

HISTORIC PRESERVATION COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, MARCH 12, 2024; 5:00 PM

CITY HALL | 226 WEST 4TH STREET | COUNCIL CHAMBERS

I. Call to Order

II. Secretary's Report

A. Consideration of the February 13, 2024 meeting minutes.

III. Communications

IV. Old Business

V. New Business

A. Case COA24-02: Request to reconstruct the front yard retaining wall at 510 West 6th Street. The retaining wall is located within the Hamburg Local Landmark Historic District. Richard Stone, petitioner. [Ward 3]

B. Case COA24-03: Request for exterior alteration at 614 West 7th Street. The Otilie J. Meisner House is a contributing structure in the Hamburg Local Landmark Historic District. Darrell McCormick, petitioner. [Ward 3]

VI. Other Business

VII. Open Forum for Comment

VIII. Adjourn

IX. Next Commission Meeting: April 9, 2024

City of Davenport
Historic Preservation Commission

Department: Development & Neighborhood Services
Contact Info: Matt Werderitch 563.888.2221

Date
3/12/2024

Subject:
Consideration of the February 13, 2024 meeting minutes.

Recommendation:
Staff recommend approval of the February 13, 2024 meeting minutes.

Background:
The February 13, 2024 meeting minutes are attached.

ATTACHMENTS:

Type	Description
▢ Backup Material	Meeting Minutes 2-13-24

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Werderitch, Matt	Approved	3/4/2024 - 10:37 AM

HISTORIC PRESERVATION COMMISSION MEETING MINUTES

CITY OF DAVENPORT, IOWA

THURSDAY, FEBRUARY 13, 2024; 5:00 PM

CITY HALL | 226 WEST 4TH STREET | COUNCIL CHAMBERS

I. Call to Order

Chairperson McGivern called the meeting to order.

Present: McGivern, Kretz, Miranda, Hustedde, Powers

Excused: Bierman, Franken

Staff Present: Werderitch, Berkley

II. Secretary's Report

A. Consideration of the January 18, 2024 meeting minutes.

Motion by Powers, second by Kretz, to approve the January 18, 2023 meeting minutes.
Minutes were unanimously approved by voice vote (5-0).

III. Communications

IV. Old Business

V. New Business

A. 2023 Certified Local Government Annual Report

Werderitch presented the 2023 Certified Local Government Annual Report and highlights from the past year. The Commission reviewed the previous year's work plan and proposed revisions highlighting the improvement of online resources and resurveying historic districts. Staff will revise the work plan with the recommended feedback and submit a formal application to the State Historic Preservation Office by the February 29, 2024 deadline.

Motion by Hustedde, second by Kretz, to approve the 2023 Certified Local Government Annual Report with the recommended notes. Motion passed by a roll call vote (5-0).

VI. Other Business

A. Election of Chairperson

After a ballot vote, Commissioner Hustedde was elected Chairperson (5-0).

B. Election of Vice-Chairperson

After a ballot vote, Commissioner Kretz was elected Vice-Chairperson (5-0).

VII. Open Forum for Comment

VIII. Adjourn

Motion by Kretz, second by Powers, to adjourn the meeting. Motion passed by a voice vote (5-0). The meeting adjourned at 5:21 pm.

IX. Next Commission Meeting: March 12, 2024

City of Davenport
Historic Preservation Commission

Department: Development & Neighborhood Services
Contact Info: Matt Werderitch 563.888.2221

Date
3/12/2024

Subject:

Case COA24-02: Request to reconstruct the front yard retaining wall at 510 West 6th Street. The retaining wall is located within the Hamburg Local Landmark Historic District. Richard Stone, petitioner. [Ward 3]

Recommendation:

A recommendation is made to approve the Certificate of Appropriateness to reconstruct the front yard retaining wall at 510 West 6th Street as presented.

The project was reviewed for conformance with the Standards for Review, Chapter 14.01.060Cof the Davenport Municipal Code. The project meets the following standards:

- Deteriorated architectural features should, where possible, be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence.

Background:

Request: Remove the retaining wall at the south lot line. Construct a new retaining wall using Redi-Rock Ledge stone.

With assistance from Davenport's DREAM Project, the homeowner is hoping to reconstruct the retaining wall along 6th Street. Unlike the retaining wall to the north, this wall is located entirely on private property. The wall supports the historic Lambrite-Iles-Peterson House, which rests atop a bluff overlooking downtown and the Mississippi River.

The existing wall is severely deteriorated and collapsing over the public sidewalk. After evaluating the condition of the wall, Klingner & Associates determined the stone was not salvageable. In the interest of public safety, the firm recommended a new wall be constructed to address the underlying causes of damage.

Following the evaluation, the engineering firm designed a new retaining wall that matches the design of the wall at the top of the hill. The approximately 7 foot tall wall will span the length of the south property line. The surface will be Redi-Rock Ledge stone stained to match the historic color of the limestone. This product has been successful in previous applications due to its texture and resemblance to historic stones.

In addition, the proposed wall design will reestablish a staircase, providing access from the sidewalk up to the home. The existing staircase is unusable and stacked with rubble that has fallen from the wall. Once completed, the public sidewalk will also be replaced.

Hamburg Historic District Pattern Book:

"Retaining walls have been used extensively throughout the Hamburg District. The most common, and

most attractive, types are made of stone with a cap of stone. Railroad ties and “suburban”-type retaining walls do not fit in with the character of the Hamburg District. Concrete retaining walls are acceptable, but not favored. Walls of adequate height, consistent in materials, and adequate maintenance promote an interesting and charming public face.”

City Owned Retaining Wall at North Lot Line:

The Historic Preservation Commission approved the reconstruction of the retaining wall to the north of 510 West 6th Street at its March 8, 2022 meeting. The City owned wall, which supports the alley to the north, was structurally failing. With assistance from the Commission, the City proposed a new construction wall composed of Redi-Rock Ledge stone stained to match the historic color of the existing limestone. A wrought iron railing was installed at the top of the wall to replicate the design used on the adjacent staircase connecting 6th Street to Scott Street. Photos of the finished wall are attached.

The Commission requested the City salvage, to the greatest extent practicable, the limestone from the retaining wall for use on other City projects. The stones that were transported to the Marquette Street Public Works Facility are not in sufficient condition to be utilized for structural support on retaining walls. The City will continue to explore other options for this stone.

ATTACHMENTS:

Type	Description
▣ Backup Material	Application
▣ Backup Material	Retaining Wall Plan Set
▣ Backup Material	Background Materials & Photos
▣ Backup Material	Redi-Rock Steps
▣ Backup Material	Hamburg Historic District Pattern Book-Retaining Walls
▣ Backup Material	Historic Property Inventory Sheet
▣ Backup Material	Historic Preservation Ordinance-Review Standards

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Werderitch, Matt	Approved	3/8/2024 - 3:00 PM



CITY OF DAVENPORT
Development & Neighborhood
Services – Planning
1200 E. 46th St
Davenport, IA 52807

Office 563.326.6198
planning@davenportiowa.com

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

HISTORIC PRESERVATION COMMISSION

APPLICANT INFORMATION			
Application Name	BRIEF OVERVIEW OF THE PROJECT (not a scope of work)		
Address			
City State Zip			
Phone			
Secondary Phone			
E-Mail Address	APPLICABILITY PRIOR to any work on applicable Historic Resources: <i>A Certificate of Appropriateness must be submitted & approved PRIOR to the commencement of the following:</i> <ul style="list-style-type: none">Any Building or Sign Permit changing the exterior (except demo)New construction/Addition or exterior alteration of a structureSign installation or alteration Demolition of any local or national historic resources shall require a Historic Demolition Request Application		
Acceptance of Applicant I, the undersigned, certify that the information on this application to the best of my knowledge is true and correct. I further certify that I have a legal interest in the property in question, and/or that I am legally able to represent all other persons or entities with interest in this property, and acknowledge formal procedure and submittal requirements. I understand I am responsible for attendance at the meeting as shown on the historic preservation commission calendar. The City reserves the right to require further site studies as necessary. By checking this box and typing my name below, I am electronically signing this application. <div><div>Type Applicant's Name here to serve as a signature</div><div>Date</div></div>		ALL SUBMITTALS SHALL INCLUDE: Full Scope of Work (SOW) attached as a .PDF all work & materials shall be described & itemized/listed in detail Photos or renderings of all existing building/sign façades Proposed color building/sign elevations to scale rendered showing existing and/or proposed building materials Material specs: type, dimensions, color & manufacturer MINOR & MAJOR ADDITIONS, SITE IMPROVEMENTS, & NEW BUILDINGS SHALL INCLUDE ADDITIONAL ITEMS*: Dimensioned Site Plan (proposed & existing buildings/site items) Grading Plan with 2 foot intervals (if needed) Mechanical Screening shall be shown Materials Board of sample building materials proposed <small>* Major Additions & New Buildings may require more extensive information</small>	SUBMITTED
DEVELOPMENT TEAM			
Property Owner			
Address			
Phone	Secondary Phone		
E-Mail Address			
Project Manager/Other			
Address			
Phone	Secondary Phone		
E-Mail Address			
Formal Procedure			
Application Fee: NONE			
(1) Application: <ul style="list-style-type: none">Prior to submission of the application, the applicant shall correspond with Planning staff to discuss the request, potential alternatives and the process.The submission of the application does not constitute official acceptance by the City of Davenport. Planning staff will review the application for completeness and notify the applicant that the application has been accepted or additional information is required. <u>Inaccurate or incomplete applications may result in delay of applicant's scheduled meetings.</u>			
(2) Scope of Commission's Consideration: <ul style="list-style-type: none">Only work described in the application may be approved.If insufficient information exists to make a proper judgment on the application, the Commission may continue the consideration a maximum of 60 days, excluding applicant's continuances.			
(3) Post Commission Ruling: <ul style="list-style-type: none">An approved Cert. of Appropriateness does not constitute a City permit or license and does vest against any other land development regulation or regulatory approval. Applicant must contact necessary development authorities.Appeals to determinations are \$75 made to City Council and shall be in writing submitted to the Zoning Administrator within 30 calendar days of Commission's decision.			
Submit this form with attachments to: planning@davenportiowa.com			

HPC Meeting Calendar | 2024

HISTORIC PRESERVATION COMMISSION | CITY OF DAVENPORT IOWA

The Applicant and/or their representatives are required to attend the HPC Meeting

Meetings are generally held the 2nd Tuesday of each month

Submittal

Friday (12:00 PM)

Email application to: planning@davenportiowa.com

or deliver application to: Planning | Public Works

1200 E 46th St | Davenport IA 52807

Meeting

Tuesday (5:00 PM)

Meeting Appearance is REQUIRED at:

Council Chambers | City Hall

226 W 4th St | Davenport IA 52801

General Business Requests

(certificates, demolition reviews, national nominations)

12/29/23	01/09/24
02/02/24	02/13/24
03/01/24	03/12/24
03/29/24	04/09/24
05/03/24	05/14/24
05/31/24	06/11/24
06/28/24	07/09/24
08/02/24	08/13/24
08/30/24	09/10/24
09/27/24	10/08/24
11/01/24	11/12/24
11/29/24	12/10/24

Local Landmark Requests

11/24/23	01/09/24
12/29/23	02/13/24
01/26/24	03/12/24
02/23/24	04/09/24
03/29/24	05/14/24
04/26/24	06/11/24
05/24/24	07/09/24
06/28/24	08/13/24
07/26/24	09/10/24
08/23/24	10/08/24
09/27/24	11/12/24
10/25/24	12/10/24

** Date changed due to observed holiday | Any and all Date/Location/Time are subject to change*

Contact planning@davenportiowa.com to submit completed applications or to confirm meeting date/time

Phone Contact: 563.326.6198

RETAINING WALL REPLACEMENT

510 WEST 6TH STREET DAVENPORT, IA

FOR:
CITY OF DAVENPORT

BY STRUCTURAL ENGINEER:

KLINGNER & ASSOCIATES P.C.
4111 East 60th Street
Davenport, Iowa 52807
Phone: (563) 359-1348



ABBREVIATIONS

&	AND	LG	LONG
AB	ANCHOR BOLT	LL	LIVE LOAD
ALT	ALTERNATE	LLH	LONG LEG HORIZONTAL
ARCH	ARCHITECT	LLV	LONG LEG VERTICAL
@	AT	LONG	LONGITUDINAL
		LWC	LIGHT WEIGHT CONCRETE
BLDG	BUILDING		
BM	BEAM	MAX	MAXIMUM
BO	BOTTOM OF	MECH	MECHANICAL
BOT	BOTTOM	MIN	MINIMUM
BRG	BEARING		
BRDG	BRIDGING		
BTW	BETWEEN	NO (#)	NUMBER
BYD	BEYOND	NTS	NOT TO SCALE
		OC	ON CENTER
		OH	OPPOSITE HAND
		OPNG	OPENING
		OPP	OPPOSITE
CIP	CAST IN PLACE		
CJ	CONSTRUCTION JOINT	PAR	PARALLEL
CL (C)	CENTERLINE	PEMB	PRE-ENGINEERED METAL BUILDING
CLR	CLEAR	PERP	PERPENDICULAR
CMU	CONCRETE MASONRY UNIT	PL (P)	PLATE
COL	COLUMN	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PT	PRESSURE TREATED
CTR	CENTER		
DBA	DEFORMED BAR ANCHOR		
DBL	DOUBLE	REINF	REINFORCING
DIA (D)	DIAMETER	RO	ROUGH OPENING
DIAPH	DIAPHRAGM	RTU	ROOF TOP UNIT
DL	DEAD LOAD		
DWLS	DOWELS	SCH	SCHEDULE
		SIM	SIMILAR
EA	EACH	SL (S)	STEEL LINE
EF	EACH FACE	STAGG	STAGGERED
ELEV (EL)	ELEVATION	STD	STANDARD
EMBED	EMBEDMENT	STIFF	STIFFENER
EW	EACH WAY		
EX	EXISTING	TBR	TO BE REMOVED
		THK	THICK
FB	FIELD BEND	THRU	THROUGH
FDN	FOUNDATION	TO	TOP OF
FF	FINISHED FLOOR	TOF	TOP OF FOOTING
FLR	FLOOR	TOS	TOP OF STEEL
FTG	FOOTING	TOW	TOP OF WALL
FV	FIELD VERIFY	TRANS	TRANSVERSE
		TYP	TYPICAL
GA	GAUGE		
GALV	GALVANIZED	UNO	UNLESS OTHERWISE NOTED
HDG	HOT DIP GALVANIZED	VERT	VERTICAL
HDR	HEADER		
HGR	HANGER	W/	WITH
HORIZ	HORIZONTAL	WF	WIDE FLANGE
HS	HEADED STUD	W/O	WITHOUT
HSS	HOLLOW STRUCTURAL SECTION	WP	WORKING POINT
HT	HEIGHT	WWF	WELDED WIRE FABRIC
		W.R.	WATER REDUCER
ID	INSIDE DIAMETER		
JST	JOIST		

GENERAL NOTES

- THE CONTRACTOR(S) SHALL CONFIRM CONDITIONS DESCRIBED HEREIN AND TELL THE ARCHITECT OF ANY DISCREPANCIES AND INTERFERENCES ENCOUNTERED PRIOR TO STARTING WORK AFFECTED THEREBY.
- THE CONTRACTOR(S) SHALL FIELD VERIFY EXISTING DIMENSIONS AND CONDITIONS AND TELL THE ARCHITECT OF ANY DISCREPANCIES AND INTERFERENCES ENCOUNTERED PRIOR TO STARTING WORK AFFECTED THEREBY.
- THE CONTRACTOR(S) SHALL MEET ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO:
2015 INTERNATIONAL BUILDING CODE
2015 INTERNATIONAL RESIDENTIAL CODE
2015 INTERNATIONAL EXISTING BUILDING CODE
2015 INTERNATIONAL FIRE CODE
2014 NATIONAL ELECTRIC CODE
2015 INTERNATIONAL MECHANICAL CODE
2015 UNIFORM PLUMBING CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN
- THE CONTRACTOR(S) SHALL BE RESPONSIBLE FOR OSHA COMPLIANCE AND JOB SITE SAFETY.
- CONTRACTOR(S) SHALL VERIFY LOCATIONS OF ALL UTILITIES (TELEPHONE, DATA, GAS, ELECTRIC, SANITARY AND STORM SEWERS, ETC.) AT THE SITE BEFORE STARTING EXCAVATION OR CONSTRUCTION. THESE ITEMS SHALL BE MARKED AND PROTECTED.
- THE CONTRACTOR(S) SHALL REPORT ANY SUSPICIOUS MATERIALS (POTENTIALLY HAZARDOUS) AT THE SITE IMMEDIATELY TO THE OWNER FOR HIS/HER FURTHER ACTION. UNLESS NOTED SPECIFICALLY ON THE DRAWINGS OR PROJECT MANUAL, THE ARCHITECT/ENGINEER IS NOT AWARE OF ANY HAZARDOUS MATERIALS AND HAS NOT BEEN HIRED BY THE OWNER TO DEAL WITH SUCH.
- CONTRACTOR(S) SHALL TAKE PRECAUTIONS NECESSARY TO PROTECT ADJACENT PROPERTY FROM DAMAGE RESULTING FROM CONSTRUCTION OPERATIONS.
- THE CONTRACTOR(S) SHALL SUBMIT EVIDENCE OF INSURANCE TO OWNER AND HAVE IT APPROVED AS ACCEPTABLE TO OWNER PRIOR TO STARTING WORK. OWNER AND ARCHITECT SHALL BE NAMED AS ADDITIONAL INSURED.
- CONTRACTOR(S) SHALL BE RESPONSIBLE FOR SIGNS, BARRICADES, AND FENCING REQUIRED TO CLOSE THE SIDEWALK DURING CONSTRUCTION AND KEEP THE PEDESTRIANS OUT OF THE WORK AREA. SEE SUDAS 8030 & SUDAS FIGURE 8030.117.
- APPROVAL BY THE CITY TO PERFORM THE WORK AS INDICATED HEREIN DOES NOT CONSTITUTE PERMISSION TO PERFORM WORK IN ADJOINING PROPERTIES. IF WORK ON ADJOINING PROPERTY IS REQUIRED, OWNER OF ADJOINING PROPERTY MUST GRANT PERMISSION FOR CONTRACTOR TO PERFORM THIS WORK ON THEIR PROPERTY.

NOTATION AND SYMBOL DESIGNATIONS

VIEW INDICATOR	CENTER LINE
DETAIL INDICATOR	ROOM NAME
	ROOM INDICATOR
SECTION INDICATOR	DOOR INDICATOR
	WALL TYPE INDICATOR
	WINDOW TYPE INDICATOR
EXTERIOR ELEVATION INDICATOR	NOTE INDICATOR
INTERIOR ELEVATION INDICATOR	BUILDING GRID INDICATOR

STATEMENT OF COMPLIANCE

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. (Signature) 2/21/24 (Date)
	Lisa M. Pogue, P.E. LICENSE NUMBER: P28240 MY LICENSE RENEWAL DATE IS: DECEMBER 31, 2024 PAGES OR SHEETS COVERED BY THIS SEAL: G001, A-01, EX-01, P&P-01, TS-01, XS-01, XS-02, XS-03, S001, S002, S101, S102, S501, S502

REPLACEMENT WALL DESIGN OPTIONS

- TWO REPLACEMENT WALL OPTIONS ARE PROVIDED WITHIN THIS CONSTRUCTION DOCUMENT SET: 1) CAST-IN-PLACE WALL AND 2) REDI-ROCK MODULAR BLOCK WALL. ONLY ONE WALL OPTION IS TO BE CHOSEN.
- NOTES FROM THIS DRAWING SET INCLUDING THOSE ON SHEETS A-01, S001, AND S002 SHALL BE OBSERVED FOR BOTH WALL OPTIONS AS APPLICABLE. SHOULD ANY PROJECT NOTES CONFLICT WITH ONE ANOTHER, OR ANY DETAILS, OR INSTRUCTIONS ON PLANS, THE STRICTEST PROVISION SHALL GOVERN.

SHEET INDEX

SHEET NUMBER	SHEET NAME
G001	TITLE SHEET
A-01	REDI-ROCK RETAINING WALL NOTES
EX-01	EXISTING CONDITIONS
P&P-01	REDI-ROCK RETAINING WALL PLAN AND PROFILE
TS-01	REDI-ROCK RETAINING WALL TYPICAL SECTIONS
XS-01	REDI-ROCK RETAINING WALL CROSS SECTIONS 1
XS-02	REDI-ROCK RETAINING WALL CROSS SECTIONS 2
XS-03	REDI-ROCK RETAINING WALL CROSS SECTIONS 3
S001	STRUCTURAL NOTES
S002	STRUCTURAL NOTES
S101	CAST-IN-PLACE RETAINING WALL PLANS
S102	CAST-IN-PLACE RETAINING WALL PLANS
S501	CAST-IN-PLACE RETAINING WALL STRUCTURAL DETAILS
S502	CAST-IN-PLACE RETAINING WALL STRUCTURAL DETAILS

KLINGNER
& ASSOCIATES, P.C.
Engineers • Architects • Surveyors
Davenport, Iowa
4111 East 60th St
563.359.1348
www.klingner.com
Quincy, IL Galesburg, IL Burlington, IA
Pella, IA Hammbal, IL Columbia, MO

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REVISION HISTORY

Δ	DESCRIPTION	DATE	APPR
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ISSUED FOR **01/25/2024**
CONSTRUCTION DOCUMENTS

RETAINING WALL REPLACEMENT
CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

Non-Reduced Sheet Size 22" x 34"

Full sized plans have been prepared using standard scales. Reduced sized plans may not conform to standard scales.

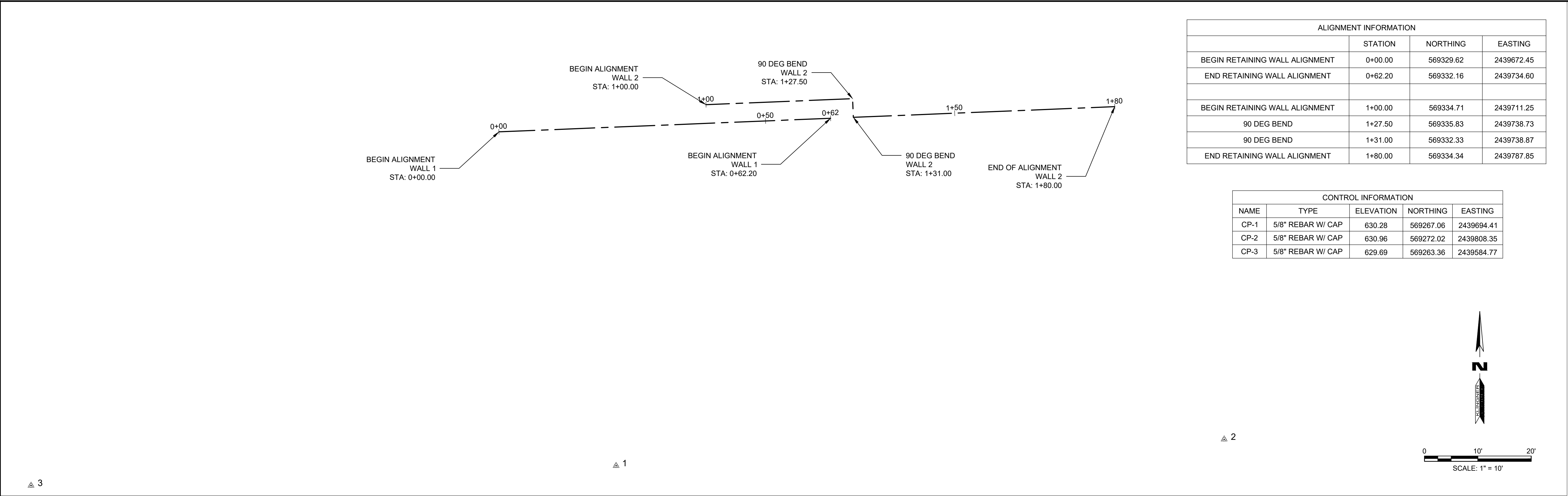
DESIGNED LMP	DRAWN LMP
FIELD	FIELD BOOK
CHECKED ADL	CHECK DATE 01/24/24

SHEET TITLE

TITLE SHEET

PROJECT NO.
23-6014.004
DRAWING ISSUED DATE:
01/25/2024
SHEET

G001



ALIGNMENT INFORMATION			
	STATION	NORTHING	EASTING
BEGIN RETAINING WALL ALIGNMENT	0+00.00	569329.62	2439672.45
END RETAINING WALL ALIGNMENT	0+62.20	569332.16	2439734.60
BEGIN RETAINING WALL ALIGNMENT	1+00.00	569334.71	2439711.25
90 DEG BEND	1+27.50	569335.83	2439738.73
90 DEG BEND	1+31.00	569332.33	2439738.87
END RETAINING WALL ALIGNMENT	1+80.00	569334.34	2439787.85

CONTROL INFORMATION				
NAME	TYPE	ELEVATION	NORTHING	EASTING
CP-1	5/8" REBAR W/ CAP	630.28	569267.06	2439694.41
CP-2	5/8" REBAR W/ CAP	630.96	569272.02	2439808.35
CP-3	5/8" REBAR W/ CAP	629.69	569263.36	2439584.77

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REVISION HISTORY			
MARK	DESCRIPTION	DATE	APPR

CONSTRUCTION DOCUMENTS NTS

RETAINING WALL REPLACEMENT CITY OF DAVENPORT 510 WEST 6TH STREET DAVENPORT, IA

Non-Reduced Sheet Size: 22" x 34"
Full size plans have been prepared using standard scales.
Reduced size plans may not conform to standard scales.

DESIGNED NWK	DRAWN NWK
FIELD	FIELD BOOK
CHECKED LMP	CHECK DATE 02/21/2024

SHEET TITLE REDI-ROCK RETAINING WALL NOTES

PROJECT NO. 23-6014.004
DRAWING ISSUED DATE: 02/21/2024
SHEET

A-01

GENERAL NOTES

- ALL IMPROVEMENTS SHOWN ON THESE ENGINEERING PLANS SHALL COMPLY WITH THE CITY OF DAVENPORT DESIGN AND SPECIFICATIONS, LATEST EDITION.
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS, REVIEW OF EXISTING PUBLIC RECORDS, AND FIELD INVESTIGATION. THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH PRESENTLY IS NOT KNOWN OR SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT EACH UTILITY COMPANY FOR THE FIELD LOCATION OF THEIR EXISTING LINES IN OR NEARBY THE CONSTRUCTION AREA PRIOR TO BEGINNING ANY CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL EXISTING UTILITIES AND PAVED STREETS, INCLUDING ANY NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER IF ANY CONFLICTS WITH THE DRAWINGS OCCUR. ANY DAMAGE TO EXISTING UTILITIES AND/OR PAVED STREETS CAUSED BY TRENCHING AND GRADING OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. EXISTING UTILITY LOCATIONS SHOWN ON THE DRAWINGS ARE APPROXIMATE.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREAS, NOT ALLOWING WATER TO POND. DO NOT ALLOW WATER TO DRAIN OR TO POND ONTO ADJOINING PROPERTY OR PUBLIC RIGHT-OF-WAY.
- ALL DEBRIS RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE PROPERLY DISPOSED OF OFF-SITE.
- THE CONTRACTOR SHALL EXERCISE PROPER CAUTION TO PROTECT THE EXISTING IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE.
- THE CONTRACTOR SHALL MAKE A REASONABLE EFFORT TO PRESERVE AND PROTECT EXISTING STONE BLOCKS. BLOCKS ARE TO BECOME PROPERTY OF THE HOME OWNER. COORDINATE WITH HOMEOWNER FOR STORAGE.
- CONTRACTOR SHALL INSTALL, MAINTAIN, AND REMOVE TEMPORARY SAFETY FENCING ON TOP OF THE WALL UNTIL PERMANENT FENCING IS INSTALLED
- ALL NECESSARY SURVEY SHALL BE PERFORMED BY THE CONTRACTOR AND THE COST SHALL BE INCIDENTAL TO THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SIGNS, BARRICADES AND FENCING REQUIRED TO CLOSE THE SIDEWALK DURING CONSTRUCTION AND KEEP PEDESTRIANS OUT OF THE WORK AREA. REFER TO SUDAS 8030 AND SUDAS FIG 8030.117

RETAINING WALL REMOVAL AND SALVAGE

- THIS ITEM SHALL INCLUDE ALL LABOR, EQUIPMENT, AND MATERIAL NECESSARY TO REMOVE AND STOCKPILE EXISTING FACE WALL STONES. CARE SHALL BE TAKEN TO NOT DAMAGE STONES OR ADJACENT PAVEMENT AND STRUCTURES.
- ALL SALVAGEABLE STONES AS DETERMINED BY THE ENGINEER SHALL BECOME PROPERTY OF THE HOMEOWNER. IF HOMEOWNER DOES NOT WANT TO TAKE OWNERSHIP OF THE SALVAGED STONE THE STONE IS TO BE TAKEN TO THE CITY YARD AT 232 S MARQUETTE ST., COORDINATE DELIVERY WITH THE ENGINEER. STONES SHALL BE REMOVED AND HANDLED IN A MANNER THAT PROTECTS THE ADJACENT PROPERTY AND PRESERVES THE STONES TO THE GREATEST EXTENT POSSIBLE FOR STOCKPILING AND USE IN OTHER LOCATIONS. THE CONTRACTOR SHALL SUBMIT THEIR PROPOSED MEANS AND METHODS TO THE ENGINEER FOR APPROVAL PRIOR TO COMMENCING WORK.
- SALVAGED FACE STONES SHALL BE SEPARATED FROM OTHER MATERIAL AS PRACTICABLE. AT THE CITY STOCKPILE SITE THE STONES SHALL BE CAREFULLY DEPOSITED TO LIMIT DAMAGE. STONES DO NOT NEED TO BE STACKED.
- DELIVERY TO HOME OWNER OR TO THE CITY STOCKPILE AT 232 S MARQUETTE ST SHALL BE CONSIDERED INCIDENTAL TO THIS ITEM.
- PAYMENT FOR THIS ITEM WILL BE CALCULATED BY THE EXISTING SURFACE FACE AND PAYMENT WILL BE MADE BY THE PLAN QUANTITY AND WILL NOT BE MEASURED.
- STONES DETERMINED TO BE UNSALVAGEABLE BY THE ENGINEER ARE TO BECOME PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DIRECTED BY HOMEOWNER.

