORT CURRENTLY OWNS A 40 FOOT STRIP OF MARQUETTE STREET RIGHT OF WAY THAT IS INCLUDED HEREIN. LOTS 52 THROUGH 58 UTILIZE PART OF THAT RIGHT OF WAY.

## SURVEYOR

DAVID L. MEYER

VERBEKE - MEYER CONSULTING ENGINEERS, P.C.

4111 EAST 60th STREET

DAVENPORT, IOWA 52807

## PREPARED BY

**VERBEKE - MEYER  
CONSULTING ENGINEERS, P.C.**

4111 EAST 60th STREET

DAVENPORT, IOWA 52807

PHONE NUMBER: ( 563 ) 359 - 1348

VMCE 16322 - PRELIMINARY PLAT

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

Subject:

(Time open for citizens wishing to address the Commission on matters not on the established agenda)

Staff Workflow Reviewers

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/14/2018 - 5:56 PM

City of Davenport  
Plan and Zoning Commission

Department: Community Planning & Economic Development  
Contact Info: Matt Flynn 888-2286

**Date**  
**3/20/2018**

**Subject:**

- Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement.
- Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
- Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
- A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting: Tuesday, April 03, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

**Staff Workflow Reviewers**

**REVIEWERS:**

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	3/14/2018 - 5:59 PM