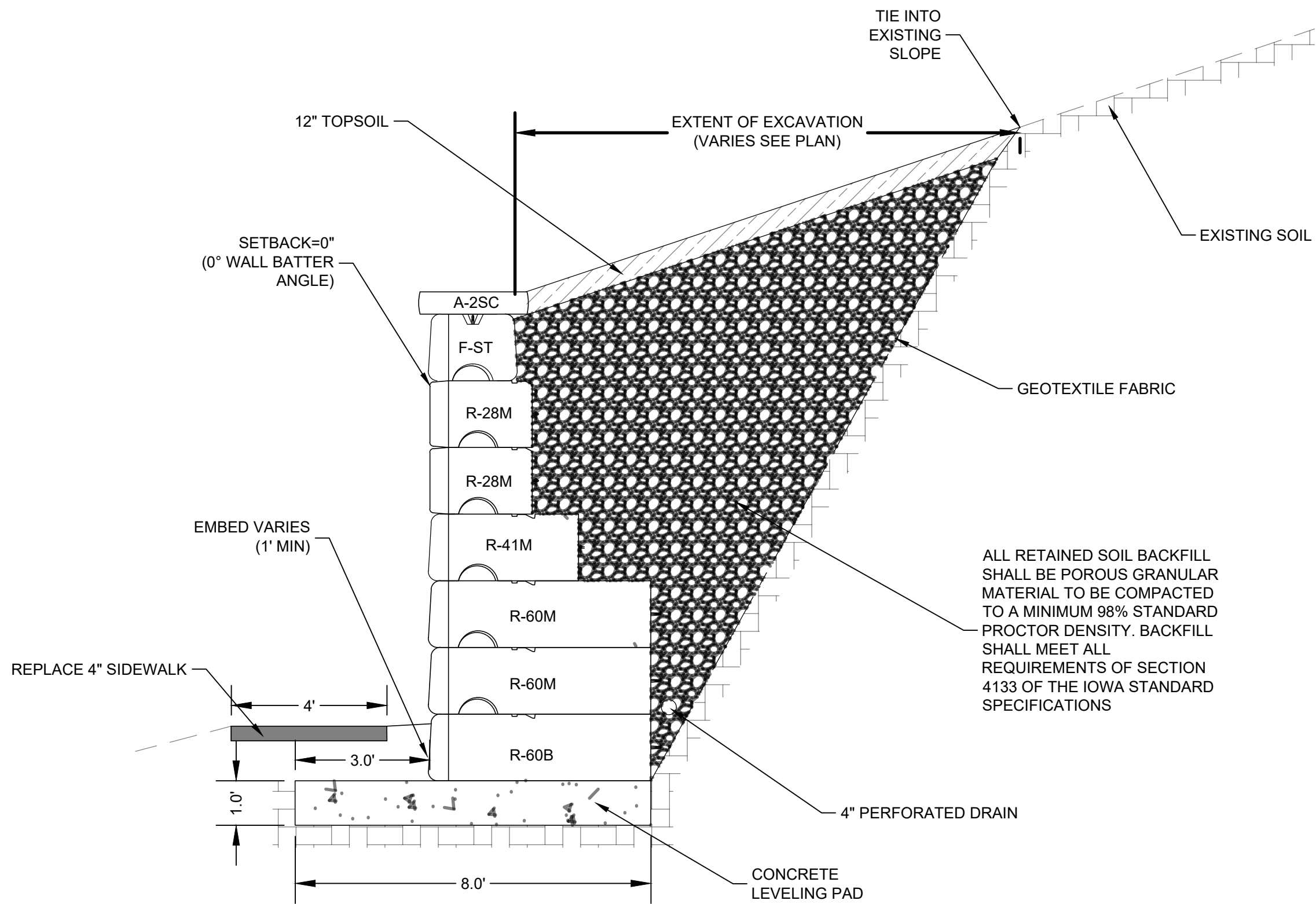
REDI-ROCK RETAINING WALL

- THIS ITEM SHALL INCLUDE ALL LABOR, EQUIPMENT, AND MATERIAL NECESSARY TO CONSTRUCT GRAVITY RETAINING WALL AS IDENTIFIED ON THE PLANS, CONSISTING OF REDI-ROCK BLOCKS TO THE LINES AND GRADE SHOWN ON THE CONSTRUCTION PLANS. THIS SHALL INCLUDE CONSTRUCTION OF THE CONCRETE BASE LEVELING PAD, INSTALLATION OF THE BLOCKS, GRANULAR BACKFILL, GEOTEXTILE FABRIC, 4" DRAIN TILE, MISC. DRAIN RECONNECTS & WALL PENETRATION.
- THE REDI-ROCK BLOCK WALL SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS:
- CONCRETE BLOCK: 4,000 PSI 28 DAY COMPRESSIVE STRENGTH, 4.5 TO 7.5 PERCENT ENTRAINED AIR BY VOLUME. WEIGHING 145 LBS/CF.
- TEXTURE AND COLOR: LEDGESTONE TEXTURE STAINED TO MATCH EXISTING LIMESTONE WALL TO BE APPROVED BY OWNER PRIOR TO PLACING ORDER
- THE RETAINING WALL SHALL BE CONSTRUCTED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. INSTALLER OF WALL SYSTEM SHALL HAVE HAD PREVIOUS EXPERIENCE WITH THIS TYPE OF WALL CONSTRUCTION.

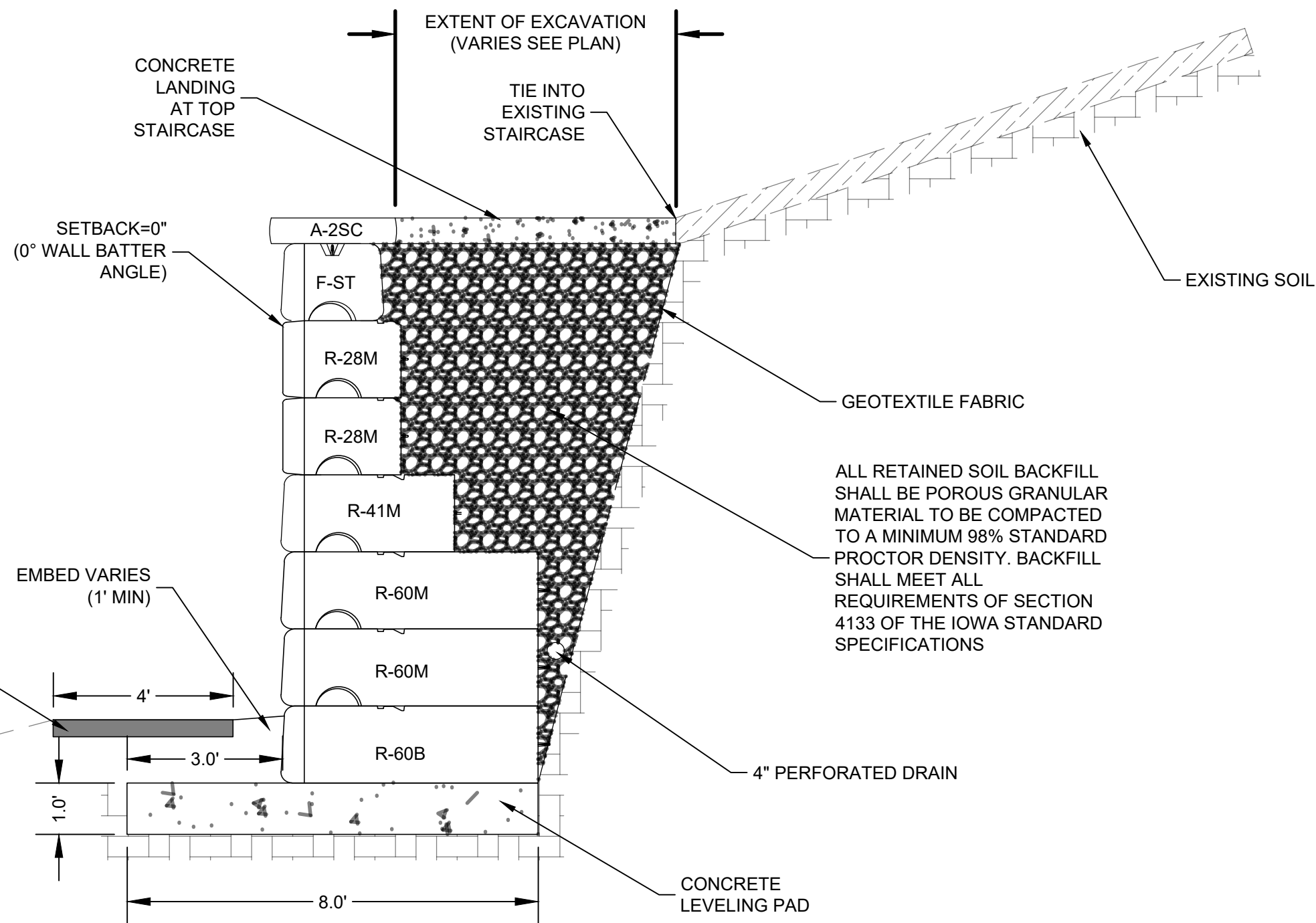
- WALL SHALL BE DESIGNED AND CONSTRUCTED PER SUDAS 9071. THIS REQUIRES THE CONTRACTOR TO SUPPLY A STAMPED DESIGNED PER SECTIONS 1.03-B AND 1.07-A. IN THE EVENT A MANUFACTURE RECOMMENDATION CONTRADICTS SUDAS SPECIFICATIONS USE SUDAS SPECIFICATION .
- BLOCKS SHALL BE FREE OF STAINS, DEFECTS, CRACKS, AND/OR CHIPS
- THE CONTRACTOR SHALL EXCAVATE TO THE LINES SHOWN ON THE PLANS BEING CAREFUL NOT TO DISTURB EMBANKMENT MATERIALS BEYOND LIMITS NEEDED. OVER EXCAVATION SHALL NOT BE PAID FOR, AND REPLACEMENT WITH COMPACTED FILL AND/OR WALL SYSTEM COMPONENTS WILL BE REQUIRED AT CONTRACTOR EXPENSE. THE COST OF EXCAVATION BEHIND THE RETAINING WALL SHALL BE INCIDENTAL TO THIS PAY ITEM. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING ANY TEMPORARY SHORING REQUIRED TO MAINTAIN EXCAVATION AND/OR PROTECT ADJACENT PROPERTY AND UTILITIES.
- RUBBLE BACKFILL IS EXPECTED TO EXIST BEHIND THE WALL. REMOVAL OF THIS RUBBLE SHALL BE INCLUDED IN THE BID PRICE FOR EXCAVATION.
- THE BASE LEVELING PAD SHALL BE CONSTRUCTED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND SHALL BE A MINIMUM THICKNESS OF 1 FOOT OF UNREINFORCED CONCRETE.
- ALL DISTURBED AREAS SHALL BE GRADED SMOOTH AND READY TO BE SEEDED OR PAVED.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND ADJUST EXISTING UTILITIES. IF INTERRUPTION OF SERVICES IN WARRANTED, A 48 HOUR NOTICE IS REQUIRED.
- NO DEBRIS OR MATERIALS ARE TO BE STORED OR LEFT ON-SITE OR ON ADJACENT PROPERTIES WITHOUT PERMISSION FROM THE OWNER.
- GEOTEXTILE FABRIC
 - GEOTEXTILE FABRIC BE MIRAFI 180N OR EQUIVALENT AND SHALL MEET THE PROPERTIES SPECIFIED BY THE MANUFACTURE
 - ALL GEOTEXTILE SEAMS SHALL BE OVERLAPPED BY A MINIMUM OF 12 INCHES
- DRAIN SYSTEM
 - DRAINS SHALL BE 4" HDPE OR PVC PERFORATED PIPE
 - USE NON-PERFORATED PIPE TO OUTLET THROUGH THE FACE OF THE WALL
 - PIPE FITTINGS SHALL BE INSTALLED PER MANUFACTURES RECOMENDATIONS
 - THE DRAIN SHALL BE PLACED AS TO MAINTAIN A GRAVITY FLOW (1% MINIMUM)
 - DRAIN OUTLETS SHALL HAVE RODENT GUARDS

CONTINGENCY

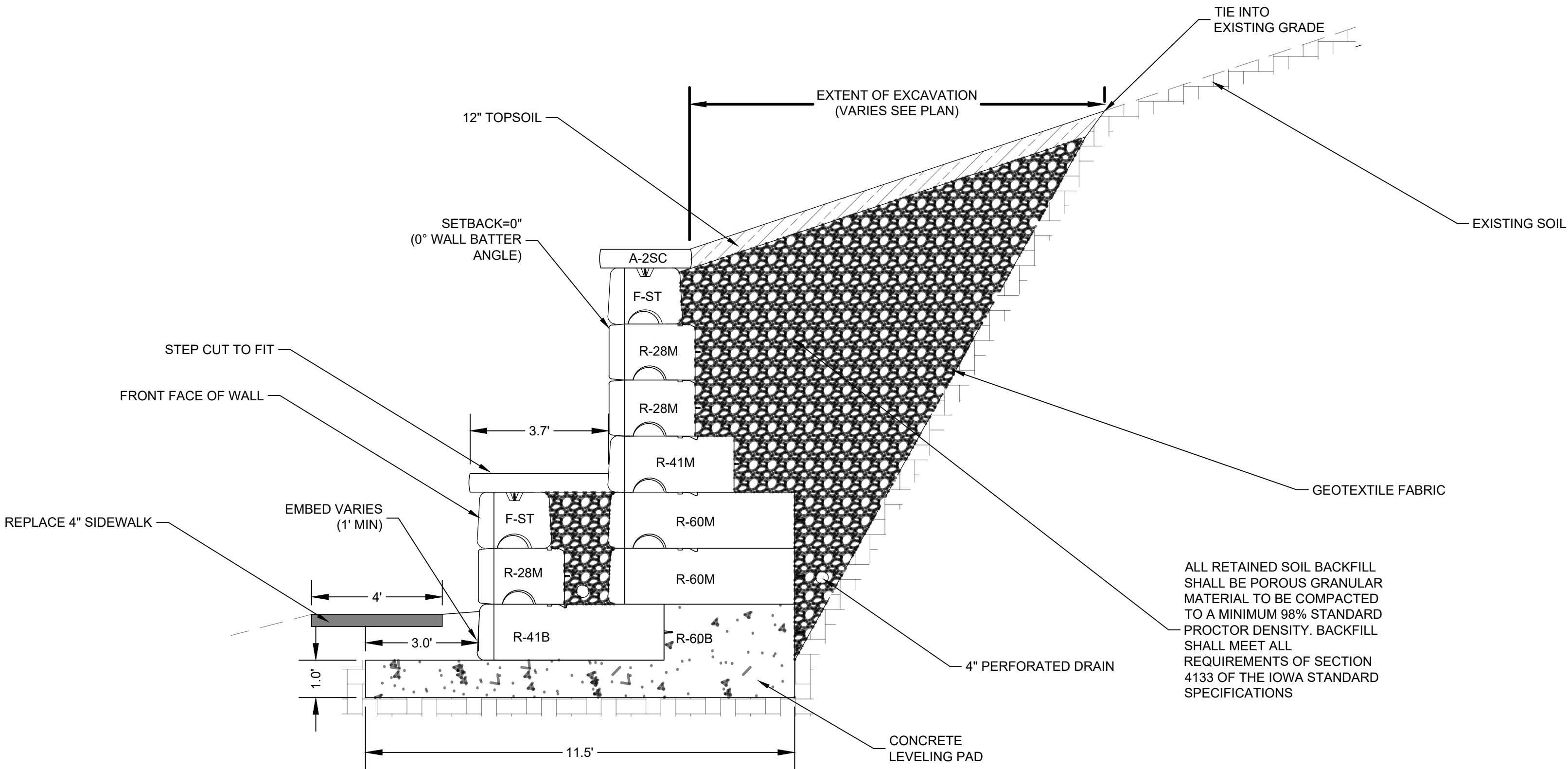
- THIS ITEM SHALL INCLUDE THE COST OF ALL LABOR, EQUIPMENT, AND MATERIALS REQUIRED FOR UNFORESEEN CIRCUMSTANCES. THIS ITEM SHALL BE USED ONLY WITH PRIOR AUTHORIZATION AND WRITTEN APPROVAL OF THE ENGINEER
- THIS ITEM SHALL BE BID PER LUMP SUM IN THE AMOUNT OF \$15,000
- PAYMENT FOR THIS ITEM SHALL BE MADE UPON APPROVED INDIVIDUAL INSTANCES.



SECTION A-A



SECTION B-B



SECTION C-C

NOTES:

- FOLLOW MANUFACTURER RECOMMENDATIONS FOR ANCHORING FREESTANDING BLOCK AND TWO SIDED CAP

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REVISION HISTORY

MARK	DESCRIPTION	DATE	APPR
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CONSTRUCTION DOCUMENTS
NTS

RETAINING WALL REPLACEMENT
CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

Non-Reduced Sheet Size: 22" x 34"

Full sized plans have been prepared using standard scales
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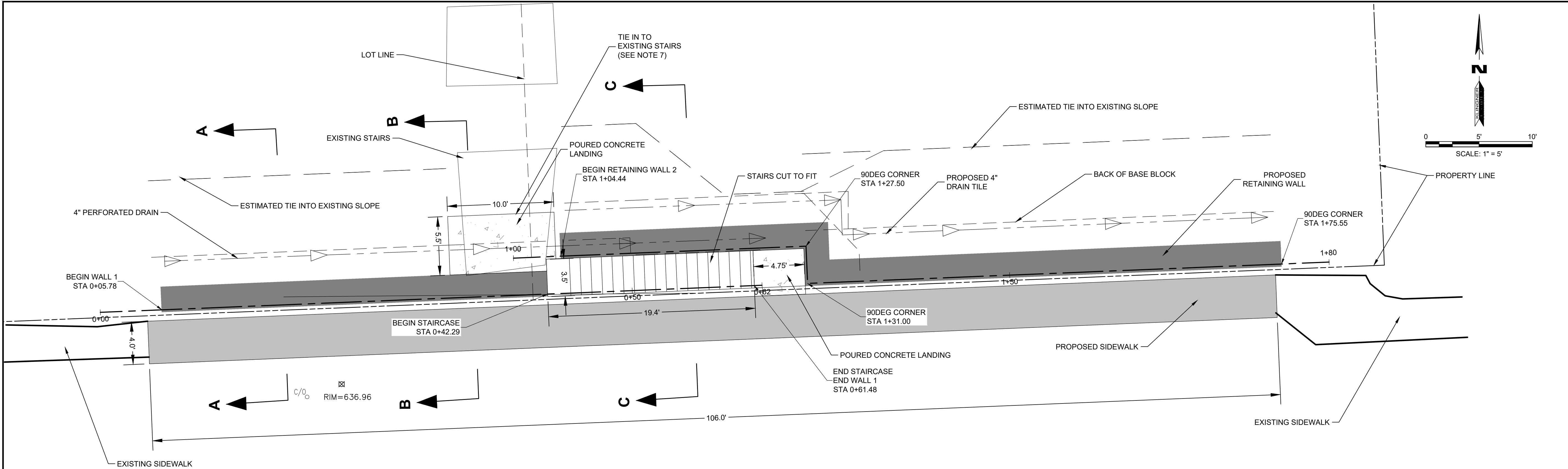
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NWK	NWK
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CHECKED	CHECK DATE
LMP	02/21/2024

SHEET TITLE

REDI-ROCK
RETAINING WALL
TYPICAL SECTIONS

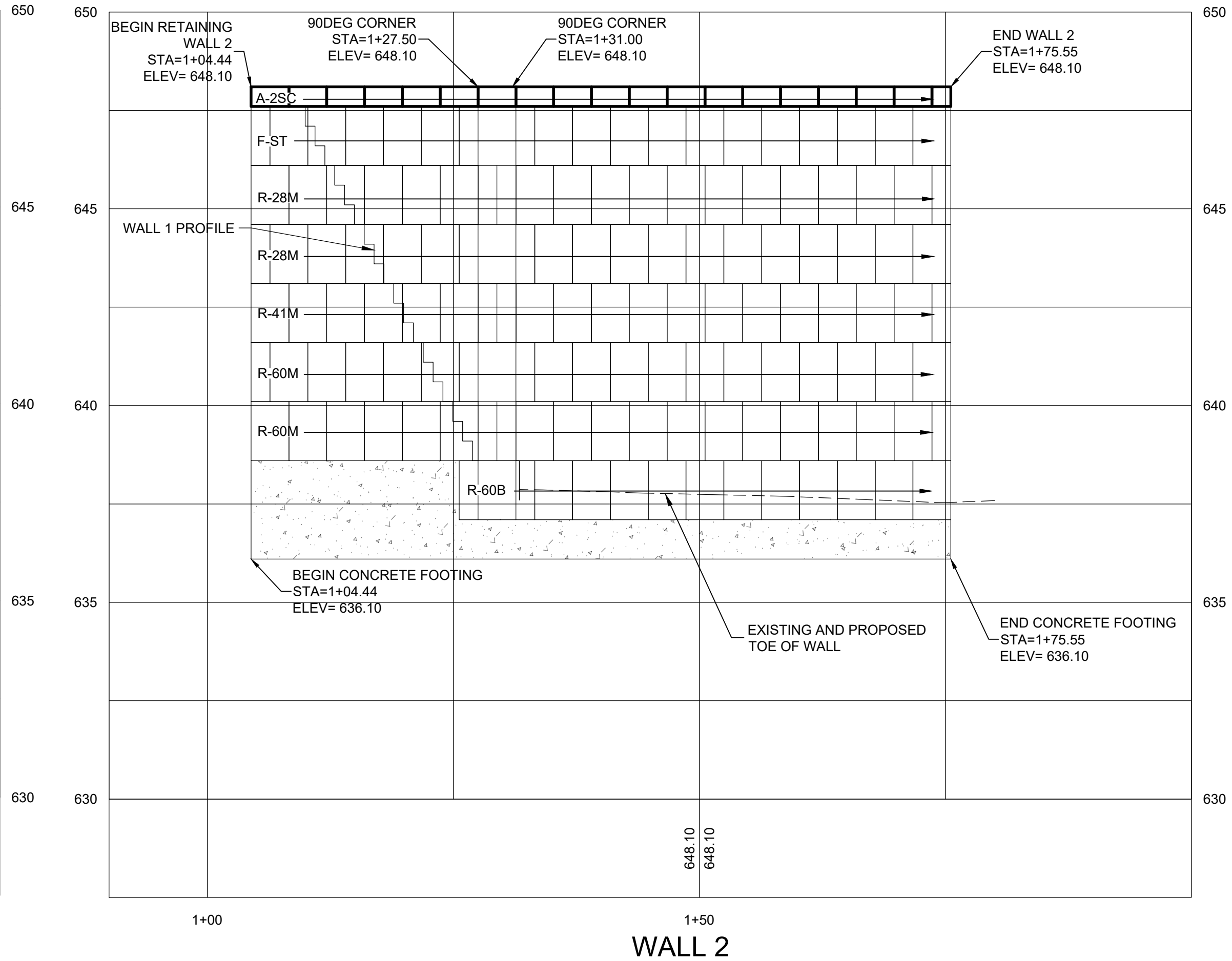
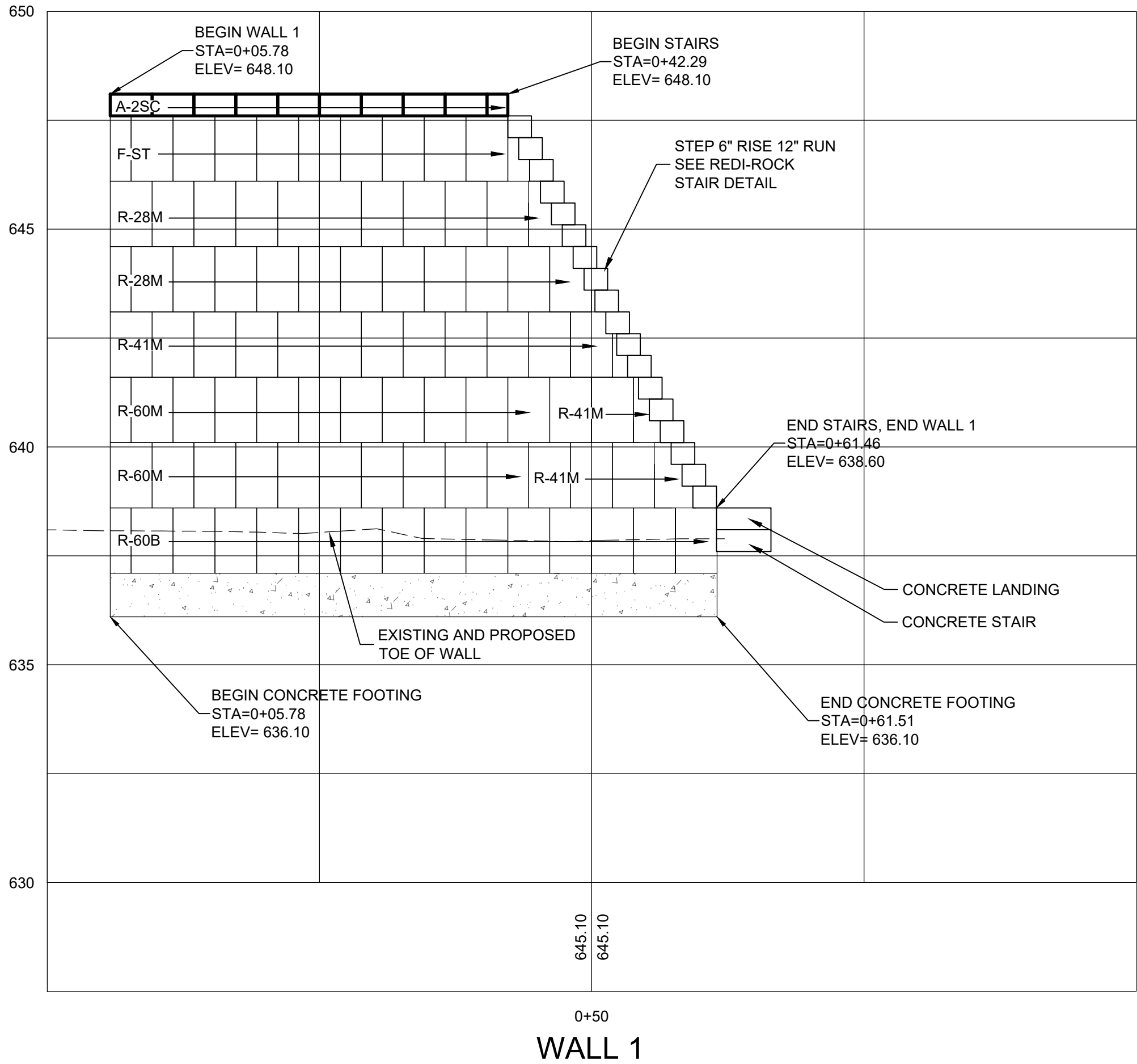
PROJECT NO.
23-6014.004
DRAWING ISSUED DATE:
02/21/2024
SHEET

TS-01



NOTES:

- CONTRACTOR SHALL TAKE CAUTION TO MAINTAIN EXISTING SIDEWALKS AND PORTIONS OF THE SIDEWALK TO REMAIN.
- ALL SALVAGEABLE STONES SHALL BECOME PROPERTY OF THE HOMEOWNER.
- DRAIN TILE SHALL OUTLET A MINIMUM OF EVERY 50' ALONG FRONT FACE OF WALL
- GRADE BEHIND THE PROPOSED WALL SHALL BE THE MINIMUM REQUIRED TO TIE INTO UNDISTURBED SLOPE
- STATIONS AND DIMENSIONS ARE GIVEN BASED ON NOMINAL BLOCK SIZE AND ARE GIVEN FOR REFERENCE ONLY. THE CONTRACTOR SHALL VARY LAYOUT SLIGHTLY ACCORDING TO ACTUAL DIMENSIONS OF BLOCKS BEING INSTALLED. COORDINATE BLOCK 90 DEGREE BENDS WITH EXISTING CONDITIONS.
- THE WALL ALIGNMENT SHALL FOLLOW A LINE BEING A NOMINAL 6" OFF THE PROPERTY LINE.
- EXTENT OF EXISTING STAIR DEMO IS ESTIMATED AND MAY CHANGE BASED ON CHOSEN CONSTRUCTION ON CHOSEN CONSTRUCTION AND EXCAVATION METHODS (BY CONTRACTOR)



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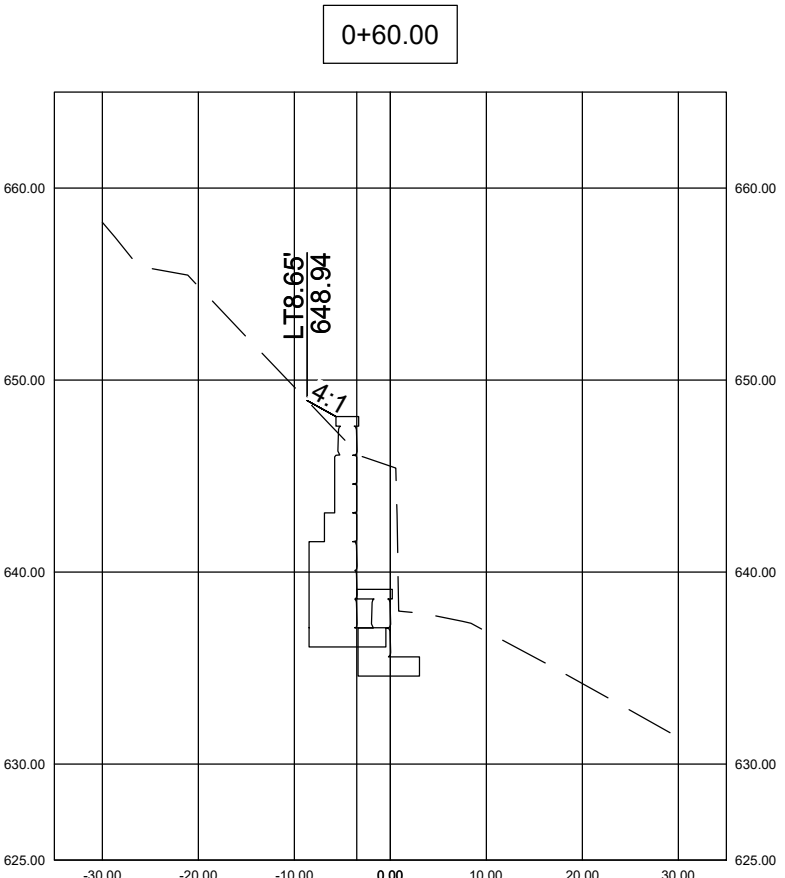
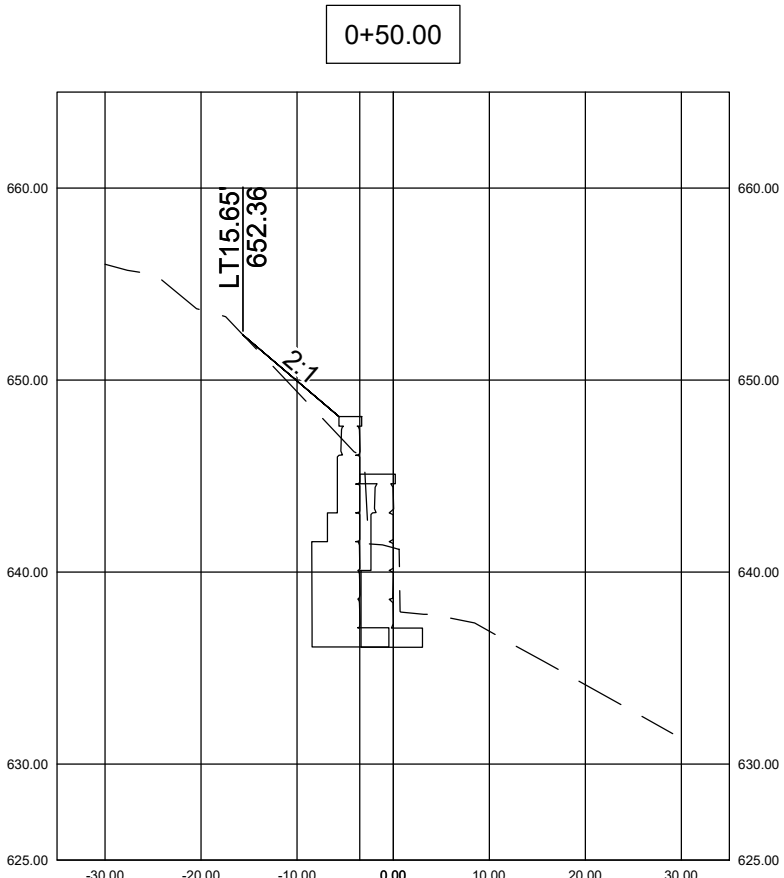
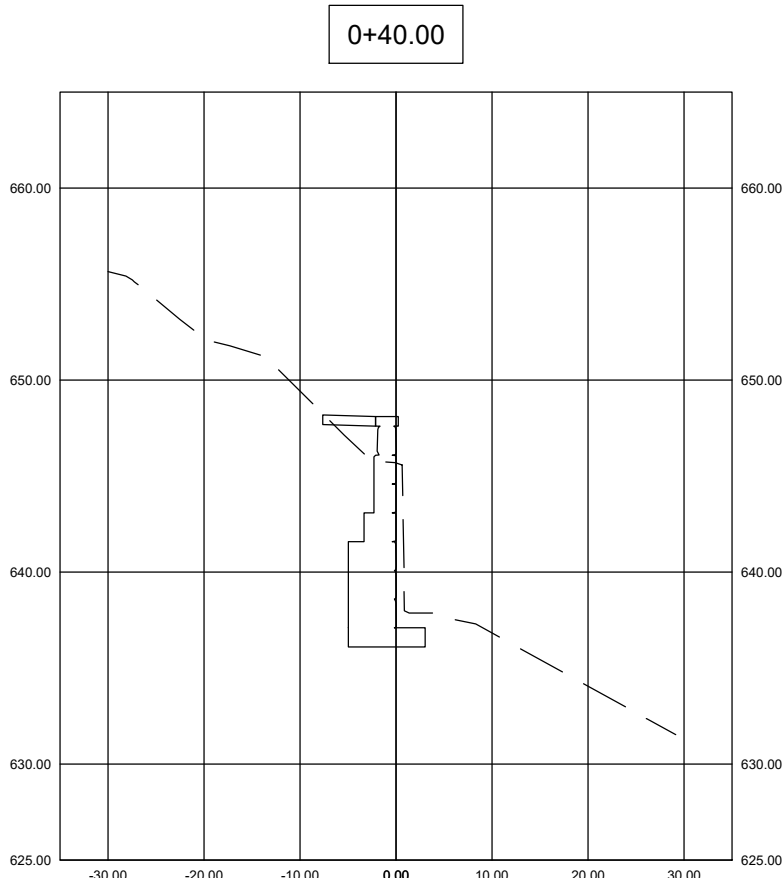
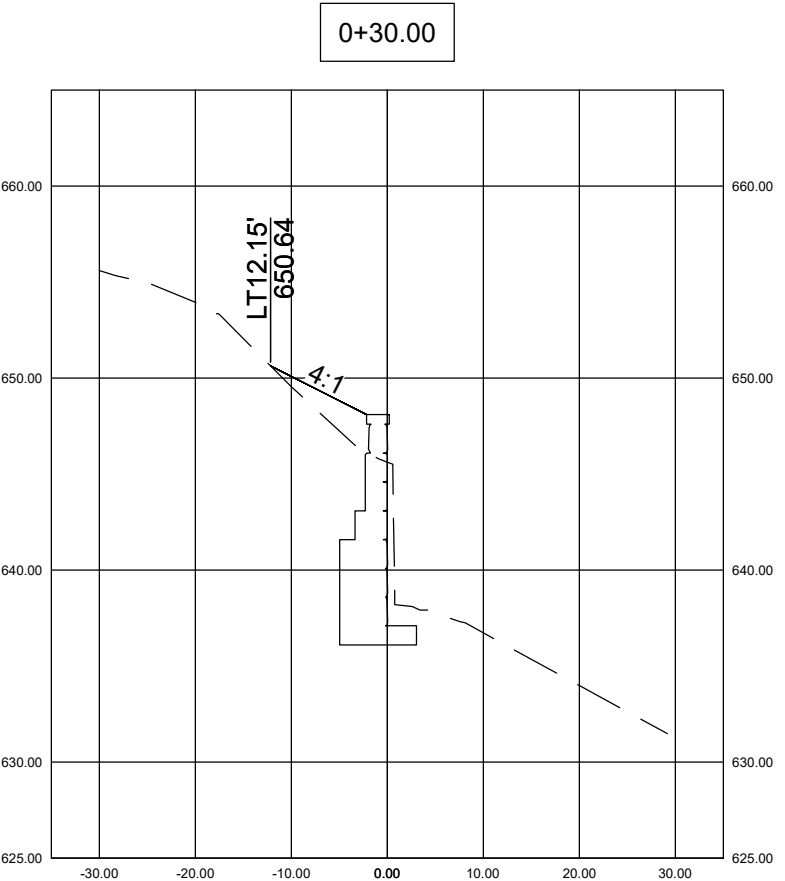
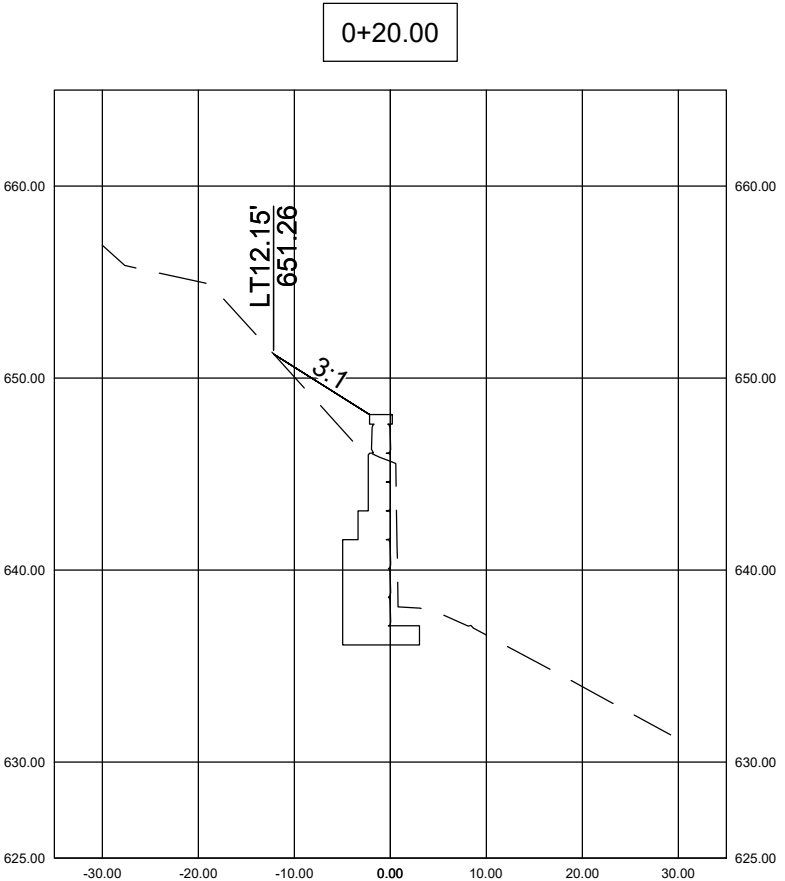
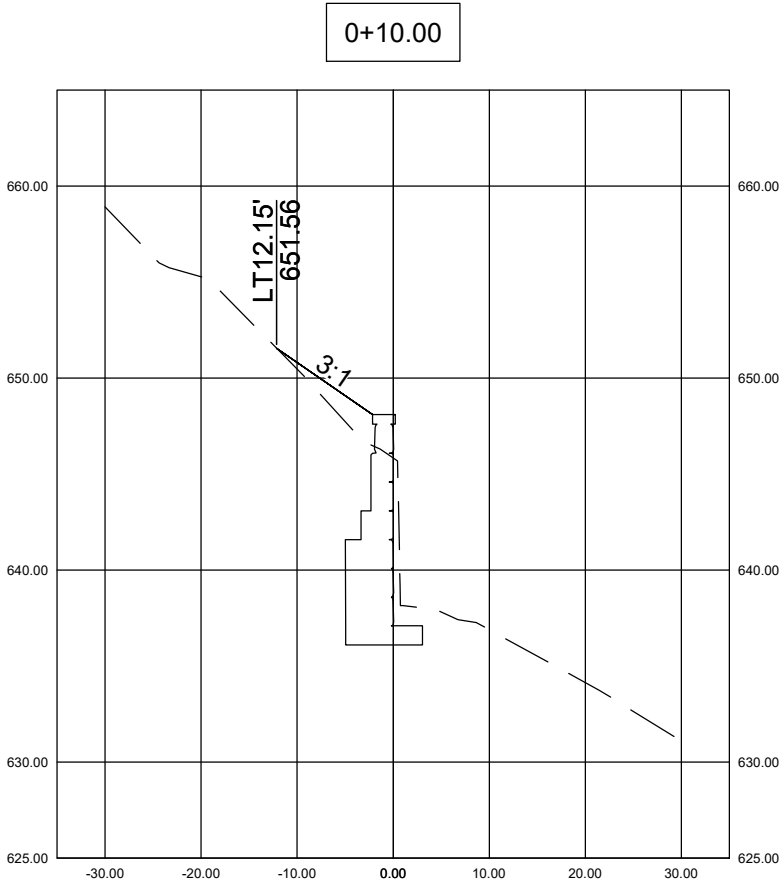
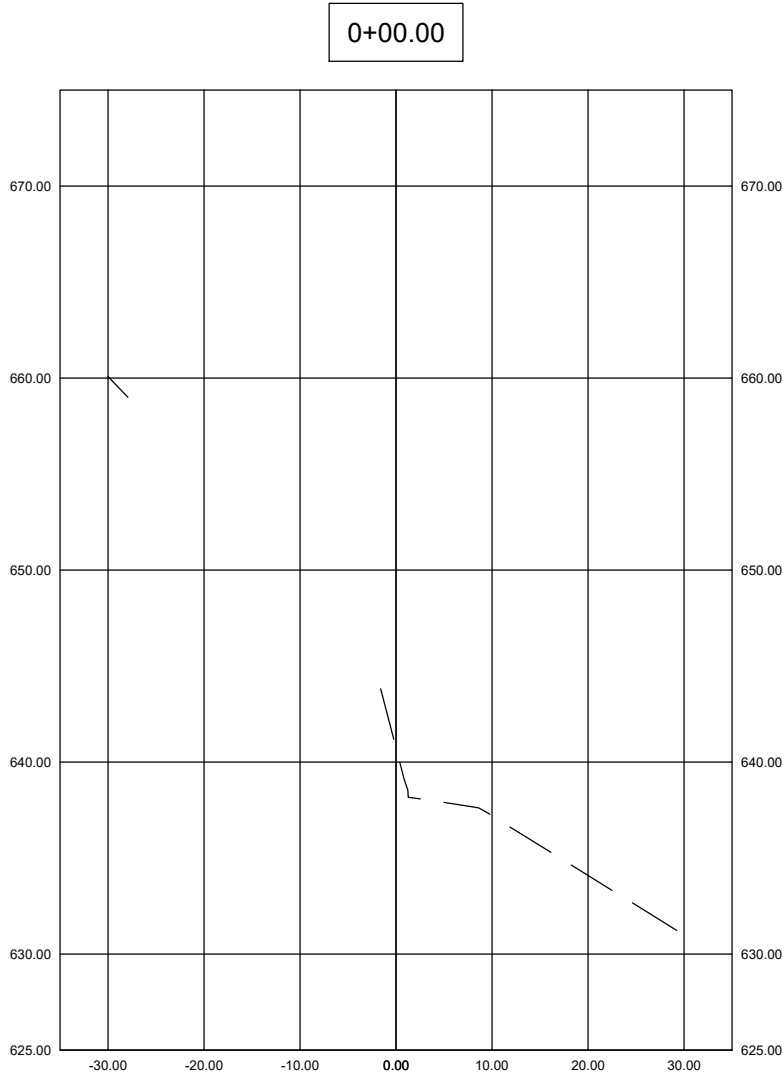
RETAINING WALL REPLACEMENT
CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

Non-Reduced Sheet Size: 22" x 34"	
Full sized plans have been prepared using standard scales. Reduced size plans may not conform to standard scales.	
DESIGNED NWK	DRAWN NWK
FIELD	FIELD BOOK
CHECKED LMP	CHECK DATE 02/21/2024

SHEET TITLE
REDI-ROCK
RETAINING WALL
PLAN AND PROFILE

PROJECT NO.
23-6014.004
DRAWING ISSUED DATE:
02/21/2024
SHEET

P&P-01



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CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

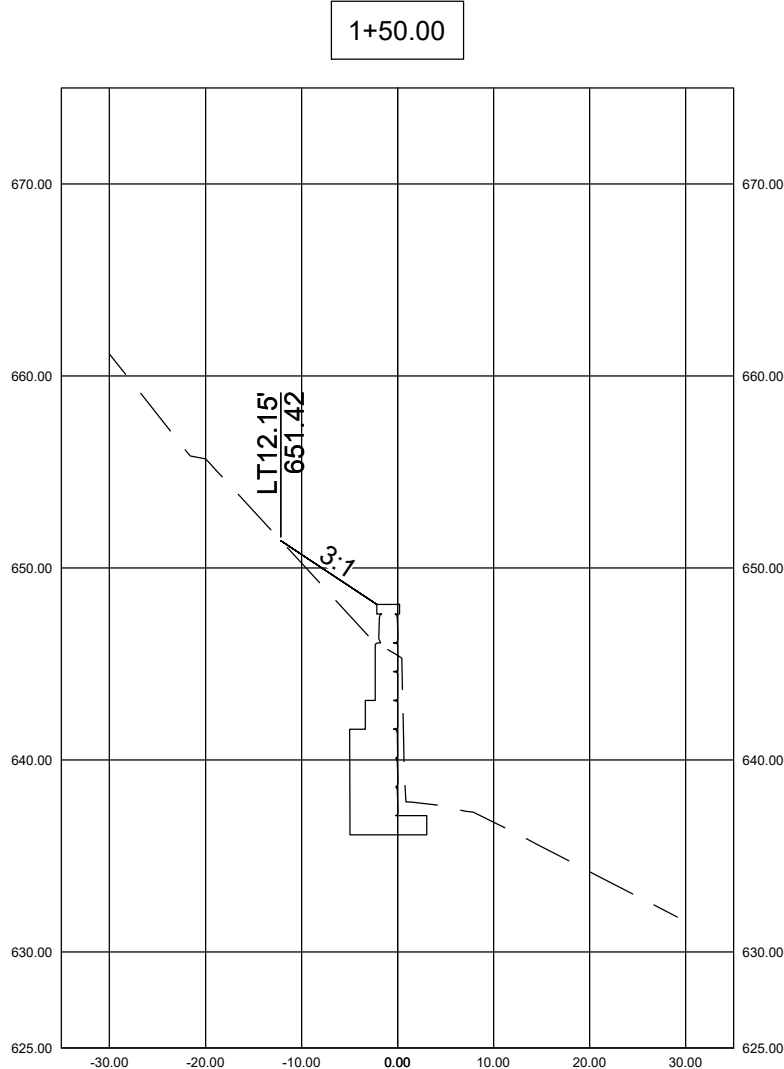
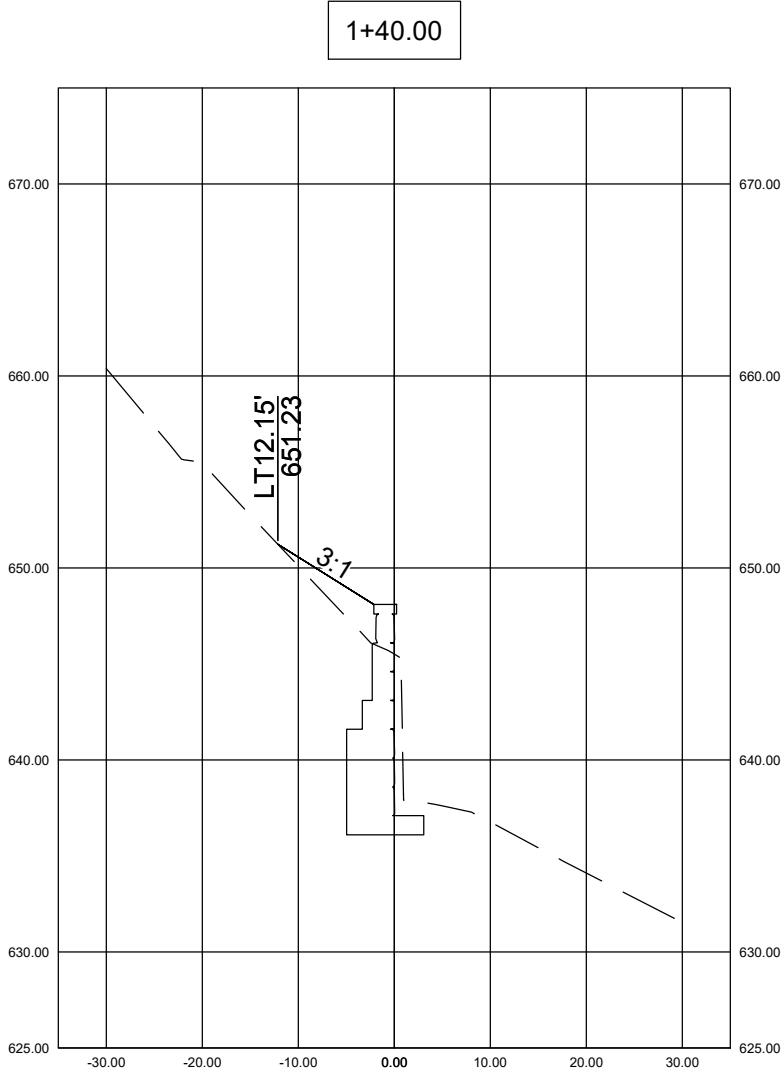
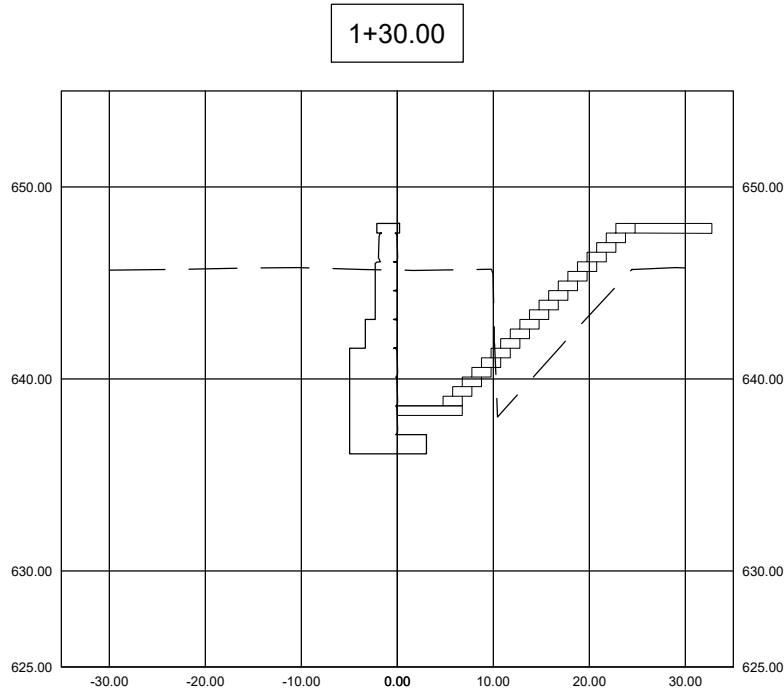
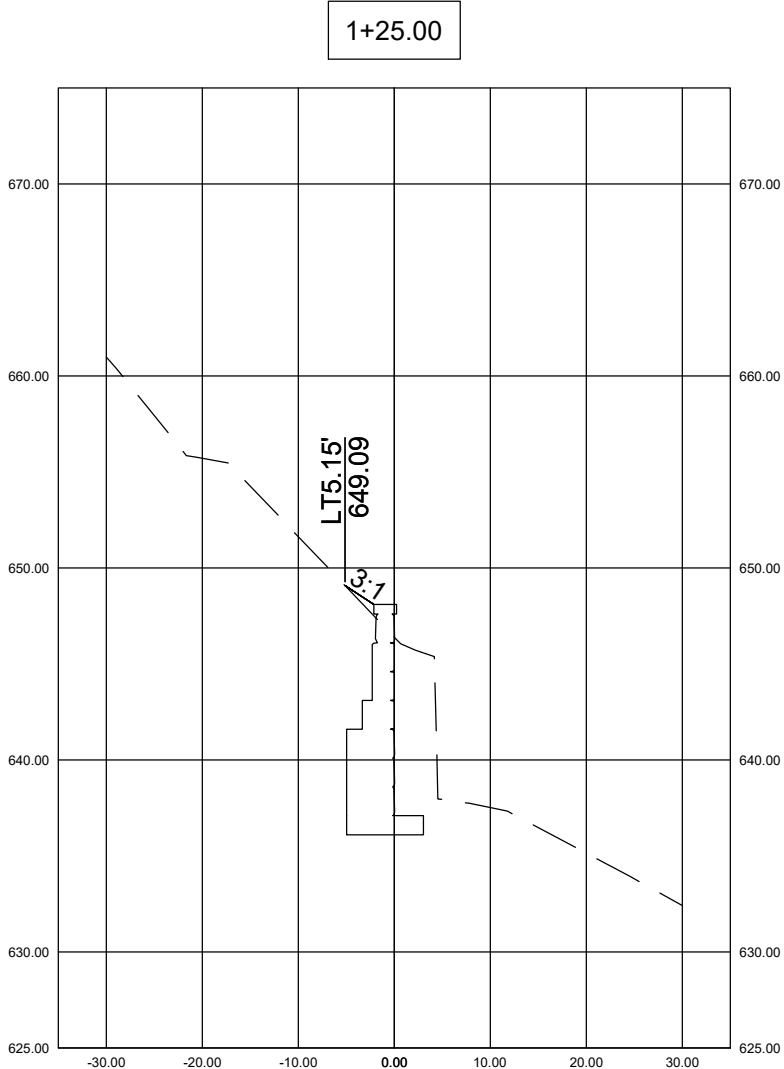
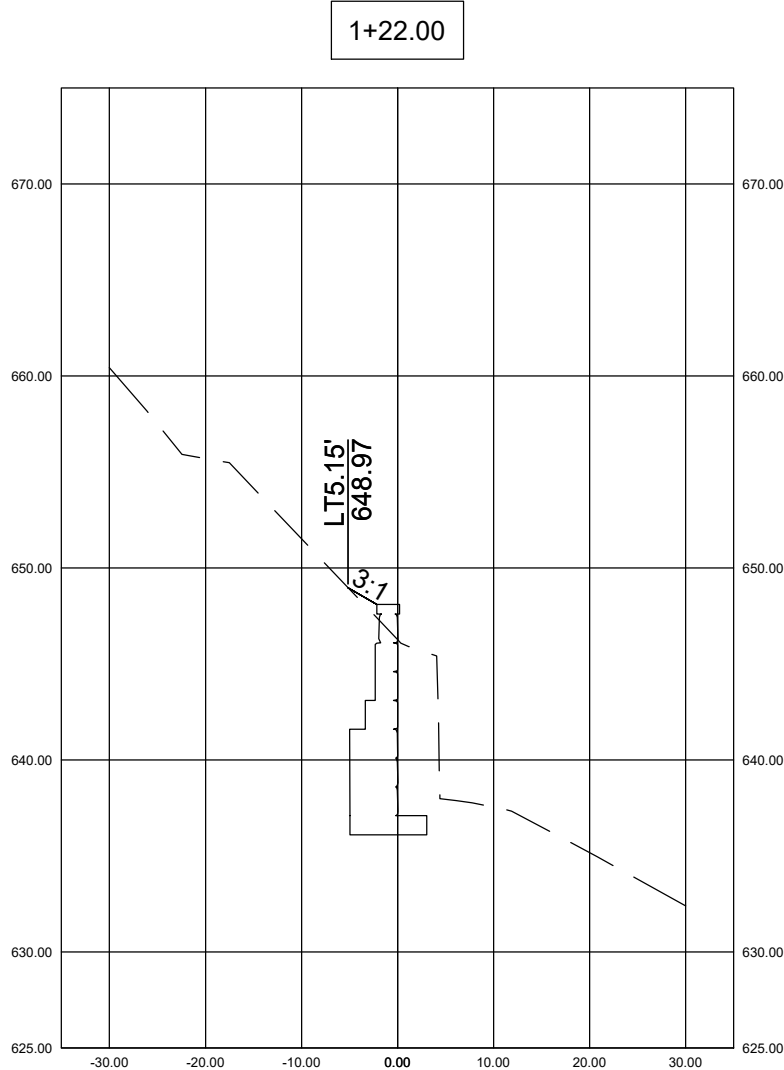
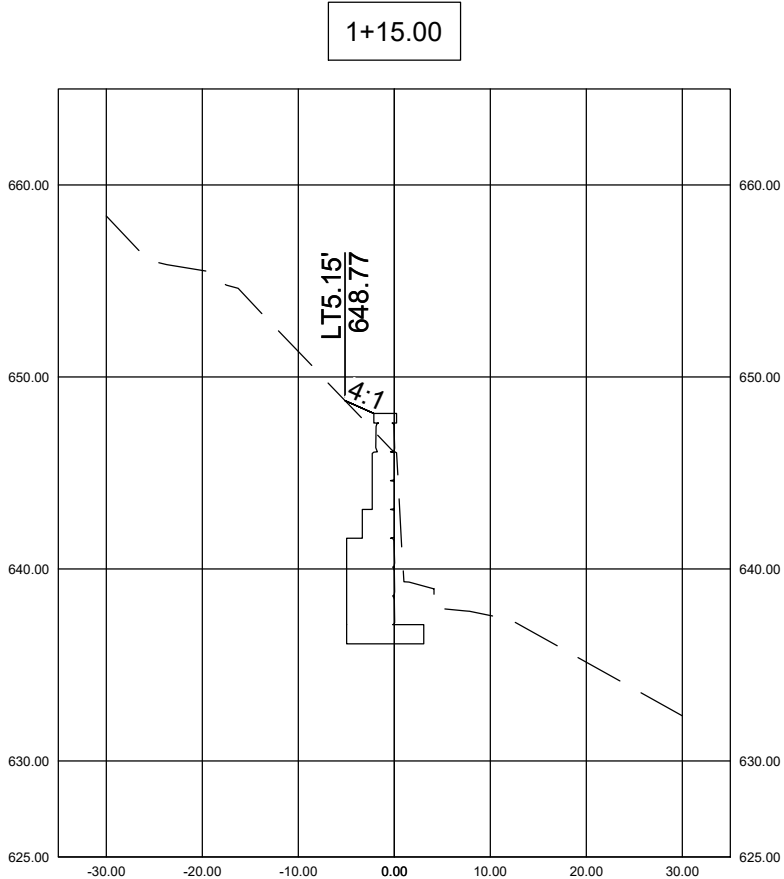
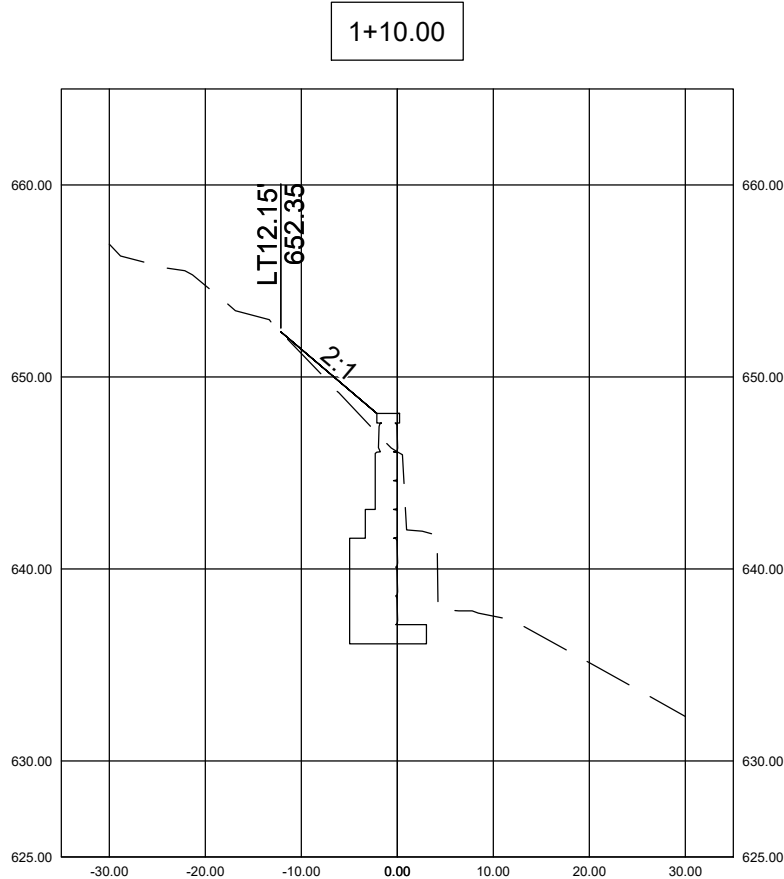
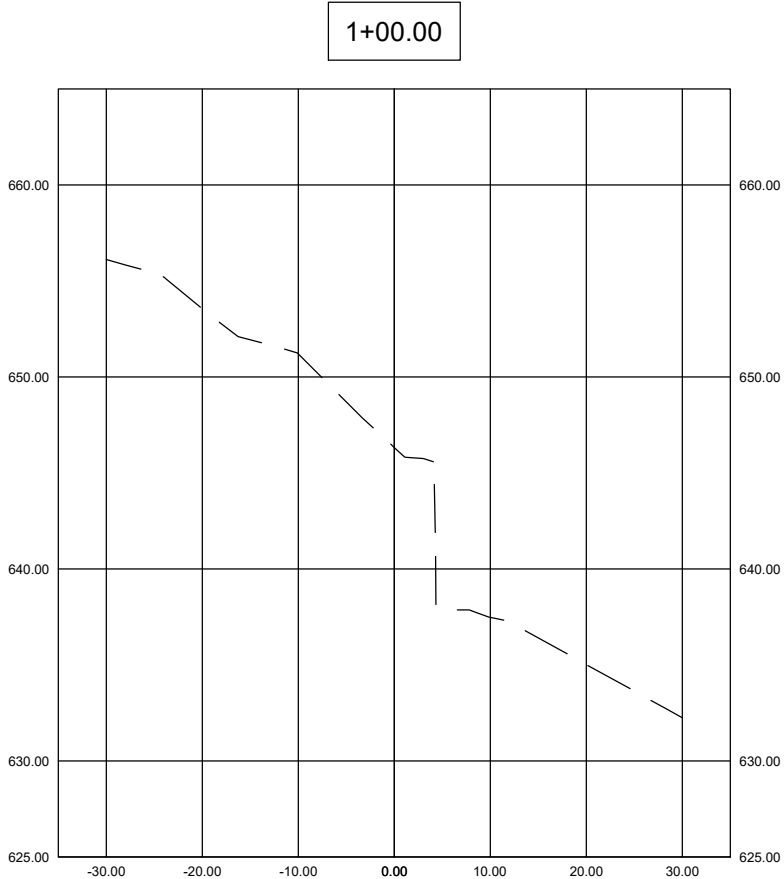
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DESIGNED NWK	DRAWN NWK
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SHEET TITLE
REDI-ROCK
RETAINING WALL
CROSS SECTIONS 1

PROJECT NO. 23-6014.004
DRAWING ISSUED DATE: 02/21/2024
SHEET

XS-01



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CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

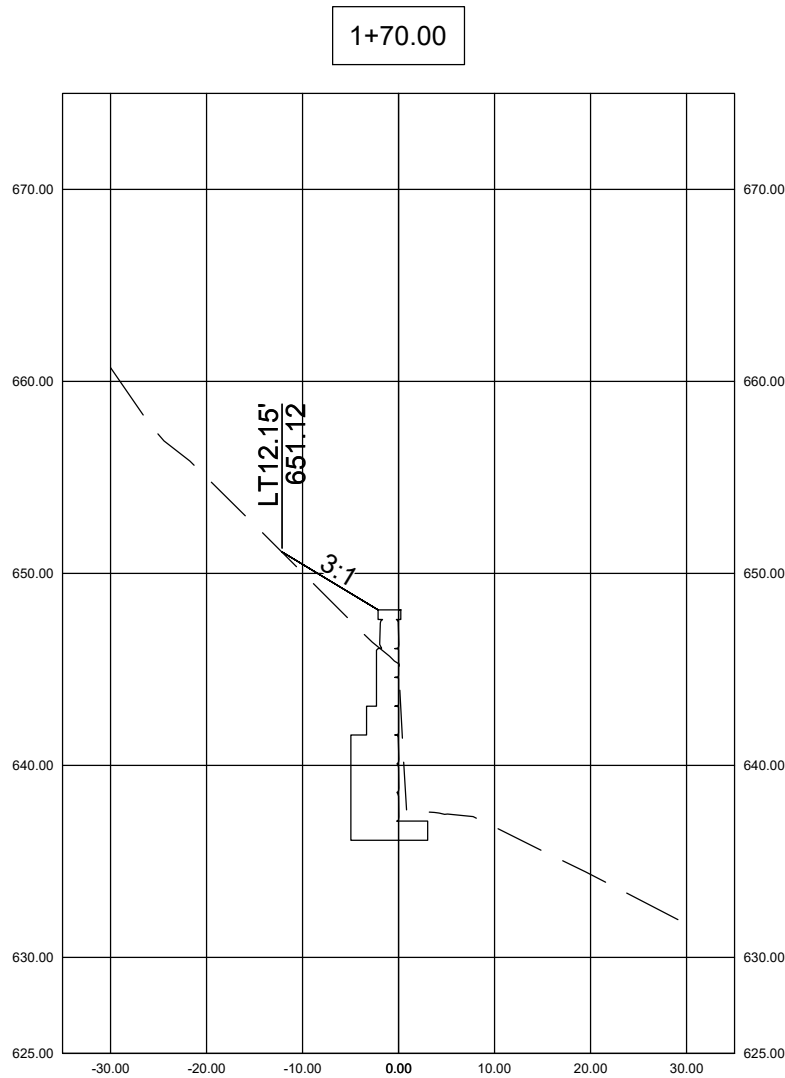
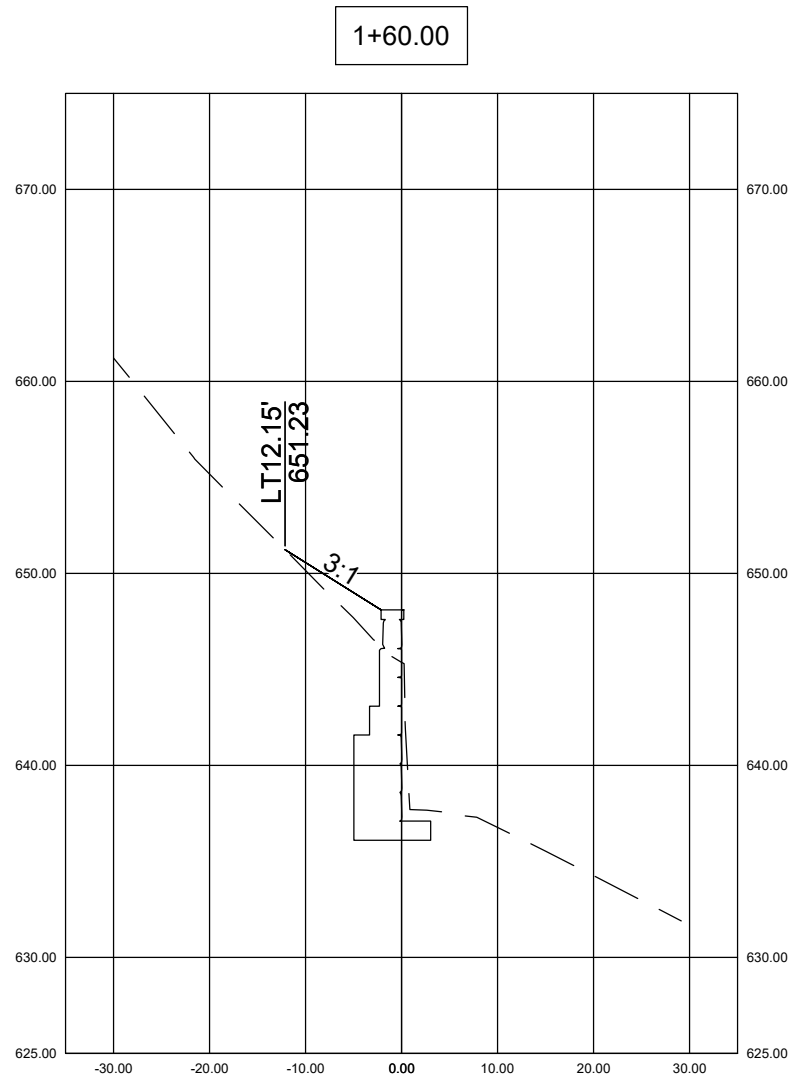
Non-Reduced Sheet Size: 22" x 34"
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FIELD	FIELD BOOK
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SHEET TITLE
REDI-ROCK
RETAINING WALL
CROSS SECTIONS 2

PROJECT NO.
23-6014.004
DRAWING ISSUED DATE:
02/21/2024

SHEET
XS-02



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510 WEST 6TH STREET
DAVENPORT, IA

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SHEET TITLE REDI-ROCK RETAINING WALL CROSS SECTIONS 3	
PROJECT NO. 23-6014.004	
DRAWING ISSUED DATE: 02/21/2024	
SHEET XS-03	

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4111 East 60th Street
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DESIGN CRITERIA

GENERAL

FOUNDATION

CAST-IN-PLACE CONCRETE

1. BUILDING CODES:

A. IBC 2015

B. ASCE 7-10

2. DESIGN LOADS:

A. Risk Category I

B. Dead Loads

a. Soil density = 120 pcf

b. Wall self-weight

C. Live Loads

a. Soil Surcharge = 100 psf

b. Design Lateral Soil Load

• 60 psf per foot of soil depth

• Designed for active pressure

D. Seismic Loading

a. Risk Category = I

b. Site Class D

c. Seismic Design Category B

d. Seismic load not considered in design per IBC

POST INSTALLED ANCHORS

1. Concrete adhesive anchors Hilti HY200 or approved equal. Concrete Mechanical Anchors Hilti Kwik Bolt T22 or approved equal.

2. Submit ICC-ES reports for all post installed anchors.

3. Install all post installed anchors per the product's ICC-ES report and the manufacturer's written instructions.

4. Post installed anchors shall be inspected per the product's ICC-ES report.

5. Install adhesive anchors in dry hammer drilled holes.

REINFORCING

1. Owner will engage a qualified testing and inspecting agency to perform field special structural inspections and testing in accordance with the applicable International Building Code and to submit reports.

2. The Contractor shall provide a minimum of 48 hrs. notification to the Special Inspector prior to needing an inspection. The Contractor shall provide access to the work so the Special Inspections can be completed. The Contractor shall verify all Special Inspections have been completed and discrepancies corrected prior to covering the work.

3. See specifications and list of elements below for a summary of the elements of construction that shall require verification or special inspection. The tables shall be considered a guide, and the contractor and inspector shall refer to the IBC for complete requirements, qualifications, exceptions, and submittals. Refer to IBC section 1705 for IBC 2012-2015 codes.

4. Special inspections noted as "Continuous" requires the presence of a qualified inspector in the vicinity of the work being performed for 100% of that work. Special inspections noted as "Periodic" requires part-time observation of the work being performed and observance of the final condition of the work before it is closed from view. Special inspections noted as "N/A" are Not Applicable for this project.

5. Special inspection and testing reports shall be furnished to owner, structural engineer, and contractor. Special Inspector shall inform engineer of record immediately of any items found in non-compliance with construction documents or approved submittals.

6. The special inspector shall submit a final report stating that the structural work was, to the best of the special inspector's knowledge, performed in accordance with the construction documents.

7. Special inspections shall conform to Chapter 17 of the International Building Code, IBC, 2015. Special inspections include:

A. Concrete Construction - 1705.3

B. Soils - 1705.6

ABBREVIATIONS

& AB ALT ARCH @	AND ANCHOR BOLT ALTERNATE ARCHITECT AT	LG LL LLH LLV LONG LWC	LONG LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LONGITUDINAL LIGHT WEIGHT CONCRETE
BLDG BM BO BOT BRG BRDG BTW BYD	BUILDING BEAM BOTTOM OF BOTTOM BEARING BRIDGING BETWEEN BEYOND	MAX MECH MIN	MAXIMUM MECHANICAL MINIMUM
CIP CJ CL (C) CLR CMU COL CONC CTR	CAST IN PLACE CONSTRUCTION JOINT CENTERLINE CLEAR CONCRETE MASONRY UNIT PERP CONCRETE CENTER	OC OH OPNG OPP	ON CENTER OPPOSITE HAND OPENING OPPOSITE
DBA DBL DIA (Ø) DIAPH DL DWLS	DEFORMED BAR ANCHOR DOUBLE DIAMETER DIAPHRAGM DEAD LOAD DOWELS	PAR PEMB PERP PL (R) PSF PT	PARALLEL PRE-ENGINEERED METAL BUILDING PERPENDICULAR PLATE POUNDS PER SQUARE FOOT PRESSURE TREATED
EA EF ELEV (EL) EMBED EW EX	EACH EACH FACE ELEVATION EMBEDMENT EACH WAY EXISTING	NO (#) NTS	NUMBER NOT TO SCALE
FB FDN FF FLR FTG FV	FIELD BEND FOUNDATION FINISHED FLOOR FLOOR FOOTING FIELD VERIFY	SCH SIM SL (\$) STAGG STD STIFF	SCHEDULE SIMILAR STEEL LINE STAGGERED STANDARD STIFFENER
GA GALV	GAUGE GALVANIZED	TBR THK THRU TO TOF TOS TOW TRANS TYP	TO BE REMOVED THICK THROUGH TOP OF TOP OF FOOTING TOP OF STEEL TOP OF WALL TRANSVERSE TYPICAL
HDG HDR HORZ HS HSS HT	HOT DIP GALVANIZED HEADER HANGER HORIZONTAL HEADED STUD HOLLOW STRUCTURAL SECTION HEIGHT	REINF RO RTU	REINFORCING ROUGH OPENING ROOF TOP UNIT
ID	INSIDE DIAMETER	SCH SIM SL (\$) STAGG STD STIFF	SCHEDULE SIMILAR STEEL LINE STAGGERED STANDARD STIFFENER
JST	JOIST	W/ WF WO WP WWF W.R.	WITH WIDE FLANGE WITHOUT WORKING POINT WELDED WIRE FABRIC WATER REDUCER

ARCHITECTURAL CAST STONE

1. Cast stone shall simulate natural cut stone to match look of the cap stone and stone face on the existing retaining wall. Contractor and manufacturer shall work together with client to determine appropriate look (product shape and size) and material components including addition of coloring pigments as needed to meet historical preservation requirements. Two complete sets of color chips representing manufacturer's full range of available colors and patterns shall be provided. Shape and size of wall cap cast stones per drawings.

2. Products shall comply with the requirements of ASTM C1364 and be provided with the following physical properties:

A. Compressive strength ASTM C1194: 6,500 psi min at 28 days.

B. Absorption ASTM C1195: 6% max by cold water method, or 10% max by boiling method at 28 days.

C. Air content ASTM C173 or C231: for wet cast product 4-8%. Air entrainment is not required for Vibrant Dry Tamped (VDT) products.

D. Freeze-thaw ASTM C1364: CPWL shall be less than 5% after 300 freeze/thaw cycles.

E. Linear shrinkage ASTM C426: Not to exceed 0.065%.

3. Cap stone anchors to be used for attachment to cast-in-place retaining wall to be provided by manufacturer. Cast stone veneer to be attached to face of retaining wall with mortar, or as recommended by manufacturer.

4. Cast stone veneer to incorporate weep holes to match cast-in-place wall weep locations.

5. Product data shall be provided by manufacturer for each product to be used, including preparation instructions and recommendations, storage and handling requirements and recommendations, installation instructions, and Cast Stone Institute Plant Certification. Manufacturer's installation instructions must include instructions for anchor attachment, cast stone cleaning, and special project installation conditions.

6. Manufacturer's certificate shall certify products meet or exceed specified sustainable design requirements. Materials resource certificates shall certify source and origin for salvaged or reused products, recycled material content for recycled content products and certify source for regional materials and distance from project site.

7. Shop drawings shall include profiles, cross-sections, reinforcement, exposed faces, weep hole locations, arrangement of joints, anchoring methods, anchors, annotation of stone types and their location.

8. Build materials and methods shall meet the following requirements:

A. Portland cement: ASTM C150 Type I or III, white and/or grey. ASTM C595 Type II, is also acceptable.

B. Coarse and fine aggregates: ASTM C33 except for gradation.

C. Colors: inorganic iron oxide pigments, ASTM C979 except carbon black pigments shall not be used.

D. Admixtures:

a. ASTM C260 for air entraining mixtures.

b. ASTM C494/494M Types A-G for water reducing, retarding, accelerating and high range admixtures.

c. Other admixtures: Integral water repellents and other chemicals, for which no ASTM standard exists, shall be previously established as suitable for use in concrete by proven field performance or by laboratory testing.

d. ASTM C618 mineral admixtures of dark and variable colors shall not be used in varifaces intended to be exposed to view.

e. ASTM C989 granulated blast furnace slag may be used to improve physical properties. Tests are required to verify these features.

E. Water: potable.

F. Reinforcing bars: ASTM A615/A615M Gr 40 or 60 steel, galvanized or epoxy coated when cover is less than 1 ½ inches. Amount, size, and type of reinforcing bars shall be determined by manufacturer and must comply with ACI 318.

a. Minimum reinforcing shall be 0.25 percent of the cross section area.

b. Reinforcement shall be noncorrosive where faces exposed to weather are covered with less than 1.5 in. (38 mm) of concrete material. All reinforcement shall have minimum coverage of twice the diameter of the bars.

c. Panels, soffits and similar stones greater than 24 in. (600 mm) in one direction shall be reinforced in that direction. Units less than 24 in. (600 mm) in both their length and width dimension shall be non-reinforced unless otherwise specified.

d. Welded wire fabric reinforcing shall not be used in dry cast products

G. Anchors, dowels and other anchoring devices and shims shall be standard building stone anchors commercially available in a non-corrosive material such as zinc plated, galvanized steel, brass, or stainless steel Type 302 or 304.

9. Jointing

A. Joint size:

a. At stone/brick joints 3/8 in. (9.5 cm).

b. At stone/stone joints in vertical position 1/4 in. (6 mm) (3/8 in. (9.5 mm) optional).

c. Stone/stone joints exposed on top 3/8 in. (9.5 mm).

B. Joint materials:

a. Mortar, Type N, ASTM C 270.

b. se a full bed of mortar at all bed joints.

c. Flush vertical joints full with mortar.

d. Leave all joints with exposed tops or under relieving angles open for sealant.

e. Leave head joints in copings and projecting components open for sealant.

C. Location of joints:

a. As shown on shop drawings.

b. At control and expansion joints unless otherwise shown.

10. Setting

A. Drench units with clean water prior to setting.

B. Fill dowel holes and anchor slots completely with mortar or non-shrink grout.

C. Set units in full bed of mortar, unless otherwise detailed.

D. Rake mortar joints 3/4 in. (18 mm) in. for pointing.

E. Remove excess mortar from unit faces immediately after setting.

F. Tuck point unit joints to a slight concave profile.

11. To prevent interruption of construction progress, manufacturer must provide locating templates and other information required for installation of cast stone wall cap products to contractor.

12. Product shall be installed per manufacturer instructions, ACI 530.1 and approved submittals.

13. Inspect finished installation according to Cast Stone Institute Technical Bulletin #36. Do not apply sealer water repellent (if used) until repair, cleaning, and inspection is completed.

14. Products to be protected from damage until completion of project. Touch-up, repair, or replacement of damaged products shall be done before substantial project completion.

15. Tolerances shall comply with Cast Stone Institute Technical Manual and the following:

A. Variation from plumb: do not exceed 1/8 inch within 5 feet, OR ¼ inch within 20 feet.

B. Variation from level: do not exceed 1/8 inch within 5 feet, OR ¼ inch within 20 feet OR a 3/8 inch maximum.

C. Variation in joint width: do not vary joint thickness more than 1/8 inch or ¼ of nominal joint width, whichever is greater.

D. Variation in plane between adjacent surfaces: do not exceed 1/8 inch difference between planes of adjacent units or adjacent surfaces where drawings indicate to be flush with units.

16. After installation: Repair chips with touchup materials furnished by manufacturer. Clean exposed units after mortar is thoroughly set and cured. Areas with heavy soiling use a wood block or non-metallic scraper. Apply manufacturer approved cleaner to units in accordance with manufacturer's instructions.

17. Basis of design per EP Henry. Companies specializing in manufacturing products specified in this section with minimum three years documented experience are acceptable alternatives.

DRAIN SYSTEM

1. Drains shall be 4" HDPE or PVC perforated pipe.

2. Use non-perforated pipe to outlet through the face of the wall.

3. Pipe fittings shall be installed per manufacturer recommendations.

4. The drain tile shall be place as to maintain gravity flow (1% minimum).

5. Drain outlets shall have rodent guards.

REINFORCING

1. All concrete construction shall conform to ACI 301, "Specification for Structural Concrete" and ACI 302, "Guide for Concrete Floor and Slab Construction", ACI 305 "Specification for Hot Weather Concrete" and ACI 306, "Standard Specification for Cold Weather Concrete", unless noted otherwise for the year referenced in the building code noted.

2. All detailing, fabrication and placing of reinforcing bars, unless otherwise noted, shall conform to ACI 318, "Building Code Requirements for Structural Concrete", ACI 117, "Specification for Tolerances for Concrete Construction and Materials", and the latest ACI detailing manual.

3. Concrete Types:

A. Concrete Permanently Exposed to Weather & Deicing Chemicals; Exterior Stoops, Exterior Walls, Exterior Footings:

a. Min. Cementitious Content = 658 lb/cu yd

b. Max Water-Cement Ratio = 0.40

c. Specified 28-day Compressive Strength, f'c = 5000 psi

d. Specified Slump Range for Placement 4" max. w/o W.R. (8" max with W.R.)

e. Specified Air Content % by Volume = 6.0 to 8.5

f. Max Size Aggregate = 1"

B. All cement shall be Type I or Type III Portland Cement per ASTM C150 or ASTM C595 Type IP or IL. Types IA is not acceptable type. IP is acceptable, if strength is met and total pozzolans do not exceed the specified limits in ACI 301. Use one brand of cement throughout the project.

C. Minimum cementitious content shall consist of 100% cement or a combination of flyash see note below, or a combination of cement and ground granulated blast furnace slag (GGBFS) see note below. Flyash shall not be used in combination with GGBFS as a substitute for cement.

D. Flyash is permitted and shall conform to ASTM C618 Type C (for interior use w/o exposure to weather changes) or F, but shall not exceed 20% of cementitious content by weight indicated above on a substitution basis and shall be included in the water-cement ratio.

E. Ground granulated blast furnace slag (GGBFS) is permitted and shall conform to ASTM C989, but shall not exceed 15% of cementitious content by weight indicated above on a substitution basis and shall be included in the water-cement ratio.

F. All admixtures other than superplasticizers shall be added at the batch plant. Superplasticizers, designed for addition to the mix at the plant, may be added at the batch plant with verifications from the engineer and verification that the water-cement ratio has not been exceeded. Superplasticizers added at the site shall be in pre-measured containers from the batch plant.

G. All concrete used for cast-in-place retaining walls and associated footings shall contain the specified water reducing or water reducing/retarding admixture. All concrete placed at air temperature below 50°F shall contain the specified non-corrosive, non-chloride accelerator. All concrete placed at air temperature above 80°F shall contain specific water-reducing/retarder admixture. All concrete required to be air-entrained shall contain an approved air-entraining admixture. All pumped concrete shall contain the specified high-range water-reducing admixture. Concrete with a water-cement ratio between 0.4 and 0.6 shall contain the specified water-reducer.

H. Calcium chloride shall not be permitted nor shall any admixture containing calcium chloride be permitted.

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5. Concrete shall be discharged at the site within 1 ½ hours after water has been added to the cement and aggregates. Addition of water to the mix at the project site will not be permitted. All water must be added at the batch plant. Slump may be adjusted only through the use of additional water reducing admixtures or high range water reducing admixture.

6. All concrete shall be placed without horizontal construction joints, except where specifically noted.

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8. Reinforcing bars shall conform to ASTM A615, Grade 60, No lap welding of reinforcing in the field will be permitted.

9. Reinforcing bars for welded applications shall conform to ASTM A706, Grade 60.

10. Welded wire fabric reinforcing shall conform to ASTM A188 and be furnished in flat sheets and installed on chairs.

11. Wire bar supports shall be furnished for all reinforcing within slabs, inclusive of welded wire fabric. Bottom bars in slabs-on-grade may be supported by other suitable supports. Reinforcing shall be properly positioned prior to concrete placement and may not be re-positioned once concrete operations have begun. Wire bar and other types of supports shall be in accordance with the concrete reinforcing steel institute manual of standard practice.

12. Reinforcement must be continuous through all construction joints unless otherwise noted on drawings.

13. All hooks shown on drawings shall be ACI standard hooks, unless otherwise noted.

14. Where continuous bars are called for, they shall run continuously around corners and be lapped at necessary splices. Lap lengths shall be as given in the splice and development table.

15. Provide additional reinforcing at the side and corners of all openings in concrete in accordance with typical details.

A. Minimum additional requirements are as follows:

a. (2)-#5 top and bottom in CIP Concrete Slabs

b. (2)-#5 each face in walls

c. (2)-#5 x 4'-0" long diagonally each corner of opening

B. Extend bars a minimum of 2'-0" beyond openings, hook where extension is not possible.

16. In reinforced concrete walls, grade beams and trench footing provide corner dowels of same size and spacing as horizontal reinforcing. Dowels shall lap with horizontal reinforcing in each direction.

17. The following minimum concrete cover shall be provide for reinforcement, unless otherwise noted:

A. Earth formed and cast directly against soil - 3"

B. Cast against forms but exposed to earth and weather

a. #6 and Larger - 2"

b. #5 and Smaller - 1 ½"

C. Others - 2"

18. Reinforcing bars shall have a minimum clear spacing of 4"

19. SPLICE LENGTHS:

Bar Size	Min. Lap
#3	1'-4"
#4	1'-8"
#5	2'-0"
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#7	3'-6"
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A. When lapping two different size bars, use the lap dimension of the smaller bar or the anchorage dimension of the larger bar, use whichever dimension is larger.

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2. Replacement material for unsuitable soils in footings may consist of suitable lean clay (LL<45%, PI<22%) or granular material (IDOT CA6) that is placed in 8" or less lifts and compacted to at least 95% of the standard proctor maximum dry density (ASTM D 698) at moisture contents of - 2% to +4% of optimum or flowable fill (Controlled Low Strength Material, CLSM).

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Bar Size	Min. Lap

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- MASONRY - HISTORICAL
- All masonry shall conform to "Building Code Requirements for Masonry Structures" (ACI 530/ASCE 5/TMS 402) and "Specifications for Masonry Structures" (ACI 530.1/ASCE 6/TMS 602) for the year referenced in the building code noted.
 - All brick and concrete masonry and construction shall comply with the recommendations of Brick Industry of Association (BIA) and the National Concrete Masonry Association (NCMA) and minimum requirement established by noted building codes. The repairs of historic masonry shall be performed in accordance with National Park Service Secretary of the Interior's Preservation Standards. The National Park Service's Preservation Briefs can be found online at <https://www.nps.gov/tps/how-to-preserve/briefs.htm>.
 - Brick masonry units:
 - Engage a qualified testing agency to perform preconstruction testing on historic brick masonry units as follows: Test each type of existing brick masonry units according to the test methods in ASTM C 67 for compressive strength, 24-hour cold water absorption, five hour boiled absorption, saturation coefficient, and initial rate of absorption (suction). Carefully remove five existing units from locations designated by the testing service. Take testing samples from these units.
 - Historic brick masonry units shall be units conforming to ASTM C62; ASTM C216; ASTM C652 Grade and compressive strength equal to the historic brick masonry. Match the existing brick units including size, color, texture, and coursing/bond pattern.
 - Mortar:
 - Engage a qualified testing agency to perform preconstruction testing on masonry mortar as follows: Test existing mortar according to ASTM C 295 to determine proportional composition of original ingredients, sizes, and colors of aggregates, and approximate strength. Use X-ray diffraction, infrared spectroscopy, and differential thermal analysis to supplement microscopical methods. Carefully remove existing mortar from existing within joints at five locations for each type of mortar as designated by the testing service.
 - ASTM C270 Type mortar with proportions of ingredients to match that of the original mortar. New mortar used for repointing must have compressive strength equal to or lesser than the existing historic mortar. New mortar must have a greater vapor permeability than the masonry units, and must also be as vapor permeable as the existing historic mortar. Match the existing mortar in color, texture, joint size, and joint tooling.
 - Cure mortar by maintaining in thoroughly damp condition for at least 72 consecutive hours, including weekends and holidays.
 - Reinforcing bars shall conform to ASTM A615, Grade 60.
 - All masonry units shall have reinforcing bars or galvanized horizontal joint reinforcement as follows:
 - ASTM A951 - 9 gage side and cross rods (ladder type) spaced 16" o.c. vertically with a 7" minimum lap.
 - Place reinforcing bars before grouting. Place grout in lifts not exceeding 5 feet. Consolidate each lift by mechanical vibration.
The next lift of the pour may be after initial water loss and reconsolidation of the prior lift, while it is still plastic.
 - Properly secure reinforcing bars to maintain the position indicated on the drawings. Bars are to be located in center of cells unless otherwise noted.
 - Mortar protrusions extending into cells or cavities to be reinforced and filled, shall be removed.
 - Lay masonry units with full mortar coverage on horizontal and vertical face shell. Bed webs in mortar in starting course of footing and in all courses of columns and pilasters.
 - All masonry shall be temporarily braced during construction per the governing building code for lateral loads until permanent restraints have been installed. Temporary bracing is the sole responsibility of the contractor. The contractor is responsible for all cost associated with repairs resulting from improper or insufficient bracing.
 - Masonry veneer anchors are Holmann Barnard stainless steel ANSI type 304 DW-10 14 gage with 3/16" Vee Byna-Ties or approved equal. Attach veneer anchors to studs with ANSI type 304 stainless steel #12x2 1/2" wood screws.

SPECIAL INSPECTIONS - 2015 IBC TABLE 1705.6 - SOILS TABLE		
ITEM	VERIFICATION AND INSPECTION	INSPECTION FREQUENCY
Soil Bearing Capacity	Verify materials below shallow foundation are adequate to achieve the design bearing capacity.	Periodic
Excavation	Verify excavations are extended to proper depth and have reached proper material.	Periodic
Materials	Perform classification and testing of compacted fill materials.	Periodic
	Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill in accordance with the Geotechnical Report.	Continuous
Sampling and Testing	Prior to placement of compacted fill, inspect subgrade and verify that site has been prepared properly.	Periodic

SPECIAL INSPECTIONS - ACI 530.1-13 LEVEL B - MASONRY TABLE		
ITEM	VERIFICATION AND INSPECTION	INSPECTION FREQUENCY
Masonry, Grout, and Mortar Installation and Mix Design	Inspection of mortar joint construction, size and location of structural elements, grout space, and protection of masonry in cold weather (below 40°) or hot weather (above 90°) in accordance with the quality assurance program requirements of TMS 402/ACI 530/ASCE 5 and TMS 602/ACI 530.1/ASCE 6.	Periodic
	Verify proportions of site-prepared mortar and grout conform to approved mix designs.	Periodic
Sampling and Testing	Preparation of required grout specimens, mortar specimens, and/or prisms and verify fm prior to construction in accordance with Contract Documents.	Continuous (Testing)

SPECIAL INSPECTIONS - 2015 IBC TABLE 1705.3 - CONCRETE TABLE		
ITEM	VERIFICATION AND INSPECTION	INSPECTION FREQUENCY
Reinforcement	Inspection of reinforcement and placement for conformance with the Construction Documents and inspection that bars are free from materials that could prevent bond, are adequately lapped, spliced, tied, and supported.	Periodic
Anchor Installation	Inspection of Post-Installed mechanical and adhesive anchors not otherwise specified.	Periodic
Mix Design	Verify use of required mix design(s).	Periodic
Sampling and Testing	Prior to concrete placement, fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of concrete.	Continuous (Testing)
Concrete Placement	Inspection of concrete placement for proper application techniques (excludes isolated concrete spread footings and slab-on-grade)	Continuous
	Verify maintenance of specified curing temperature and techniques.	Periodic
	Inspection of formwork for shape, location, and dimensions of the concrete member being formed.	Periodic

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REVISION HISTORY			
Δ	DESCRIPTION	DATE	APPR

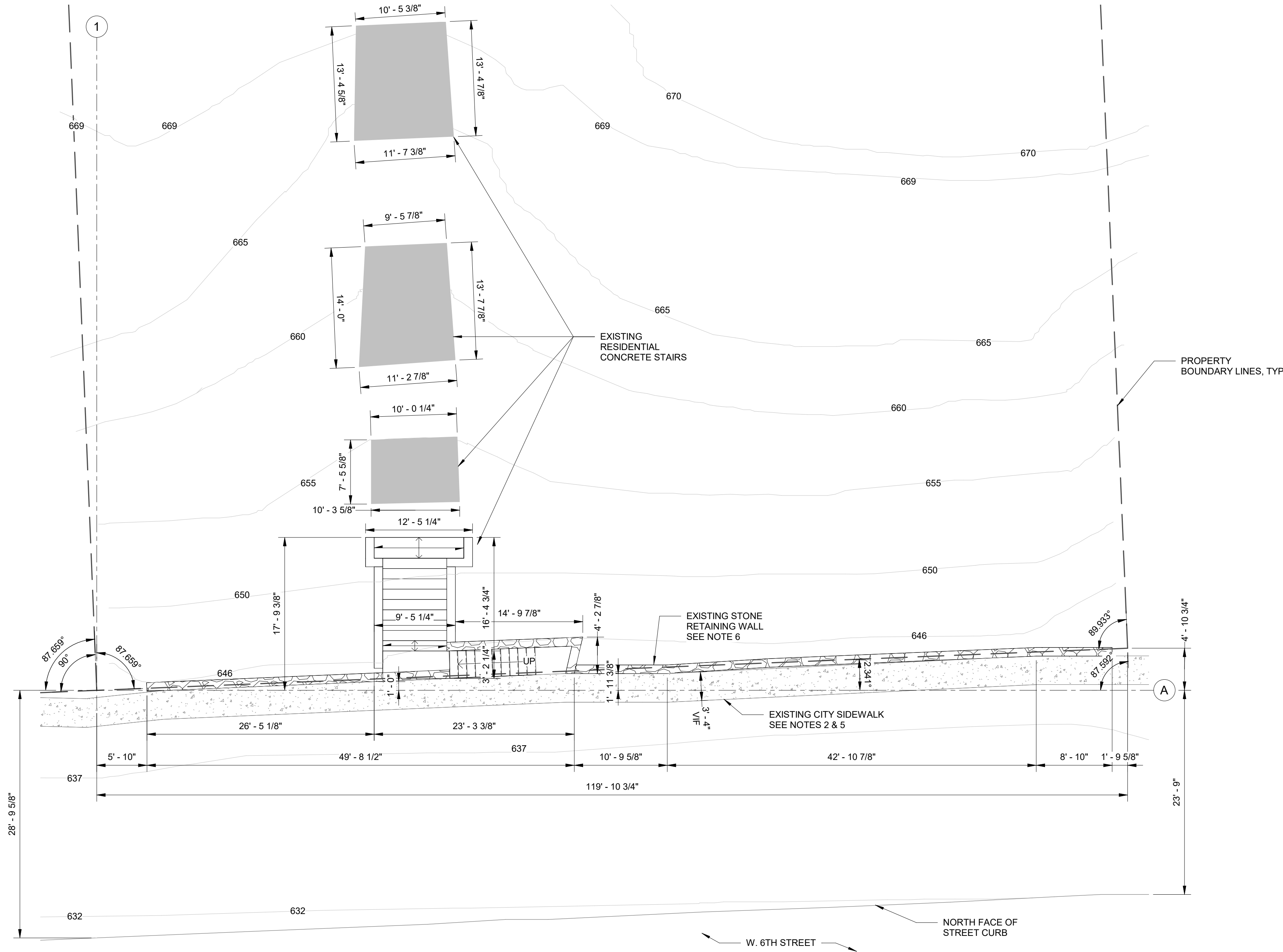
ISSUED FOR **01/25/2024**
CONSTRUCTION
DOCUMENTS

RETAINING WALL REPLACEMENT

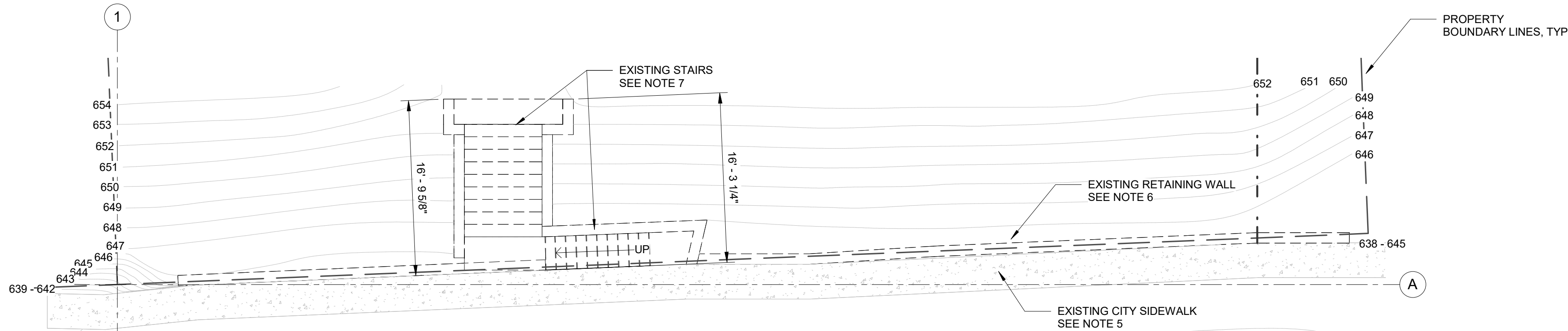
CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

Non-Reduced Sheet Size 22" x 34"	
Full sized plans have been prepared using standard scales. Reduced sized plans may not conform to standard scales.	
DESIGNED LMP	DRAWN LMP/GLJ
FIELD	FIELD BOOK
CHECKED ADL	CHECK DATE 01/24/24
SHEET TITLE	
STRUCTURAL NOTES	
PROJECT NO. 23-6014.004	
DRAWING ISSUED DATE: 01/25/2024	
SHEET	
S002	

1/25/2024 3:16:00 PM
C:\Users\logue\Documents\S22_510\West6th\SD\Drawings\23-6014-004_100.dwg\HWCA.rvt



1 EXISTING CONDITIONS AND SURVEYED TOPOGRAPHICAL CONTOURS
1/8" = 1'-0"



2 RETAINING WALL DEMOLITION PLAN
1/8" = 1'-0"

- SHEET NOTES:**
- EXISTING CONTOUR LINES, EXISTING ELEMENT LOCATIONS AND EXTENTS, AND PROPERTY BOUNDARY LINES OBTAINED VIA A SURVEY PERFORMED BY KLINGNER & ASSOCIATES, P.C. SURVEY DEPARTMENT. SURVEY WAS PERFORMED SPECIFICALLY FOR THIS PROJECT. NO ASSOCIATED SURVEY DOCUMENTS HAVE BEEN ISSUED.
 - EXISTING SIDEWALK IS OWNED BY CITY OF DAVENPORT. TOP OF EXISTING SIDEWALK ELEVATION ALONG ITS NORTH EDGE VARIES: HP 638'-1" AT WEST END OF WALL, LP 637'-8" AT EAST END OF WALL. SURVEYED ELEVATION OF 638'-0" IS USED FOR DESIGN DATUM. THE CORRELATING STRUCTURAL DESIGN ELEVATION IS 0'-0".
 - EXISTING ELEMENTS SLATED FOR DEMOLITION ACCORDING TO DETAIL 2 OF THIS SHEET ARE APPROXIMATE AND TO BE USED FOR BIDDING PURPOSES. ACTUAL EXTENTS OF DEMO ARE TO BE VERIFIED BY CONTRACTOR IN FIELD AND UPDATED AS REQUIRED.
 - ANY PORTION OF CITY SIDEWALK WHICH IS DAMAGED OR DEMO'D FOR INSTALLATION OF NEW RETAINING WALL SYSTEM SHALL BE REPLACED IN KIND.
 - NOT ALL OF THE EXISTING RETAINING WALL IS STILL STANDING. DIMENSIONS AND EXTENTS OF DEMO ARE CONSERVATIVE FOR BIDDING PURPOSES. DURING DEMO, STONE FROM THE EXISTING RETAINING WALL SHALL BE PROTECTED FROM ADDITIONAL DAMAGE AND SAVED/SET ASIDE FOR PROPERTY OWNER TO RETAIN AND STORE.
 - EXTENT OF EXISTING STAIR DEMO IS ESTIMATED AND MAY CHANGE BASED ON CHOSEN CONSTRUCTION AND EXCAVATION METHODS (BY CONTRACTOR).

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REVISION HISTORY			
Δ	DESCRIPTION	DATE	APPR

ISSUED FOR **01/25/2024**
CONSTRUCTION
DOCUMENTS

RETAINING WALL REPLACEMENT
CITY OF DAVENPORT
510 WEST 6TH STREET
DAVENPORT, IA

Non-Reduced Sheet Size 22" x 34"
Full sized plans have been prepared using standard scales.
Reduced sized plans may not conform to standard scales.

DESIGNED	DRAWN
LMP	LMP/GLJ
FIELD	FIELD BOOK

CHECKED	CHECK DATE
ADL	01/24/24

SHEET TITLE

CAST-IN-PLACE
RETAINING WALL
PLANS

PROJECT NO.
23-6014.004

DRAWING ISSUED DATE:
01/25/2024

SHEET

S101

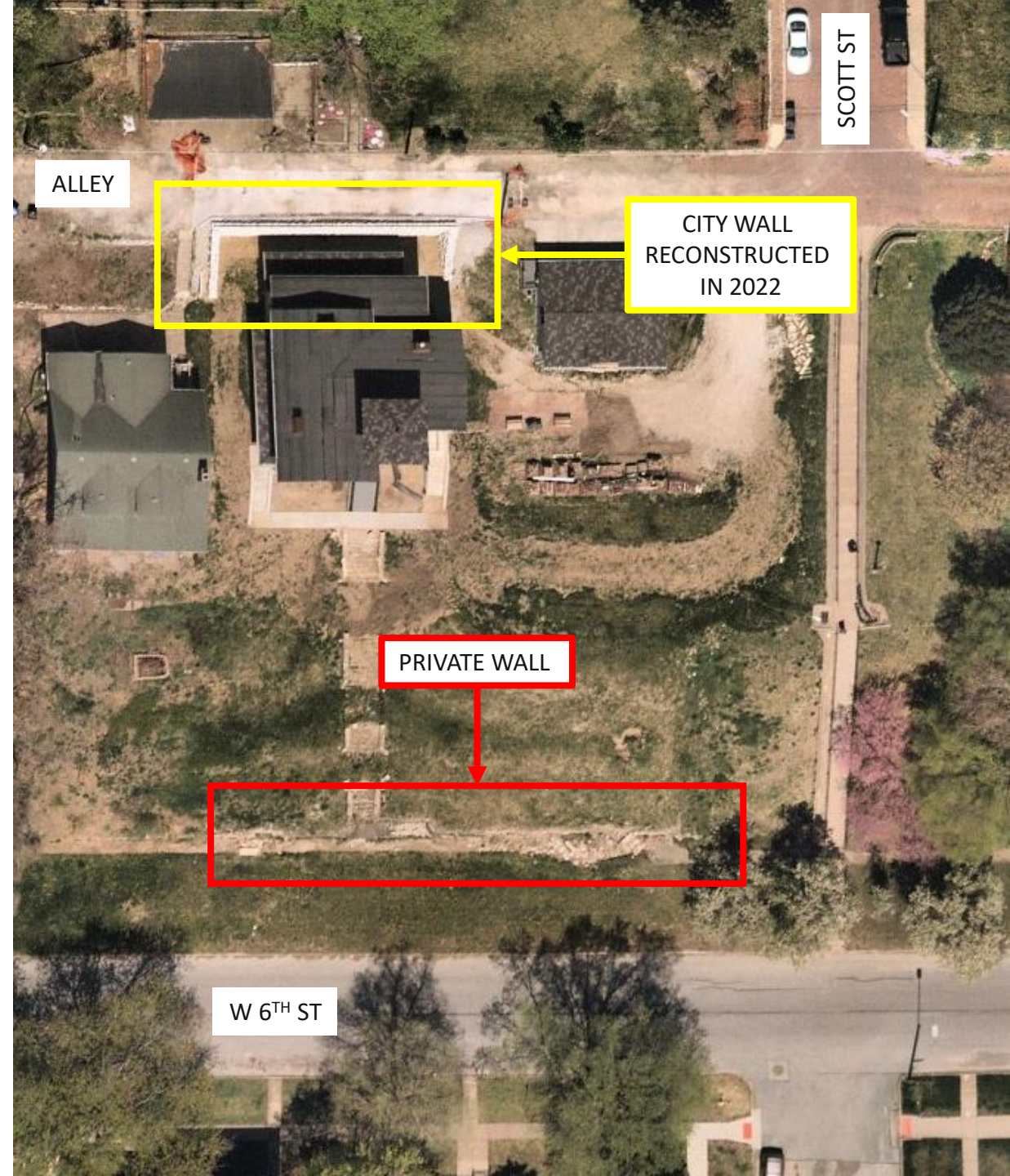
KLINGNER
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Engineers • Architects • Surveyors
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Pella, IA Hamblin, IL Columbia, MO
4111 East 60th St
563.359.1348

Lambrite-Iles-Peterson House

Retaining Walls

HPC approved the reconstruction of the north retaining wall in 2022.

Request: Remove the retaining wall at the south lot line. Construct a new retaining wall using Redi-Rock LedgeStone.



North Retaining Wall Rebuilt in 2022

DAVENPORT
IOWA | USA



Before



After

North Retaining Wall

DAVENPORT
IOWA | USA



North Retaining Wall

DAVENPORT
IOWA | USA



South Retaining Wall

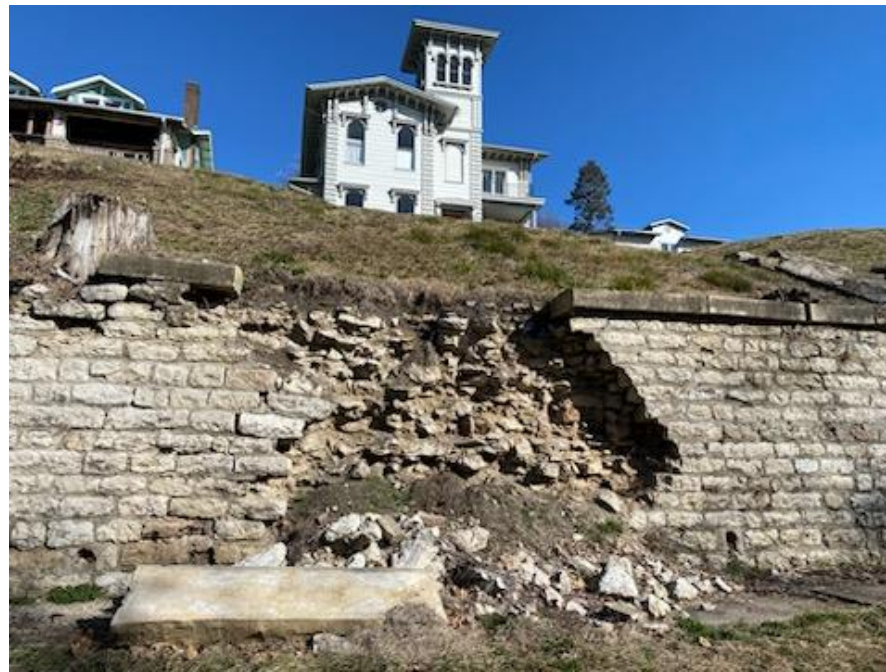
Privately Owned Wall

Extreme State of Deterioration

Wall Collapsing onto Sidewalk

DREAM Project Recipient

Klingner & Associates Hired to
Assess Condition & Design a
New Wall



South Retaining Wall

DAVENPORT
IOWA | USA



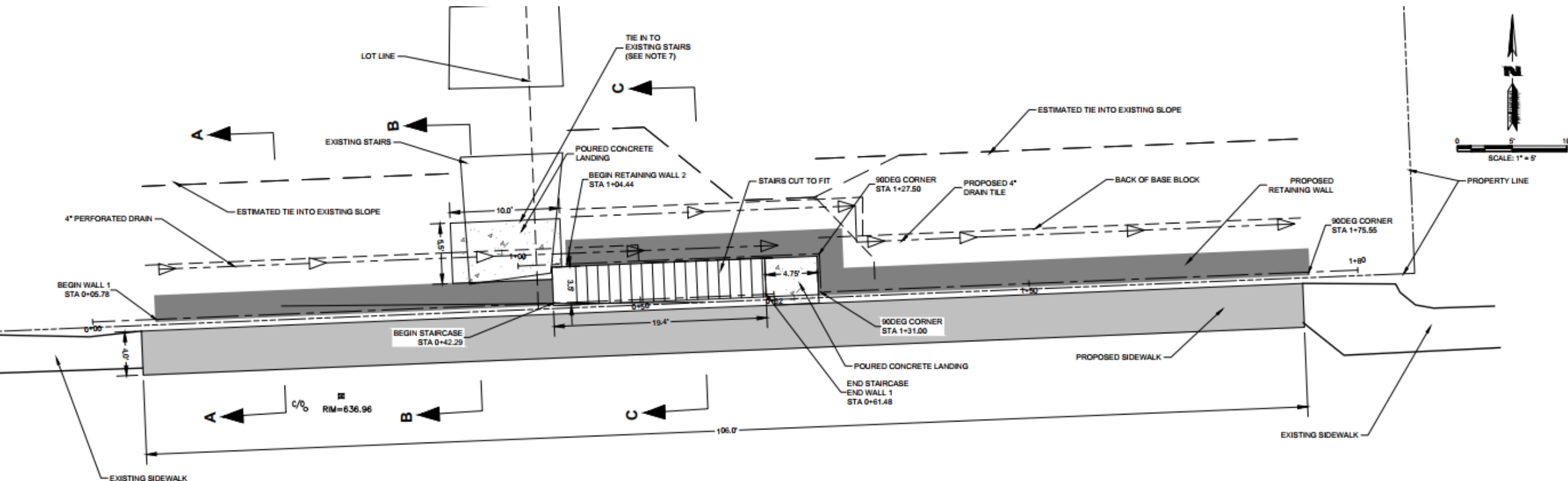
South Retaining Wall

DAVENPORT
IOWA | USA



Project Scope

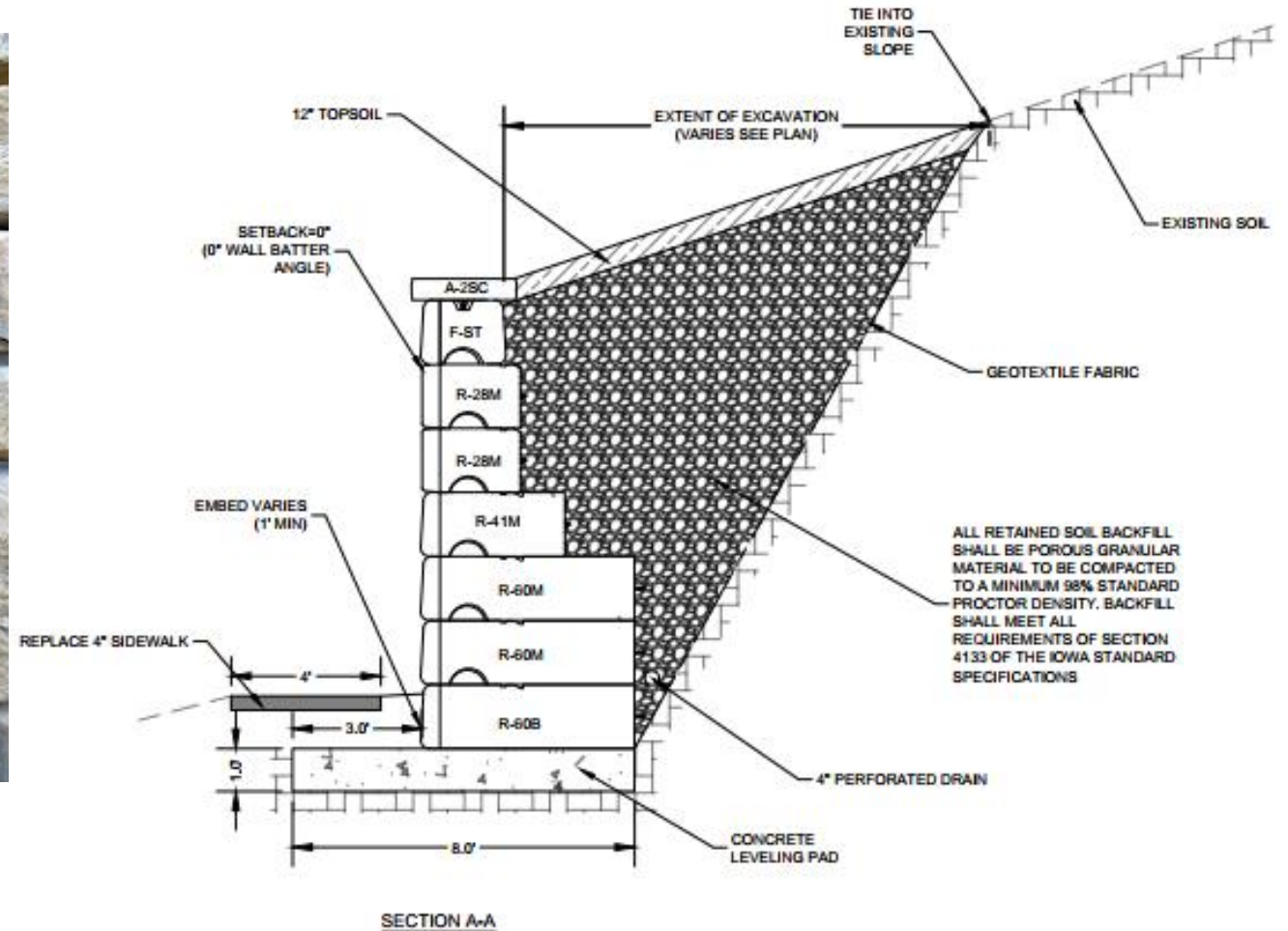
1. Demolish existing wall. Stone deemed not salvageable by engineer.
2. Reconstruct wall using Redi-Rock LedgeStone.
3. Incorporate new staircase into the wall design.
4. Repave public sidewalk following reconstruction.



Reconstruction



Redi-Rock Ledge Stone



Reconstruction

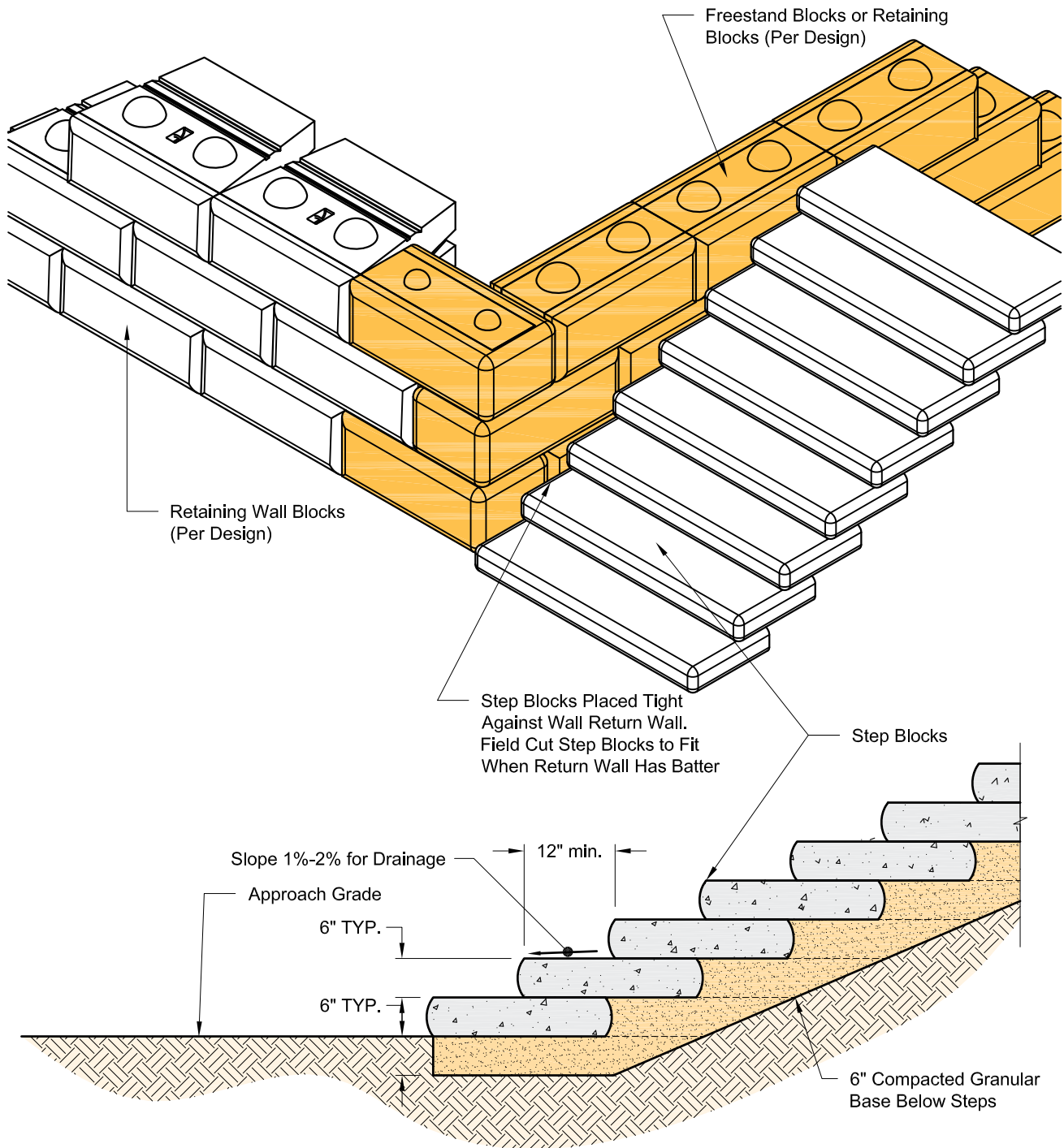


Existing Staircase



Example Staircase Design

Steps Through Wall



Stair Section

This drawing is for reference only. Determination of the suitability and/or manner of use of any details contained in this document is the sole responsibility of the design engineer of record. Final project designs, including all construction details, shall be prepared by a licensed professional engineer using the actual conditions of the proposed site.

DRAWN BY: JRJ
 APPROVED BY: JRJ
 DATE: 17MAR2016
 SHEET: 1 of 1

TITLE:

Steps Through Wall

FILE: 14 Steps Through Wall 031716.dwg

REDI-ROCK®
 05481 US 31 SOUTH, CHARLEVOIX, MI 49720
 (866) 222-8400 ext 3010 • engineering@redi-rock.com
www.redi-rock.com



Managing “The Bluff” - Retaining Walls

Satisfactory examples



Unsatisfactory examples



Retaining walls have been used extensively throughout the Hamburg District. Some are used to even sloping yards and prevent erosion. Some are used to keep earth from covering sidewalks and roadways. And some are used for decoration. The most common, and most attractive, types are made of stone with a cap of stone. Sometimes plantings, such as ivy, are used to hide retaining walls. Railroad ties and “suburban”-type retaining walls do not fit in with the character of the Hamburg District. Concrete retaining walls are acceptable, but not favored. Walls of adequate height, consistent in materials, and adequate maintenance promote an interesting and charming public face.



Managing “The Bluff” - Stairs

Front yard stairs



Road side stairs



Road extension stairs

The large elevation changes in the Hamburg District create the need for stairs. These stairs have been constructed in front yards, along roads, and as road extensions. Most stairs are composed of concrete with railings along one or both sides. Stairs in front yards tend to blend in with the landscaping of the house. Stairs along roads are detailed in similar fashion to the road and are subject to sidewalk—like standards. However, stairs that are used as road extensions are treated like stairs through a park and are more ornamental. Where this type of stair is used is when the bluff became too steep to economically build a road, but a connection was still wanted. Many types of material are acceptable as long as there is adequate maintenance of the stair.

ARCHITECTURAL/HISTORICAL SURVEY

DAVENPORT, IOWA

The Architects Office

Wehner, Nowysz, Pattschull and Pfiffner
901 day building, Iowa city, Iowa 52240DAVENPORT COMMUNITY DEVELOPMENT DEPARTMENT
IOWA DIVISION OF HISTORIC PRESERVATION

SITE #82-10- 6-W510 MAP # 3

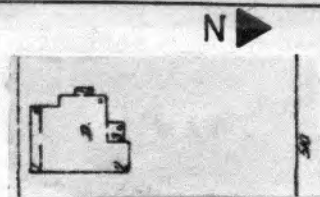
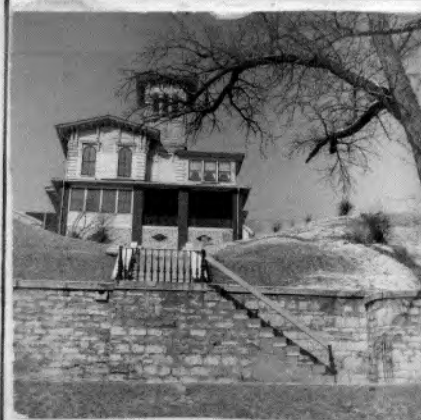
HIST. DIST. Hamburg

NAME Lambrite-Iles-Petersen House (H) C

ADDRESS 510 W. 6th Street

LEGAL DES. Original Town and E 40'
SUB-DIVISION 35 BLOCK 4 PARCEL Lot 3 SUB-PARCEL

UTM 15 70 118 80 45 19 9 78 0 EASTING NORTHING ACREAGE -1 ZONE R-6M

OWNER Gordon L. Muller
510 W. 6th St., Davenport, IA 52803TITLE H.
(IF DIFF)

SITE SHEET

ARCHITECTURE

DESCRIPTION

FORM Irregular with shallow pitched gable roof & tower CONST. DATE 1855-56

MATERIALS Wood ARCH. STYLE Italian Villa

FENESTRATION Semi-circular arches

DIST. FEATURES Extremely fine wood detailing and cornice

ALTERATIONS Porch and service additions front and rear (C. 1920)

SITE & RELATED STR. 6 ft. stone retaining wall at street

STATEMENT

The house is a unique surviving early example of the Italianate Villa Style in Davenport. Despite some shapeless later additions, it still displays its basic original form and fine wood detailing with quoins and rustication imitating dressed stone.

SOURCES

Oszuscik, Philippe. "A History of the Architecture and Urbanization of Nineteenth Century Davenport, Iowa"; Iowa City, 1979. Dissertation, University of Iowa.

Insurance Maps of Davenport, Iowa. New York Sandborn Map Co., 1886,
(See continuation sheet)

SIGNIFICANCE

This residence was associated with the career of a prominent German-American businessman - John H.C. Petersen, drygoods jobber and retailer. Its location in the German neighborhood increases its significance. Petersen resided here from the mid-1880's until his death in 1910.

HISTORY

DESCRIPTION This house was built for Joseph Lambrite c. 1857. Lambrite was the treasurer of Iowa College, which owned property at the rear of this site. Lambrite was also alderman for a short time from this ward. After the property was briefly owned by several other men from c. 1859-1863, Thomas Iles purchased it. Iles was a physician who apparently received a presidential commission as Chief Surgeon for the Confederate Prison Camp on Government Island. Dr. Iles resided here for more than twenty years. In around 1885, John H.C. Petersen bought the property described in the abstract as "Homestead". See also site #82-10-2-W131 (J.C.H. Petersen's Sons' Department Store).

SOURCES Richter, August, "A True History of Scott County," Davenport Democrat 29 October 1922.
 "Matches to Merchandising is Petersen's Story," Centennial and Fiftieth Anniversary Edition, Davenport Times, 11 July 1936.
 1 Downer, Harry. History of Davenport and Scott County, Iowa. Chicago: S.J. Clarke Publishing Co., 1910.

ARCHITECTURAL HISTORIAN: Martha Bowers

HISTORIAN: MARLYS SVENDSEN - ROESLER

SURVEY COMP. 1981

EVALUATION

ARCHITECTURAL

I. ARCH. EVALUATION Excellent
 II. ENVIR. STATURE Focus
 III. INT. OF CONTEXT Outstanding
 IV. INT. OF FABRIC Good

LEVEL OF SIGNIFICANCE:

☐ NAT. ☒ STATE ☐ LOCAL ☐ N. ELIG.

HISTORICAL

I. THEME(S) OF SIGNIFICANCE:

A. PRIMARY Commerce

B. SECONDARY Drygoods

II. LEVEL OF SIGNIFICANCE:

☐ NAT. ☐ STATE ☒ LOCAL

III. NRHP

ELIGIBLE ☐ NOT ELIGIBLE ☐

HISTORIC DISTRICT CLASSIFICATION

☒ A. ☐ B. ☐ C.

FOR DIVISION OF HISTORIC PRESERVATION USE ONLY

1. DATE RECEIVED _____

2. DATE OF STAFF EVALUATION _____

	A. ARCHITECTURAL	B. HISTORICAL
ELIGIBLE FOR NRHP	<input type="checkbox"/>	<input type="checkbox"/>
NOT ELIGIBLE FOR NRHP	<input type="checkbox"/>	<input type="checkbox"/>

3. NRHP ACTION

A. STATE REVIEW COMM.

APP. ☐ DISAPP. ☐ TABLED ☐ DATE _____

B. FEDERAL REVIEW

APP. ☐ DISAPP. ☐ TABLED ☐ DATE _____

4. D.H.P. SOURCES

☐ COUNTY RESOURCES

☐ W'SHIELD SURVEY

☒ NRHP 11/18/83

☐ GRANT _____

☐ DET. OF ELIGIBILITY

☐ R. & C. _____

☒ DAVENPORT A/H SURVEY

☐ _____

☐ _____

5. SUBJECT TRACES

6. PHOTO

1615-9

1623-7,8

The Architects Office

Wehner, Nowysz, Pattschull and Pfiffner
201 oey building, iowa city, iowa 52240

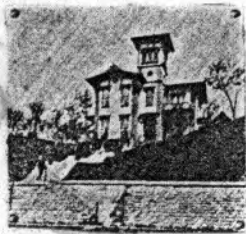
DAVENPORT COMMUNITY DEVELOPMENT DEPARTMENT
IOWA DIVISION OF HISTORIC PRESERVATION

82 - 10 - 6-W510

ADDITIONAL PHOTOGRAPHS:



STATEMENT CONTINUED:



J.H.C. Petersen residence in 1887 (Heubinger)

SOURCES CONTINUED:

1892, 1910, 1920 and 1930.

Heubinger Brothers, Album of Davenport and Vicinity; Davenport, 1887.

CONTINUATION

Historic Preservation Ordinance

Section 14.01.060 Certificate of Appropriateness Review Process

C. Commission review process - Standards for review. In considering an application for a certificate of appropriateness, the commission shall be guided by the following general standards in addition to any other standards or guidelines established by ordinance for a local landmark or historic district. In all cases, these standards are to be applied in a reasonable manner, taking into full consideration the issue of economic feasibility and other technical considerations.

1. Every reasonable effort shall be made to make the minimal number of changes necessary to maintain a designated property in a good state of repair, thereby minimizing the impact of the proposed alteration; and
2. The removal, alteration or concealing of distinguishing exterior architectural features and historic material of a designated property should be avoided when possible; and
3. All designated property shall be recognized as a product and physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural architectural features shall be discouraged; and
4. Most properties change over time, and those changes that have acquired architectural and/or historical significance in their own right shall be recognized, respected and retained; and
5. Distinctive architectural features, construction techniques and/or examples of craftsmanship that characterize a designated property shall be treated with due consideration; and
6. Deteriorated architectural features should, where possible, be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence; and
7. Activities that cause deterioration of a designated property and its architectural features shall be discouraged. In those cases where the damage would be irreversible, such as sand-blasting and wet blasting fire-hardened bricks, the activities shall be prohibited. If cleaning is to be done, the gentlest means possible shall be encouraged; and
8. Known significant archeological resources possibly affected by a proposed activity shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken; and
9. New additions and related new construction shall not be discouraged when such improvements do not destroy historic material and such design is compatible with the size, massing, scale, color, materials and character of the property, neighborhood and district, if applicable.

D. Design criteria to implement review standards. When the commission is considering an application for a certificate of appropriateness, it shall consider the following architectural design criteria, or elements of design as they relate to the standards for review prescribed in Section 14.01.040C.

1. Height. The height of any proposed addition, construction or reconstruction should be compatible with the designated property and the surrounding structures, if located within a designated historic district; and
2. Proportions. The proportions (width versus height relationship) between doors and windows should be compatible, if not replicated, with the architectural design and character of the designated property; and
3. Scale. A proposed alteration, construction, reconstruction or addition should not negatively impact the scale of the designated property or district; and
4. Materials. Historic or original architectural features, or replacement elements which in all ways replicated the original, should be repaired whenever possible; and
5. Relationship of building masses and spaces. The relationship of a structure within a designated historic district to the rear, side and front yards between it and surrounding structures should be compatible; and
6. Roof shape. The roof design and shape should remain consistent with its original configuration and character; and
7. Site improvements. Landscaping and other site improvements, including off-street parking, should have as minimal of an impact as possible to the designated property's original plan/layout and its visual character.

City of Davenport
Historic Preservation Commission

Department: Development & Neighborhood Services
Contact Info: Matt Werderitch 563.888.2221

Date
3/12/2024

Subject:

Case COA24-03: Request for exterior alteration at 614 West 7th Street. The Ottilie J. Meisner House is a contributing structure in the Hamburg Local Landmark Historic District. Darrell McCormick, petitioner. [Ward 3]

Recommendation:

A recommendation is made to approve the Certificate of Appropriateness for exterior alteration at 614 West 7th Street in accordance with the submitted material and subject to the following conditions:

1. To the greatest extent possible, the original wood siding shall be preserved underneath the installation of the new LP Smart Siding.
2. The profile of the horizontal LP Smart Siding shall match the profile of the original wood siding.

The project was reviewed for conformance with the Standards for Review, Chapter 14.01.060 C of the Davenport Municipal Code. The project meets the following standards:

1. Every reasonable effort shall be made to make the minimal number of changes necessary to maintain a designated property in a good state of repair, thereby minimizing the impact of the proposed alteration.
2. Deteriorated architectural features should, where possible, be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence
3. New additions and related new construction shall not be discouraged when such improvements do not destroy historic material and such design is compatible with the size, massing, scale, color, materials and character of the property, neighborhood and district, if applicable.

Background:

The Ottilie J. Meisner House is a two-story Queen Anne structure built in 1890. The building materials consist of wood siding, stone foundation, and a gable roof with asphalt shingles. The front porch was added in 1910 with round wood columns.

The new property owner received funding through the Extreme DREAM Program to rehabilitate the vacant home. Due to the long period neglect, the entirety of the exterior is in a state of deterioration with damaged siding and boarded up windows and doors.

With assistance from Clark Design & Development, the following scope of work is proposed:

1. Demolition:
 1. Remove concrete as needed.
 2. Remove boarded openings.
 3. Remove rotten siding as needed (small patch areas).
 4. Remove front porch.

5. Demolish rear bump out addition.
2. Concrete Work:
 1. Pour new driveway area behind home.
 2. Pour proper footing for front and back porch.
3. Siding:
 1. Install house wrap taped at seams and bottom to help with assumed lead paint.
 2. Install LP Smart Siding to house.
 3. Depending on thickness, buildout around doors and windows may be required.
 4. Install new aluminum gutters.
4. Windows:
 1. Install windows in current openings. (Many openings do not have windows.)
 2. Replace other deteriorated windows.
 3. Shorten two first floor rear windows to enable standard kitchen cabinets/ countertops to fit below.
 4. Add two new windows: One in the living room and another in the attic stairwell.
 5. All windows to be wood interior aluminum clad exterior Pella Life Style and Architectural.
 6. Repair attic windows.
 7. No repairs or work to be performed to side stained glass window.
5. Painting:
 1. Paint existing wood soffits.
 2. Paint trim as needed.
 3. Painting to structures as needed.
6. Front & Rear Porch:
 1. Install round tapered porch columns.
 2. Install aluminum railings. (Required per building code.)
 3. Install composite decking floor board.
7. Detached Garage:
 1. Install LP Smart Siding to match the house.
 2. Install new carriage style garage door.
 3. Install a new window opening on the south side of the garage.
 4. Reroof the garage in Owen's Corning Durations Architectural Series. Color to match the home.

*Material and product catalogs submitted by the applicant will be available during the meeting for review.

Project Review: Siding

The owner is requesting permission to cover the deteriorated wood siding with LP Smart Siding. The replacement siding is an engineered wood product. LP Smart Siding is a high quality material that can replicate a wood finish, while providing better durability and less maintenance. This product has been used throughout the Village of East Davenport as a substitute for wood siding. Staff believe LP Smart Siding is a high quality option that preserves the historic appearance of the home and compliments the district.

Project Review: Windows

Property owners are encouraged to repair and retain existing historic windows. However, where the severity of deterioration requires replacement, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. For this case, numerous windows are missing or have been previously replaced.

The owners submitted a replacement window product that generally matches the physical characteristics of the historic windows. The replacement Pella Wood/Clad windows will be manufactured to replicate the historic dimensions and appearance. In addition, the replacement product can fit within the existing window openings without disrupting the interior and exterior trim. There are no changes proposed to the stained glass window on the east elevation.

The only exception is the shortening of the two first floor windows at the back of the home. The owner is petitioning shorter windows to better improve the functionality of the kitchen. Since staff believe the front façade is the defining feature of the home, the reduced window openings will have minimal impact to the characteristic of the district.

In addition, two new window openings will be installed on the west elevation. An opening will be added on the first floor near the front of the home to increase natural lighting to the living room. The second window is proposed on the second floor stairwell. There appears to be evidence that a window or door once existed in this location.

In recent years, the Historic Preservation Commission has approved similar wood windows with exterior aluminum clad on other local landmarks in the Hamburg Historic District. This product is viewed as a compromise for its durability and energy efficiency while also imitating the historic character of the structure.

Staff believe the design criteria to implement review standards have been met since the Pella Wood/Clad windows are consistent with the design, dimensions, and color of the original windows.

The Secretary of the Interior's Standards for Rehabilitation recommend, "replacing in kind an entire window that is too deteriorated to repair-if the overall form and detailing are still evident-using the physical evidence to guide the new work. If using the same kind of material is not technically or economically feasible, then a compatible substitute material may be considered."

Project Review: Porches

The home's front porch, which was added in 1910, is in a severe state of deterioration. The porch is raised several feet above grade and extends from the west façade to the west bay window. There is currently no stairs to access the porch from the front yard. The roof is supported by four round wood columns. However, the eastern most column is missing.

Clark Design & Development submitted a project scope to rebuild the front porch within the same footprint and dimensions as the existing. Evidence of the current porch will be used to best replicate the proportions and detailing for the reconstruction. Four new round tapered Perma Cast columns will be installed, which resemble the existing wood columns. Composite decking is proposed for the floor boards. To comply with building code, aluminum railings will wrap around the porch for safety purposes. A new stair case will extend to the front of the house for access. While the proposed materials are not wood, the new features reasonably match the old in design, color, texture, and other visual qualities.

There is a small non-original addition that is detaching from the rear façade of the home. The structural integrity of the bump-out is questionable. Staff believe demolishing the addition is in the best interest for the safety of the residents. The homeowner is proposing to remove the addition and construct a covered porch with the same materials and design as the porch at the front of the home. Renderings are attached conveying the overall design intent and proportions.

The Historic Preservation Ordinance states where possible all materials and characteristics of the porch be replaced with similar materials. Evidence of the existing front porch should be used to best replicate the proportions, detailing, and materials for the reconstruction. While the replacement materials are consistent with modern construction standards, staff believe the historic appearance and proportions will be accurately replicated. The project recreates a defining architectural feature of the home and will benefit the overall character of the Hamburg Historic District.

Project Review: Detached Garage

There is a small single-stall detached garage at the rear of the home adjacent to the alley. The shed roof structure sits on a concrete foundation with matching wood siding. The garage's defining feature is the wood carriage style doors and hardware.

The owner is petitioning to rehabilitate the structure with LP Smart Siding, reroof using Owen's Corning Durations Architectural Series Shingle, install a new carriage style mechanical garage door, and install a new Pella Wood/Clad window to the south elevation.

Since the garage is a non-contributing structure, staff believe the improvements will keep the building in a good state of repair. The scope of work will compliment the home and have minimal impact on the historic character of the district.

ATTACHMENTS:

Type	Description
Backup Material	Application
Backup Material	Scope of Work
Backup Material	Background Materials & Photos
Backup Material	Pella Architect Series Brochure
Backup Material	Pella Lifestyle Series Brochure
Backup Material	Round Tapered PERMA Cast Column Catalog
Backup Material	Historic Property Inventory Sheet
Backup Material	Historic Preservation Ordinance-Review Standards

REVIEWERS:

Department	Reviewer	Action	Date
Community Planning & Economic Development	Werderitch, Matt	Approved	3/8/2024 - 3:55 PM



CITY OF DAVENPORT
Development & Neighborhood
Services – Planning
1200 E. 46th St
Davenport, IA 52807

Office 563.326.6198
planning@davenportiowa.com

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

HISTORIC PRESERVATION COMMISSION

APPLICANT INFORMATION		
Application Name	BRIEF OVERVIEW OF THE PROJECT (not a scope of work)	
Address		
City State Zip	APPLICABILITY PRIOR to any work on applicable Historic Resources: A Certificate of Appropriateness must be submitted & approved PRIOR to the commencement of the following: <ul style="list-style-type: none">Any Building or Sign Permit changing the exterior (except demo)New construction/Addition or exterior alteration of a structureSign installation or alteration Demolition of any local or national historic resources shall require a Historic Demolition Request Application	
Phone		
Secondary Phone		
E-Mail Address		
Acceptance of Applicant I, the undersigned, certify that the information on this application to the best of my knowledge is true and correct. I further certify that I have a legal interest in the property in question, and/or that I am legally able to represent all other persons or entities with interest in this property, and acknowledge formal procedure and submittal requirements. I understand I am responsible for attendance at the meeting as shown on the historic preservation commission calendar. The City reserves the right to require further site studies as necessary. By checking this box and typing my name below, I am electronically signing this application. <div><div>Type Applicant's Name here to serve as a signature</div><div>Date</div></div>		ALL SUBMITTALS SHALL INCLUDE: Full Scope of Work (SOW) attached as a .PDF all work & materials shall be described & itemized/listed in detail Photos or renderings of all existing building/sign façades Proposed color building/sign elevations to scale rendered showing existing and/or proposed building materials Material specs: type, dimensions, color & manufacturer MINOR & MAJOR ADDITIONS, SITE IMPROVEMENTS, & NEW BUILDINGS SHALL INCLUDE ADDITIONAL ITEMS*: Dimensioned Site Plan (proposed & existing buildings/site items) Grading Plan with 2 foot intervals (if needed) Mechanical Screening shall be shown Materials Board of sample building materials proposed <small>* Major Additions & New Buildings may require more extensive information</small>
DEVELOPMENT TEAM		Application Fee: NONE
Property Owner		Formal Procedure (1) Application: <ul style="list-style-type: none">Prior to submission of the application, the applicant shall correspond with Planning staff to discuss the request, potential alternatives and the process.The submission of the application does not constitute official acceptance by the City of Davenport. Planning staff will review the application for completeness and notify the applicant that the application has been accepted or additional information is required. <u>Inaccurate or incomplete applications may result in delay of applicant's scheduled meetings.</u> (2) Scope of Commission's Consideration: <ul style="list-style-type: none">Only work described in the application may be approved.If insufficient information exists to make a proper judgment on the application, the Commission may continue the consideration a maximum of 60 days, excluding applicant's continuances. (3) Post Commission Ruling: <ul style="list-style-type: none">An approved Cert. of Appropriateness does not constitute a City permit or license and does vest against any other land development regulation or regulatory approval. Applicant must contact necessary development authorities.Appeals to determinations are \$75 made to City Council and shall be in writing submitted to the Zoning Administrator within 30 calendar days of Commission's decision.
Address		
Phone	Secondary Phone	
E-Mail Address		
Project Manager/Other		Submit this form with attachments to: planning@davenportiowa.com
Address		
Phone	Secondary Phone	
E-Mail Address		

HPC Meeting Calendar | 2024

HISTORIC PRESERVATION COMMISSION | CITY OF DAVENPORT IOWA

The Applicant and/or their representatives are required to attend the HPC Meeting

Meetings are generally held the 2nd Tuesday of each month

Submittal

Friday (12:00 PM)

Email application to: planning@davenportiowa.com

or deliver application to: Planning | Public Works

1200 E 46th St | Davenport IA 52807

Meeting

Tuesday (5:00 PM)

Meeting Appearance is REQUIRED at:

Council Chambers | City Hall

226 W 4th St | Davenport IA 52801

General Business Requests

(certificates, demolition reviews, national nominations)

12/29/23	01/09/24
02/02/24	02/13/24
03/01/24	03/12/24
03/29/24	04/09/24
05/03/24	05/14/24
05/31/24	06/11/24
06/28/24	07/09/24
08/02/24	08/13/24
08/30/24	09/10/24
09/27/24	10/08/24
11/01/24	11/12/24
11/29/24	12/10/24

Local Landmark Requests

11/24/23	01/09/24
12/29/23	02/13/24
01/26/24	03/12/24
02/23/24	04/09/24
03/29/24	05/14/24
04/26/24	06/11/24
05/24/24	07/09/24
06/28/24	08/13/24
07/26/24	09/10/24
08/23/24	10/08/24
09/27/24	11/12/24
10/25/24	12/10/24

** Date changed due to observed holiday | Any and all Date/Location/Time are subject to change*

Contact planning@davenportiowa.com to submit completed applications or to confirm meeting date/time

Phone Contact: 563.326.6198

Budget Proposal

**CLARK DESIGN
&
DEVELOPMENT
563-529-0032**

Date: 3/1/2024
To: Darrell McCormick
Jobsite Address: 614 W 7th St
City, State, ZIP: Davenport, IA 52803
Phone/Fax:
Project name: Exterior Remodel

We propose to furnish all materials and perform all labor necessary to complete the following unless otherwise stated:

Demolition-

Remove concrete as needed
Remove boarded openings
Remove rotten siding as needed (small patch areas)
Remove front and back porch

Concrete-

Pour new driveway area as needed
Pour proper footing for front and back porch

Siding-

Install house wrap taped at seams and bottom to help with assumed Lead Paint
Install LP Smart Siding to house
Depending on thickness buildout around doors and windows may be required

Windows-

Install windows in current openings (Many openings do not have windows)
Replace other main windows
Shorten windows to allow standard kitchen cabinets/countertops to fit below
Add (2) windows one in living room and other attic stairwell
All windows to be wood interior aluminum clad exterior Pella Life Style and Architectural
Repair attic windows
No repairs or work to be done to side stained glass window

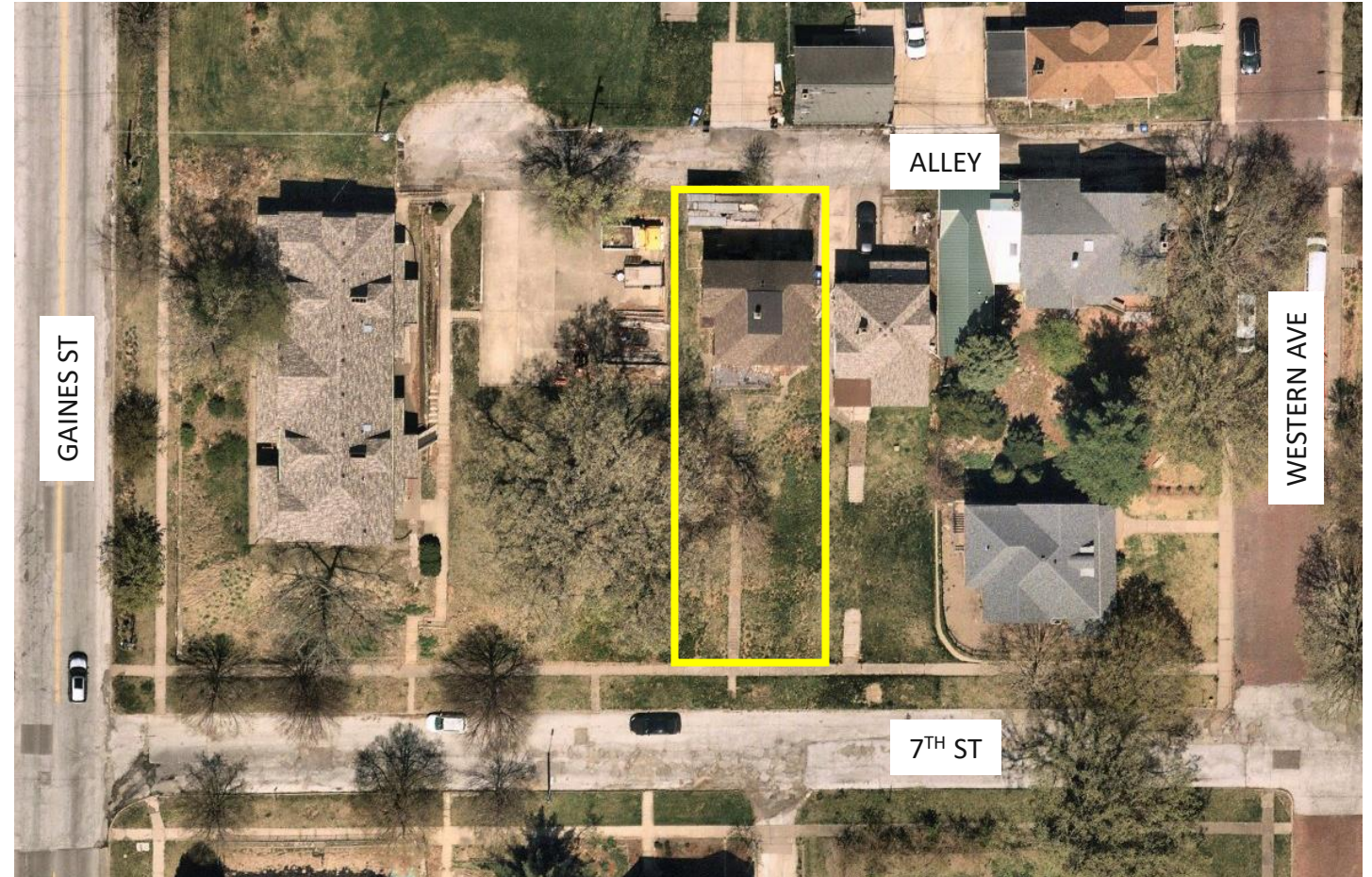
Painting-

Painting of soffits
Painting of trims as needed
Painting to Structures as needed

If accepted a follow-up meeting can be scheduled for jobsite review, if needed. This is billed \$65 per man, per hour. Final contract to be drafted, once signed scheduling will begin. Typically start will be 2-4 weeks, subject to change at any time. Please let me know if there are any questions.

Ottilie J. Meisner House

DAVENPORT
IOWA | USA



Project Scope

DAVENPORT
IOWA | USA

1. Install New Siding
2. Window Replacement
3. Paint Wood Soffit & Trim
4. Install Aluminum Gutters
5. Reconstruct Front Porch
6. Demolish Rear Addition
7. Construct Rear Porch
8. Rehabilitate Detached Garage
9. Pour New Driveway



Siding

DAVENPORT
IOWA | USA

- **Existing Material:** Deteriorated Wood Siding
- **Replacement Material:** LP Smart Side
 - Engineered Wood Product
 - Look & Warmth of Natural Wood
 - Durable and Low Maintenance



Windows

- Numerous Windows Missing on Home
- Replace Deteriorated Windows
- Replacement Windows: Pella Lifestyle & Architectural Series
 - Wood Interior with a Clad Exterior.
 - 2/2 Grid Pattern
- Repair Attic Windows
- Preserve Stained Glass Window
- Install 2 New Openings on West Elevation
- Shorten 2 Window Openings in Rear



Windows

DAVENPORT
IOWA | USA



Reduce Window Height to Facilitate Kitchen Remodel.



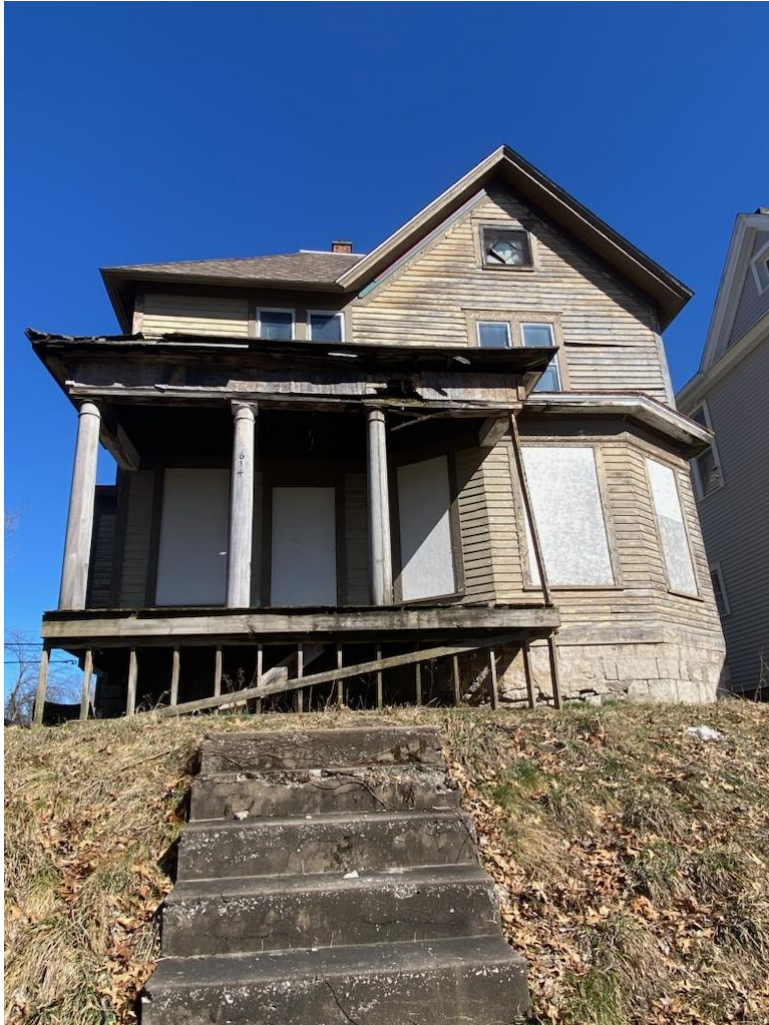
Windows

DAVENPORT
IOWA | USA



Front Porch

DAVENPORT
IOWA | USA

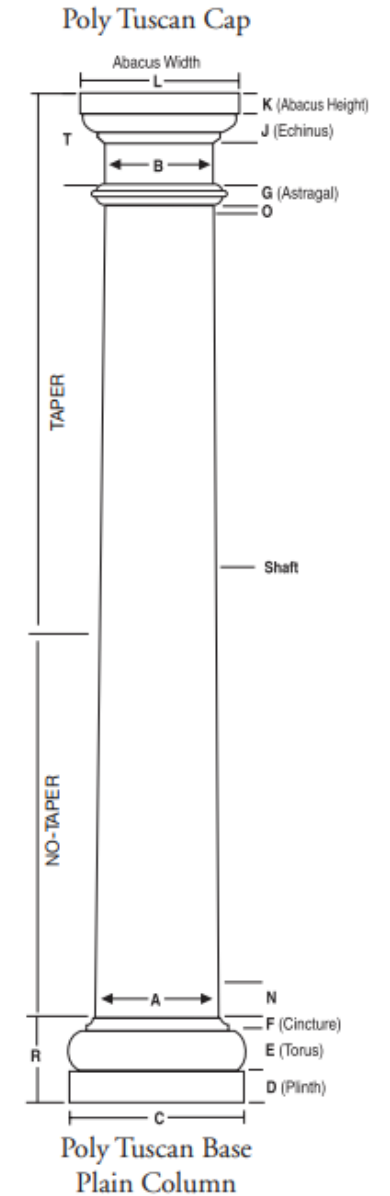
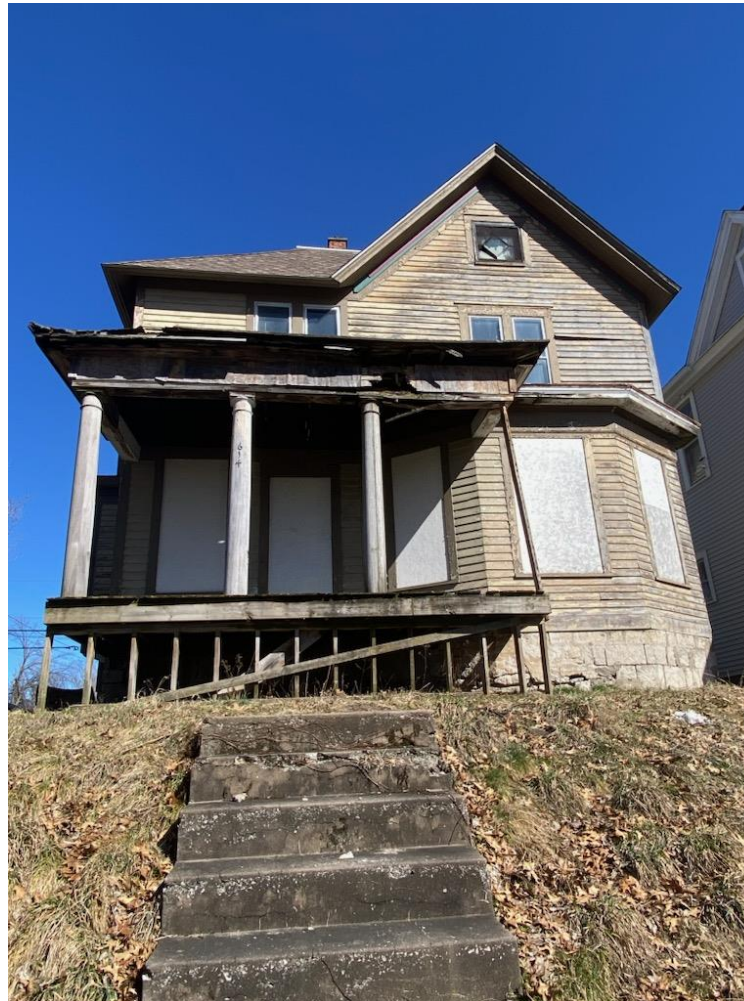


Front Porch

DAVENPORT
IOWA | USA



Front Porch



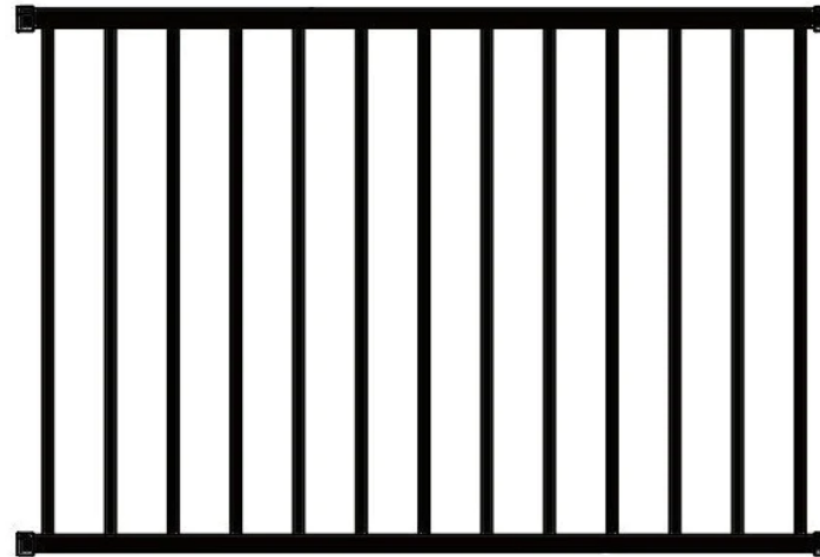
Round Tapered
PERMA Cast Columns

Porch Materials

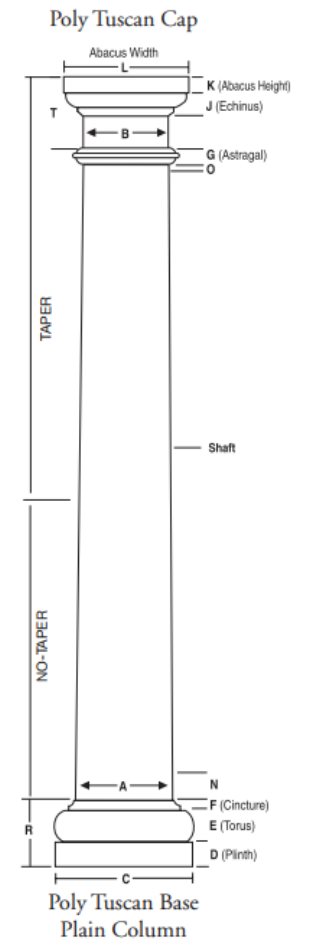
DAVENPORT
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Fiberon Composite Decking



Tuscany Aluminum Railing



Rear Porch

DAVENPORT
IOWA | USA



Demolish Rear Addition & Construct a Covered Porch in its Footprint.

Detached Garage

- Noncontributing Structure
- Single-Stall Garage
- Install New LP Smart Siding to Match House
- Reroof with Owen's Corning Durations Architectural Shingle
- New Carriage Style Mechanical Garage Door
- Install New Pella Window on South Elevation



Ottilie J. Meisner House

DAVENPORT
IOWA | USA



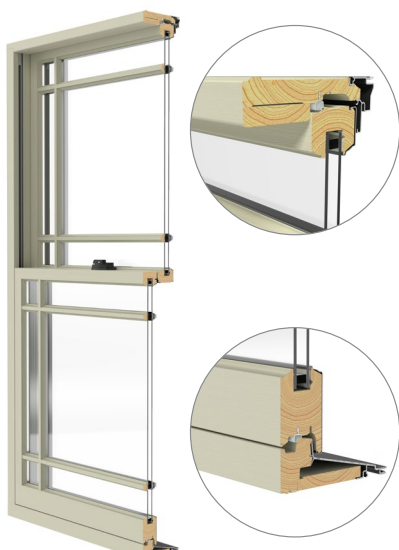
Pella® Architect Series®

Traditional Wood & Clad/Wood



Expertly crafted wood windows and patio doors with nearly endless possibilities.

Double-Hung Interior



Double-Hung Exterior



- Designed with distinguished details**
 Crafted with classic aesthetics to make a statement and add architectural interest to your project, inside and out.
- Enhanced style options and custom capabilities**
 Maximum design flexibility with dramatic sizes, custom colors, finishes, profiles, product types and more.
- Authentic look of true divided light**
 Pella's Integral Light Technology® grilles use a metal spacer to create the authentic look of true divided light by casting a more realistic shadow.
- Interior finish options**
 From light to dark, Architect Series – Traditional wood windows and patio doors are available in an array of classic and on-trend colors. Pine interiors are available in a variety of paint and stain colors.
- Beautiful hardware**
 Choose from Pella's collection of rich patinas and other timeless finishes.
- Optional integrated security sensors**
 Built-in security sensors allow homeowners to know when their windows and doors are open or locked, while being virtually invisible when the product is closed.
- ENERGY STAR® certified¹**
 Pella products offer energy-efficient options that will meet or exceed ENERGY STAR guidelines in all 50 states. Pella Architect Series – Traditional products with triple-pane glass have been awarded the ENERGY STAR Most Efficient Mark in 2023.¹
- Long-lasting durability**
 Aluminum-clad exteriors with EnduraClad® finish is applied in an overlapping fashion on windows for exceptional protection. Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly.
- Best limited lifetime warranty²**
 Pella Architect Series – Traditional products are covered by the best limited lifetime warranty in the industry for wood windows and patio doors.²
- Testing beyond requirements**
 At Pella, our products are tested beyond requirements to help ensure they have long-lasting performance and reduce call-backs for you.

Available in these window and patio door styles:



Special shape windows also available.

¹² See back cover for disclosures.

Product Specifications


Window & Patio Door Styles	Min. Width	Min. Height	Max.Width	Max. Height	Performance Class & Grade	Performance Values			Frame / Install
						U-Factor	SHGC	STC	
Awning	13-¾"	13-¾"	73"	73"	LC40-CW50	0.25-0.29	0.18-0.47	27-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Casement	13-¾"	13-¾"	41"	96"	CW30-CW50	0.25-0.29	0.18-0.47	28-33	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Fixed Casement/Fixed Awning	10"	10"	144"	144"	CW30-CW50	0.25-0.29	0.18-0.47	28-32	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Double-Hung	14"	24-¾"	54"	96"	CW40-CW50	0.25-0.30	0.19-0.53	26-34	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
Precision Fit Double-Hung	13-¾"	23-¾"	48"	84"	CW40-CW50	0.25-0.31	0.19-0.53	26-30	Pocket Replacement
In-Swing Hinged Patio Door (Single)	18"	36"	48"	119-½"	LC40-LC55	0.20-0.40	0.14-0.40	—	Fold-out Fin, Block Frame, EnduraClad Exterior Trim / Brickmould
In-Swing Hinged Patio Door (Double)	36"	36"	96"	119-½"	LC40-LC55	0.20-0.40	0.14-0.40	31-35	
Out-Swing Hinged Patio Door (Single)	18"	36"	48"	119-½"	R50-LC70	0.20-0.40	0.14-0.39	30-36	
Out-Swing Hinged Patio Door (Double)	36"	36"	96"	119-½"	R50-LC70	0.20-0.40	0.14-0.39	30-36	
Sliding Patio Door (O)	30-¾"	74"	60-⅞"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	—	
Sliding Patio Door (OX, XO)	59-¼"	74"	119-¼"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	31-35	
Sliding Patio Door (OXO)	90"	74"	180"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	—	
Sliding Patio Door (OXXO)	116-⅙"	74"	236-⅙"	119-½"	LC25-LC70	0.25-0.40	0.15-0.42	—	
Multi-Slide Patio Door	40-⅔"	50-½"	701-⅕"	119-½"	R15-LC25 ³	0.30 – 0.36	0.15 – 0.46	—	For more info visit PellaADM.com
Bifold Patio Door	32-⅙"	41"	425-⅞"	119-½"	R15-R25 ³	0.26-0.44	0.13-0.45	—	

Window sizes available in 1/8" increments
Special sizes available. For more information regarding performance, visit [pella.com/performance](#). For more information regarding frame and installation types, visit [PellaADM.com](#).


Window Hardware

Classic Collection

Get a timeless look with authentic styles in classic finishes.



Fold-away Crank
Antiek



Spoon-Style Lock

Finishes:

Champagne

White

Brown


Matte Black

Oil-Rubbed Bronze


Satin Nickel

Rustic Collection

Create a distinct and charming look with distressed finishes.



Fold-away Crank
Antiek



Spoon-Style Lock


Finishes:

Distressed Bronze


Distressed Nickel

Essential Collection

Select from popular designs and finishes to suit every style.



Fold-away Crank



Cam-Action Lock

Finishes:

Champagne

White

Brown

Matte Black

Oil-Rubbed Bronze


Satin Nickel

³ See back cover for disclosures.


Patio Door Hardware

Classic Collection


Choose timeless pieces, created in collaboration with Baldwin® Hardware, for a look that will never go out of style.



Hinged & Bifold Patio Door Handle
Virago



Sliding & Multi-Slide Patio Door Handle
Ambrose



Multi-Slide Patio Door Handle^{4,5}

Finishes:


Matte Black

Oil-Rubbed Bronze


Satin Nickel

Rustic Collection

Stand out with bold looks and create an utterly unique aesthetic.



Hinged & Bifold Patio Door Handle
Rustiek



Sliding & Multi-Slide Patio Door Handle
Notus


Finishes:

Distressed Bronze


Distressed Nickel

Essential Collection


Elevate your style and transform a home with elegant selections.



Hinged & Bifold Patio Door Handle



Sliding Patio Door Handle



Multi-Slide Patio Door Handle^{4,5}

Finishes:

Champagne

White

Brown

Matte Black

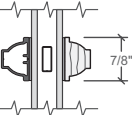
Oil-Rubbed Bronze

Satin Nickel

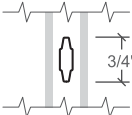
Additional hardware collections available. Visit [PellaADM.com](#) for more information.

Grilles

Choose the look of true divided light or make cleaning easier by selecting grilles-between-the-glass.



Ogee Integral Light Technology⁶
7/8", 1-1/4" or 2"




Aluminum Grilles-Between-the-Glass⁷
3/4"

^{4,5,6,7}See back cover for disclosures.

Colors

Wood Types

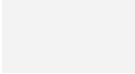
Wood species for complementing your project's interior.

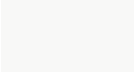


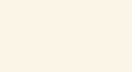
Pine


Prefinished Pine Interior Colors


Custom interior finishes, unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White

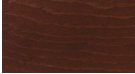

Natural Stain

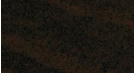

Golden Oak Stain

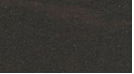

Early American Stain



Provincial Stain


Dark Mahogany Stain


Red Mahogany Stain


Espresso Stain


Charcoal Stain


Black Stain

Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading. Take durability one step further with EnduraClad Plus which also resists chalking and corrosion.⁸



Custom colors are also available.


Black


White


Brown


Fossil


Iron Ore


Portobello


Putty


Almond


Classic White



Brick Red


Hartford Green

Added Peace of Mind

Integrated Security Sensors

Integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems.⁹ For more information, go to connectpella.com.



The Best Limited Lifetime Warranty in the Industry

We know your reputation matters and you stake your reputation on quality, dependable products. That's why we have the best limited lifetime warranty in the industry for wood windows and patio doors.²

¹ Some Pella products may not meet ENERGY STAR® guidelines in Canada. For more information, contact your local Pella sales representative or go to energystar.gc.ca.

² Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

³ Performance ratings vary based on product configuration.

⁴ Flush multi-slide handle is a Pella exclusive design.

⁵ Flush multi-slide handle is not available in Champagne.

⁶ Color-matched to your product's interior and exterior color.

⁷ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.

⁸ EnduraClad Plus protective finish is not available with all colors. See your local Pella sales representative for availability.

⁹ Requires the Insynctive App on a smart device, an Insynctive Bridge and a wireless home router with internet connection.

Pella® Lifestyle Series



#1 performing wood window and patio door
for the combination of energy, sound and value!

Aluminum-Clad Wood Windows & Patio Doors



Pella® Lifestyle Series
Floor-to-ceiling black casement and picture windows create a wall of glass and fill this modern home with natural light.

Why You Can Trust Pella.

At Pella, we don't just create windows and doors. We innovate with purpose, design with passion, build with integrity and deliver with pride.

Rated #1

by homeowners for innovation²

We are continually striving to improve what we do and how we do it. That drive has earned us 150 patents and counting for amazing innovations. In 1925 we opened our doors with the patented Rolscreen® retractable screen, a time-tested innovation that is still one of our most desired features today.

Rated #1

by homeowners for highest quality²

We make products specifically for you and your comfort with meticulous care and attention. Our wood craftsmen have been honing their skills, on average, for over 14 years — that's longer than it takes most to earn their PhD. And it doesn't stop there. Our product designs are tested beyond industry standards, so you can trust them to perform. Door designs are tested to 100,000 open and close cycles, and double-hung and casement window designs are tested at least 6,000 times.

The Best Limited Lifetime Warranty for wood windows and patio doors³

You can feel confident in your investment. We pride ourselves on providing exceptional quality, exceeding expectations and going beyond requirements. That's why we stand behind all of our products with a limited lifetime warranty⁴.

¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

² Study of homeowner perceptions of leading national brands. Study commissioned by Pella, 2021.

³ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See written limited warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service.

⁴ See written warranties for complete details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service.

Beautiful Wood Designs

Pella Lifestyle Series picture windows with a white interior finish and Simulated-Divided-Light grilles complete this laundry room and office combination.



Why Choose Wood?

Get the beauty and warmth of natural wood, our most customizable designs and exceptional energy efficiency. All Pella wood products are made with high-quality wood, metal and manufacturing processes, regardless of the product line.

Exclusive Wood Protection

Pella's exclusive EnduraGuard® wood protection is applied after the pieces have been cut and milled, but prior to final assembly, providing advanced protection against the elements.

Designed for Long-Lasting Durability

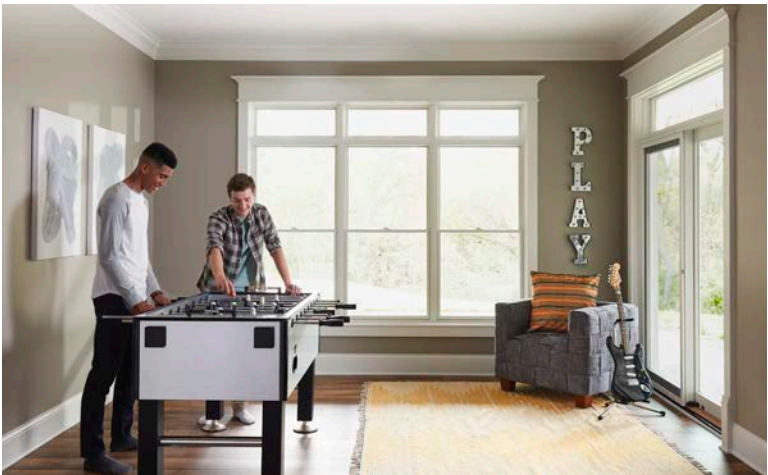
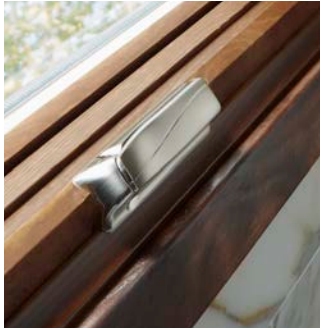
Intentional jamb-on-sill design helps seal the end grain of the wood and elevates it off the rough opening, reducing the potential to absorb moisture. For added strength and durability, our three-way corner joints are made up of mortise-and-tenon, metal fasteners and commercial adhesive.

Quality Exterior and Interior Finishes

EnduraClad® finish is a tough, protective aluminum finish for the exterior of your home. The overlapping, watershed cladding resists chalking and fading. Interiors can be factory prefinished to save time. The interior finish is applied prior to final assembly and kiln-cured for a quality aesthetic.

Solutions for Real Life

- Four optional performance packages
- Integrated blinds and shades for added privacy
- Backed by the best limited lifetime warranty for wood windows and patio doors¹

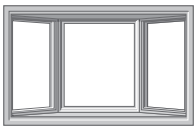


Available in these window & patio door styles:

Special shapes also available.



Awning Window



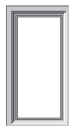
Bay and Bow Windows



Casement Window



Double-Hung Window³



Fixed Window



Picture Window



Sliding Patio Door



Hinged Patio Door

Why Choose Pella® Lifestyle Series?

Pella Lifestyle Series products are the #1 performing wood window and patio door for the combination of energy, sound and value.²

Style Flexibility

No matter the style of your home, these beautiful wood windows and patio doors offer the most desired features and options. With your choice of beautiful interior and exterior paints or stains, you have the style flexibility to match other finishes throughout your home.

Redefining Performance

Make your home more comfortable and help keep outside noises out and inside noises in. To make things easier, we've created performance packages to highlight what's most important to you. Upgrade from a dual- to a triple-pane glass design with the available packages to meet the unique needs of each room in your home.³

Room-by-Room Solutions

Packed with 37 time-tested innovations, you can create solutions for your home, room-by-room. Choose optional integrated security sensors that come factory-installed to preserve the beauty and warranty of your windows and patio doors. Personalize with motorized integrated blinds and shades for added privacy and convenience.



The Best Limited Lifetime Warranty for Wood Windows and Patio Doors¹

You can be confident in your investment. At Pella, we are committed to designing and building wood products with exceptional quality and durability. This is supported by:

EnduraGuard® Wood Protection Advanced protection for wood against the effects of moisture, decay, stains from mold and mildew — as well as termite damage.	Exterior Aluminum Cladding Exceptionally durable aluminum cladding with EnduraClad exterior finish helps protect windows and patio doors for years.	Insulating Glass Seal A long-lasting insulating seal provides a clear view and exceptional energy efficiency.
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¹ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty or contact Pella Customer Service at 877-473-5527.

² Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glass thickness. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.

³ Double-hung window available only with dual-pane glass.

Designed for Real Life.

The best limited lifetime warranty.¹

Pella wood products are covered by the best limited lifetime warranty for wood windows and patio doors.

Patented triple-pane design.

Pella's patented triple-pane glass design gets you products that provide excellent energy efficiency and sound reduction.

Superior energy efficiency.

Our patented triple-pane design helps make your home more comfortable. Available performance options deliver 79% more energy efficiency than standard single-pane windows.²



¹ Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.

² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. Double-hung windows are not available with triple-pane glass. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.

³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

⁴ Available on triple-pane products only.

Noise reducing windows for a healthier home.

Varying glass thicknesses disrupt sound waves and help give you exceptional sound control. With available performance options, they cancel 52% more indoor and outdoor noise than standard single-pane windows.³

Increased privacy and security.

Integrated blinds and shades were intentionally designed to be accessible.⁴ They are tucked between panes of insulating glass and protected from dust, pets and little hands. Available manual or motorized with Pella Insynctive® technology.

Trusted innovations.

Pella® Lifestyle Series windows and patio doors with integrated blinds and shades have been recognized by Parents for Window Blind Safety and have been certified as Best for Kids.




Bright Natural Light
Fixed windows above double-hung windows and a hinged patio door, all in White, allow light to stream into the home.



Colors & Finishes

Wood Type

Wood species for complementing your home's interior.



Pine

Prefinished Pine Interior Colors

We can prefinish in a wide variety of paints and stains. Unfinished or primed and ready-to-paint are also available.



White



Bright White



Linen White



Golden Oak Stain



Early American Stain




Provincial Stain



Black Stain

Aluminum-Clad Exterior Colors

Our low-maintenance EnduraClad® exterior finish resists fading and helps protect your windows and patio doors for years.



Black



White



Brown



Fossil



Iron Ore



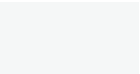
Portobello



Putty



Almond




Classic White



Brick Red




Hartford Green




Wolf Gray

Glass¹


InsulShield® Low-E Glass




Advanced Low-E insulating dual- and triple-pane glass with argon²




AdvancedComfort Low-E insulating dual- and triple-pane glass with argon²




NaturalSun Low-E insulating dual- and triple-pane glass with argon²



NaturalSun+ Low-E insulating dual- or triple-pane glass with argon



SunDefense™ Low-E insulating dual- and triple-pane glass with argon



SunDefense+ Low-E insulating dual- or triple-pane glass with argon

Additional Glass Options



Tempered glass available on dual- and triple-pane products



Obscure and frosted obscure glass available on dual- and triple-pane products


¹ Double-hung window available with dual-pane glass only.
² Optional high-altitude Low-E insulating glass does not contain argon in most products. Please see your local Pella sales representative for more information.

Performance Packages

To make things easier, we've created performance packages that highlight what's most important to you.

Performance solutions offer an unbeatable combination of energy efficiency, sound control and value.¹ Upgrade from a dual- to a triple-pane glass design with the packages below to meet the unique needs of each room in your home.

All values below are averages compared with single-pane windows.



Performance

Improved energy efficiency and sound performance.


71%

More Energy Efficient²

+

34%

Noise Reduction³




Sound Control

Exceptional noise control for a quieter home.

52%

Noise Reduction³




Energy Efficiency

Superior energy efficiency for a more comfortable home.

83%

More Energy Efficient²



Ultimate Performance

The best combination of energy efficiency and noise control.

79%

More Energy Efficient²

+

52%

Noise Reduction³



Scan the QR code with your smartphone camera to learn more about how each performance package can benefit your home.


¹ Performance solutions require upgrades to triple-pane, AdvancedComfort Low-E and mixed glazing thickness glass. Based on comparing product quotes and published STC/OITC and U-Factor ratings of leading national wood window and patio door brands.
² Window energy efficiency calculated in a computer simulation using RESFEN 6.0 default parameters for a 2000 sq. foot new construction single-story home when Pella Lifestyle Series windows with the respective performance package are compared to a single-pane wood or vinyl window. The energy efficiency and actual savings will vary by location. The average window energy efficiency is based on a national average of 94 modeled cities across the country and weighting based on population. For more details see pella.com/methodology.
³ Reduction in sound based on OITC ratings of Pella Lifestyle Series windows with respective performance package compared to a single-pane wood or vinyl window with an OITC of 19. Calculated by using the sound transmission loss values in the 80 to 4000 Hz range as measured in accordance with ASTM E-90(09). Actual results may vary.

Grilles


Grille Types

Choose the look of true divided light or make cleaning easier with grilles-between-the-glass.


Dual-Pane:



Simulated-Divided-Light with Spacer 7/8"




Simulated-Divided-Light without Spacer 7/8"



Aluminum Grilles-Between-the-Glass 3/4"


Triple-Pane:




Aluminum Grilles-Between-the-Glass 3/4"

Grille Patterns


In addition to the patterns shown here, custom grille patterns are available.




Traditional




9-Lite Prairie



Top Row



Cross



Custom


Screens²

Rolscreen®

Rolscreen soft-closing retractable screens roll out of sight when not in use. Available on casement windows and sliding patio doors.

Flat

InView™ screens are clearer than conventional screens and come standard.



InView™

Added Peace of Mind

Integrated Security Sensors

Optional integrated wireless security sensors maintain aesthetics, streamline security installation and ensure no warranty loss is caused by post-installation drilling. Sensors can be monitored via the free Pella® Insynctive® App and are compatible with major security panel systems³. For more information, go to connectpella.com.

¹ Appearance of exterior grille color may vary depending on the Low-E insulating glass selection.
² Warning: Screen will not stop child or pet from falling out of window or door. Keep child or pet away from open window or door.
³ Requires the Pella Insynctive App on a smart device, an Insynctive Bridge and a wireless home internet router with internet connection.

Integrated Blinds & Shades

Integrated Blinds*

Raise blinds up for an unobstructed view or tilt to let in just the right amount of light. Our best integrated and accessible blinds are available with or without motorization powered by Pella Insynctive® technology.



White



Poplar White



Bisque



Golden



Mocha



Storm



Black

Integrated Shades*

Our best integrated fabric shades are available with or without motorization powered by Pella Insynctive® technology. They feature a white exterior fabric for a uniform look from the street.

Light-Filtering:



White



Maize



Silver

Room-Darkening:



Cotton



Bamboo



Ash

Haven't landed on your final blind or shade color yet? No problem. With our patented triple-pane design, you can make the decision later in the process. Our triple-pane products come with all of the hardware to add blinds or shades before they arrive to your home or later in the building or remodeling process.




Scan the QR code with your smartphone camera to learn more about our Insynctive motorized blinds and shades.


Window Hardware

Essential Collection

Our most popular design with finishes to suit every style.

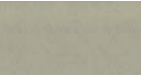


Fold-Away Crank

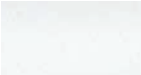


Cam-Action Lock

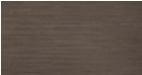
Finishes:




Champagne



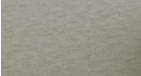
White




Brown



Matte Black



Satin Nickel



Satin Brass

Patio Door Hardware

Essential Collection

Elevate your style and transform your home with elegant selections.

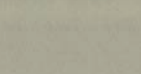


Hinged Patio Door Handle



Sliding Patio Door Handle


Finishes:



Champagne




White




Brown



Matte Black



Satin Nickel



Satin Brass

* Available on triple-pane products only.

15



THE CONFIDENCE OF A STRONG WARRANTY.

Pella® Lifestyle Series products are backed by the best limited lifetime warranty for wood windows and patio doors.* See written limited warranty for details, including exceptions and limitations, at pella.com/warranty.

NOTE: Product specifications may change without notice.

Actual colors may vary from those shown and products may vary slightly from illustrations and photos.

WANT TO LEARN MORE? CALL US AT 833-44-PELLA OR VISIT PELLA.COM

* Based on comparing written limited warranties of leading national wood window and wood patio door brands. See Pella written Limited Warranty for details, including exceptions and limitations, at pella.com/warranty, or contact Pella Customer Service at 877-473-5527.



Round Tapered **PERMA**Cast® Columns

COL. SIZE	A	B	C	D	E	F	G	J	K	L	O	N	R	T	LENGTHS AVAIL. (ft.)
6"	5 $\frac{3}{8}$ "	4 $\frac{3}{8}$ "	9"	1 $\frac{1}{16}$ "	1 $\frac{1}{4}$ "	$\frac{5}{8}$ "	$\frac{3}{4}$ "	1 $\frac{1}{4}$ "	1 $\frac{3}{8}$ "	8"	1"	6 $\frac{1}{4}$ "	3 $\frac{3}{16}$ "	4 $\frac{7}{16}$ "	4,6,8
8"	7 $\frac{7}{8}$ "	6 $\frac{1}{4}$ "	10 $\frac{1}{2}$ "	1 $\frac{7}{8}$ "	1 $\frac{3}{4}$ "	$\frac{3}{4}$ "	1 $\frac{1}{16}$ "	1 $\frac{1}{4}$ "	1 $\frac{1}{2}$ "	9 $\frac{1}{4}$ "	$\frac{1}{2}$ "	2 $\frac{1}{4}$ "	4 $\frac{3}{8}$ "	4 $\frac{1}{2}$ "	5,6,8,9,10
10"	9 $\frac{1}{8}$ "	8 $\frac{1}{4}$ "	13 $\frac{1}{8}$ "	2 $\frac{1}{8}$ "	2 $\frac{1}{4}$ "	$\frac{3}{4}$ "	1 $\frac{1}{16}$ "	1 $\frac{1}{4}$ "	1 $\frac{3}{4}$ "	11 $\frac{1}{4}$ "	$\frac{3}{8}$ "	2 $\frac{1}{4}$ "	5 $\frac{1}{4}$ "	5"	6,8,9,10,12
12"	11 $\frac{1}{8}$ "	9 $\frac{3}{4}$ "	16 $\frac{1}{2}$ "	2 $\frac{3}{8}$ "	2 $\frac{1}{2}$ "	$\frac{7}{8}$ "	1 $\frac{1}{16}$ "	1 $\frac{1}{4}$ "	2"	13 $\frac{3}{4}$ "	$\frac{3}{4}$ "	2 $\frac{5}{8}$ "	6 $\frac{3}{4}$ "	5 $\frac{3}{4}$ "	6,8,9,10,12,14,16,18
14"	13 $\frac{3}{8}$ "	11 $\frac{1}{8}$ "	19 $\frac{1}{2}$ "	3 $\frac{3}{8}$ "	3 $\frac{1}{4}$ "	1"	1"	2"	2 $\frac{1}{2}$ "	17"	$\frac{7}{8}$ "	2 $\frac{5}{8}$ "	7 $\frac{3}{4}$ "	7"	8,9,10,12,14,16,18,20
16"	15 $\frac{3}{4}$ "	13 $\frac{3}{8}$ "	22"	3 $\frac{7}{8}$ "	3 $\frac{3}{4}$ "	1 $\frac{1}{8}$ "	1 $\frac{1}{16}$ "	2 $\frac{1}{4}$ "	2 $\frac{3}{4}$ "	19 $\frac{3}{8}$ "	1"	3"	8 $\frac{3}{8}$ "	8"	8,10,12,14,16,18,20,22,24,26
18"	17 $\frac{1}{2}$ "	15 $\frac{3}{4}$ "	24 $\frac{3}{4}$ "	4"	4"	1 $\frac{1}{8}$ "	1 $\frac{1}{16}$ "	2 $\frac{3}{4}$ "	3 $\frac{3}{8}$ "	22 $\frac{3}{8}$ "	1 $\frac{1}{2}$ "	10 $\frac{1}{4}$ "	9 $\frac{1}{4}$ "	8 $\frac{7}{8}$ "	10,12,14,16,18,20,22,24
20"	19 $\frac{1}{2}$ "	17 $\frac{1}{8}$ "	27"	4 $\frac{3}{4}$ "	4 $\frac{1}{2}$ "	2"	1 $\frac{1}{16}$ "	2 $\frac{3}{4}$ "	3 $\frac{3}{8}$ "	24 $\frac{3}{16}$ "	1 $\frac{1}{2}$ "	10 $\frac{1}{4}$ "	11 $\frac{1}{4}$ "	9"	16,18,20,22,24,26
22"	21 $\frac{1}{8}$ "	19 $\frac{1}{4}$ "	30 $\frac{1}{4}$ "	5"	5"	2"	1 $\frac{1}{8}$ "	3"	3 $\frac{3}{4}$ "	27 $\frac{1}{2}$ "	1 $\frac{1}{2}$ "	10 $\frac{1}{4}$ "	12"	10 $\frac{1}{4}$ "	12,14,16,18,20,22,24,26,28,30
24"	23 $\frac{3}{8}$ "	21 $\frac{1}{4}$ "	33 $\frac{1}{2}$ "	6"	5 $\frac{1}{4}$ "	2 $\frac{1}{4}$ "	2"	3 $\frac{1}{2}$ "	4"	30 $\frac{3}{8}$ "	1 $\frac{1}{2}$ "	10 $\frac{1}{4}$ "	13 $\frac{1}{2}$ "	11 $\frac{1}{16}$ "	20,22,24,26,28
28"	28"	24 $\frac{1}{8}$ "	38"	6 $\frac{1}{4}$ "	6 $\frac{1}{2}$ "	2 $\frac{3}{4}$ "	2 $\frac{1}{4}$ "	3 $\frac{3}{4}$ "	4 $\frac{1}{4}$ "	33 $\frac{3}{8}$ "	1 $\frac{1}{2}$ "	10 $\frac{1}{4}$ "	15 $\frac{1}{2}$ "	11 $\frac{1}{4}$ "	20,22,24,26,28,30
30"	29 $\frac{1}{8}$ "	26 $\frac{1}{2}$ "	41 $\frac{1}{8}$ "	6 $\frac{1}{2}$ "	5 $\frac{7}{8}$ "	2 $\frac{1}{2}$ "	3"	4"	4 $\frac{3}{8}$ "	38 $\frac{1}{4}$ "	1 $\frac{1}{2}$ "	10 $\frac{1}{4}$ "	14 $\frac{3}{8}$ "	14 $\frac{3}{8}$ "	

*There may be a variance of up to 1/4" in all dimensions. Fluted columns available in all diameters. See page 16 for Parallel dimensions. See page 18 for Decorative Capital dimensions. Standard Fluted Column (Fluted in mold)

• Split columns are not load bearing.

COLUMN-LOC®

Column-Loc® creates a continuous connection from floor to beam/header without the expense of splitting and reattaching the column. This labor saving product is easy to install and delivers wind uplift resistance especially important in coastal and high wind areas. Currently available for 8" and 10" round (tapered and no-taper) and square PermaCast® columns. Kits are available with and without threaded rod in lengths up to 12'.

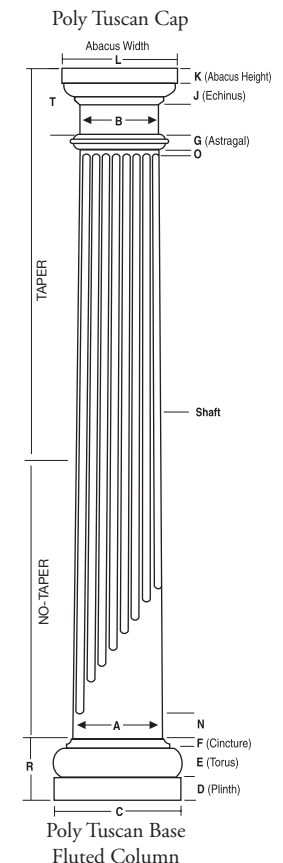
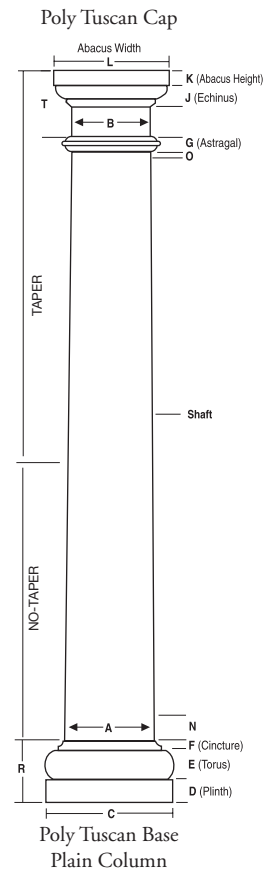


PLUMB-FIT®

To make installation even easier our 6"-12" round and square poly Tuscan Cap and Base Sets with flashing cap come with the Plumb-Fit® patented (Patent 9689674) installation system included.

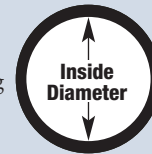
ROUND PERMACAST® PORCH INSTALLATION BRACKET

The HB&G Porch Installation Bracket includes the bracket and all required hardware. The bracket fits 20" - 30" Plain Round PermaCast® Columns and will secure a 2nd story porch to our PermaCast® Columns. Three brackets are required for each column.



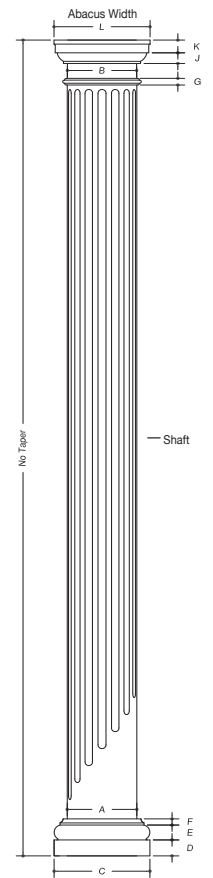
ROUND PERMACAST® INSIDE DIMENSIONS

Inside dimension may vary up to 1/8". Splitting a column will decrease inside dimension 1/8".

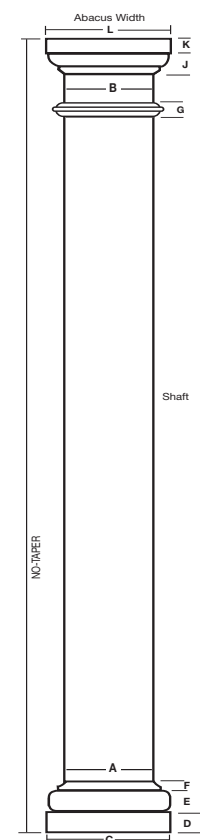


COLUMN SIZE	TOP I.D.	BOT I.D.
6"	3 $\frac{3}{8}$ "	4 $\frac{1}{8}$ "
8"	5 $\frac{1}{2}$ "	6 $\frac{1}{8}$ "
10"	7 $\frac{3}{8}$ "	8 $\frac{1}{8}$ "
12"	8 $\frac{3}{8}$ "	10 $\frac{1}{8}$ "
14"	10 $\frac{7}{8}$ "	12 $\frac{1}{8}$ "
16"	12 $\frac{7}{8}$ "	15"
18"	14 $\frac{1}{2}$ "	16 $\frac{1}{8}$ "
20"	16 $\frac{3}{16}$ "	18 $\frac{3}{8}$ "
22"	18 $\frac{3}{8}$ "	20 $\frac{1}{16}$ "
24"	20"	22 $\frac{3}{8}$ "
28"	22 $\frac{7}{8}$ "	26 $\frac{3}{4}$ "
30"	25 $\frac{1}{4}$ "	28 $\frac{3}{8}$ "

*Plain columns only

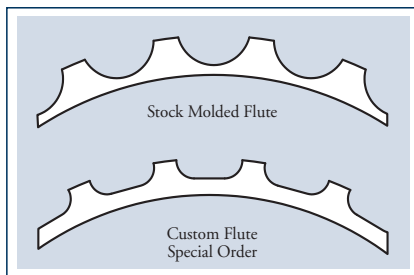


PermaCast® No-Taper Column with Poly Tuscan Cap and Base



PermaCast® Plain No-Taper Column with Poly Tuscan Cap and Base

Fluted Round Tapered **PERMA**Cast® Columns



HB&G OFFERS TWO DISTINCTIVE TYPES OF FLUTES.

Stock Molded Flute: Available in diameters of 8" x 8' – 16" x 12' columns (See price guide for specific lengths available.) The stock molded flute is part of the manufacturing process and cannot be altered.

Custom Flute: The custom flute is milled after the column is manufactured and can be modified to your specific length. All round PermaCast® columns, 6"x 4' – 30"x 30', are available with an optional custom flute. (Call a customer service representative for pricing and lead times.) Adjusted Flutes available.

*Inside dimension may vary from "Stock" Flutes



Round No-Taper **PERMA**Cast® Columns

ROUND NO-TAPER PERMACAST® COLUMN DIMENSIONS (IN INCHES)

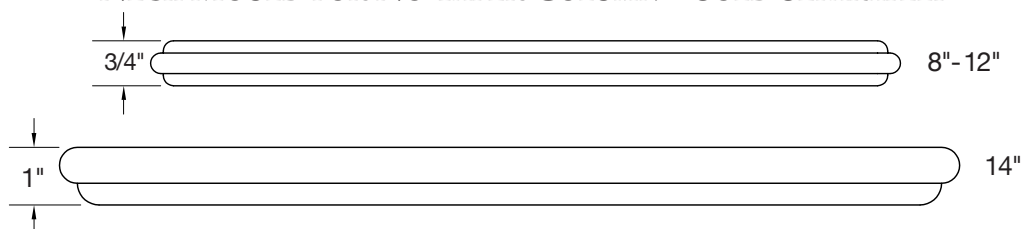
Col. Size	A	B	C	D	E	F	G	J	K	L	Lengths Available (ft)
8"	7-5/8"	7-5/8"	10-1/2"	1-7/8"	1-3/4"	3/4"	3/4"	1-1/4"	1-1/2"	10-5/8"	6, 8, 9, 10
10"	9-5/8"	9-5/8"	13-1/8"	2-3/8"	2-1/8"	3/4"	3/4"	1-1/4"	2"	12-13/16"	6, 8, 9, 10, 12
12"	11-5/8"	11-5/8"	16-1/2"	2-3/4"	2-3/8"	7/8"	3/4"	1-3/4"	2"	15-7/8"	6, 8, 9, 10, 12
14"	13-5/8"	13-5/8"	19-1/2"	3-3/8"	3-1/8"	1-1/8"	1"	2-1/4"	3"	19-1/8"	6, 8, 9, 10, 12, 14
16"	15-3/4"	15-3/4"	22"	3-7/8"	3-1/2"	1-1/4"	1"	2-1/4"	2-3/4"	22"	6, 8, 9, 10, 12, 14, 16, 18, 20
18"	17-1/2"	17-1/2"	24-5/8"	4"	4"	1-5/8"	1-3/16"	2-3/4"	3-1/8"	24-5/8"	6, 8, 9, 10, 12, 14, 16, 18, 20
24"	24"	24"	33-1/2"	5-3/4"	5-1/4"	2-3/16"	2-1/8"	3-1/2"	4-1/8"	33-3/8"	8, 9, 10, 12, 14, 16, 18, 24, 26, 28, 30

Neck mould not included.

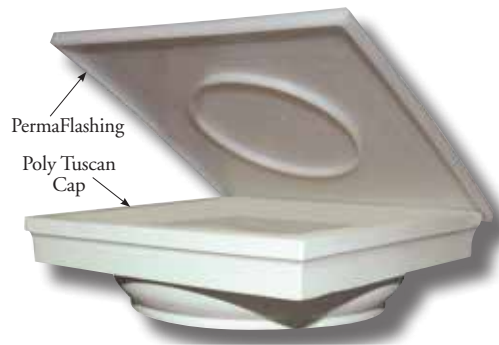
Flashing and Installation Kit not available with No-Taper Tuscan cap and base sets.

• Split columns are not load bearing.

NECK MOULD FOR NO-TAPER COLUMN – SOLD SEPARATELY



HB&G's number one goal is finding ways that we can save you time and make your life easier.



PermaCast® PermaFlashing and Installation Kit

The PermaCast® flashing with Plumb-Fit® and installation kit is available in selected Tuscan cap and base sets.*

This innovation will not only save time but will keep the elements out of the column and secure the top and bottom of the column.

*Not available in Tuscan cap and base sets for Craftsman, No-taper, PermaLite®, and Wood columns.

Split Column Assembly and Flange Kits

HB&G offers a split kit and a split kit with flange option with an improved MMA adhesive.

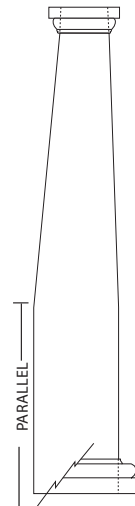
These kits can be purchased separately. **MMA adhesive must be stored in a climate-controlled environment.**



Installation Kit for Beveled Cap and Base



Installation Kit



Entasis - Parallel Dimensions are used to specify where the column begins to taper. These dimensions use length from the bottom of the column shaft to the point where the taper begins. This is necessary to determine how much a column can be shortened before the base begins to fit loosely. Filler and caulking may be used to fill the gap between the base and shaft if it is necessary to shorten the column beyond the parallel dimension.

PARALLEL DIMENSIONS*

Column Size	Parallel Dim.	Column Size	Parallel Dim.
6x4	0"	18x18	60"
6x6	8"	18x20	84"
6x8	32"	18x22	49"
8x5	12"	18x24	73"
8x6	24"	18x26	97"
8x8	32"	20x10	0"
8x9	28"	20x12	0"
8x10	40"	20x14	0"
10x6	8"	20x16	4"
10x8	32"	20x18	28"
10x9	28"	20x20	52"
10x10	40"	20x22	76"
10x12	48"	20x24	100"
12x6	8"	22x16	45"
12x8	32"	22x18	69"
12x9	20"	22x20	93"
12x10	32"	22x22	53"
12x12	48"	22x24	77"
12x14	59"	22x26	101"
12x16	40"	24x12	21"
12x18	73"	24x14	45"
14x8	32"	24x16	69"
14x9	12"	24x18	93"
14x10	24"	24x20	75"
14x12	48"	24x22	99"
14x14	27"	24x24	123"
14x16	51"	24x26	77"
14x18	75"	24x28	101"
16x8	16"	24x30	125"
16x10	40"	28x20	20"
16x12	29"	28x22	44"
16x14	53"	28x24	68"
16x16	36"	28x26	92"
16x18	60"	28x28	116"
16x20	84"	30x20	92"
18x8	0"	30x22	116"
18x10	16"	30x24	140"
18x12	40"	30x26	75"
18x14	48"	30x28	99"
18x16	36"	30x30	123"

Column Size	Bottom Diameter
6x4	5 ³ / ₈ "
18x8	17 ¹ / ₄ "
20x10	18 ¹¹ / ₁₆ "
20x12	18 ⁵ / ₁₆ "
20x14	19 ¹ / ₄ "

*For Tapered Round Columns

Hamburg Historic District (amended)

Name of Property

Scott County, Iowa

County and State

Address State #, Map #, FS # 2016 district status 1983 district status	Historic Name	significant date/s architectural style/type	Materials of walls, foundations, roof
	History of property (owners/residents, census data including birthplace of self (and parents), Sanborn map info), Current use		Architectural data (architect/builder, features, modifications), Garage data
714 Western Ave <i>Alt: 706 Western Ave</i> State #82-02713 Map #091 Field Site #F-02 <i>Parcel #G0045-27</i> Updated district status: 1 contributing building (A, C) <i>1983 NRHP status:</i> <i>Contributing (key)</i>	Daniel and Sarah C. (Earle) Gould House	c. 1859, c. 1880s Greek Revival / Queen Anne (2 story)	Walls: brick (solid) Foundation: stone Roof: gable-front - asphalt shingles
	c. 1859-1882 - Daniel and Sarah Gould (furniture manufacturer and wholesale/retail store, school board, bank organizer) 1880 census: Gould, Daniel (66, furniture) - born in US - RI (US - MA, US - MA); wife: Sarah (59) - born in US - RI (US - MA, US - MA) 1883-1904 - Hans C. and Caroline Thomsen (bookkeeper for German Savings Bank) 1910 Sanborn map: house - 2 story - extant 1910 census: McHarg, William (57, railway conductor) - born in US - WI (Scotland, Scotland); wife: Ida (45) - born in US - WI (Scotland, Switzerland) 1904-c. 1923 - William and Ida McHarg (conductor); c. 1924-1938 - Ida McHarg (widow), by 1935 - also Frank and Ruth McHarg (vp Steffen & McHarg Corp) 1938-1962 - Frank and Ruth McHarg (The McHarg Agency); 1960s - Paul W. Young 1956 Sanborn map: house (2 units) - 2 story - extant Current use: single family house - rental		Architect/builder: - Porch: two-story porches, partially enclosed Windows: 6/6 and 1/1 wood windows Architectural details: bay windows, brackets, Palladian window in front gable, porches, Modifications: Historic: 1880s - addition and Queen Anne features; Non-historic: - Garage: attached - one car Other site features: -
612 W 7th St State #82-00622 Map #092 Field Site #F-03 <i>Parcel #G0045-25</i> Updated district status: 1 contributing building (A) <i>1983 NRHP status:</i> <i>Contributing</i>	Frederick and Margaretta Kaufmann House	c. 1888 Queen Anne (2 story)	Walls: frame - asbestos shingles Foundation: stone Roof: combination hip/gable - asphalt shingles
	(earlier house - John and Otilie Meisner) 1888-1901 - owned by Hans C. Thomsen (German Savings Bank, lived to east) - used as rental - Mrs. Louisa M. Andresen here in 1888 & 1890, Carl Matthey here in 1892 1910 Sanborn map: house - 2 story - extant 1910 census: Kaufmann, Margeratha (60, widow) - born in Germany (Germany, Germany) 1901-1903 - Friedrich and Margaretha Kaufmann; 1903-1929 - Margaretha Kaufmann (widow), also daughter Johnanna; 1930-31 - Henry and Anna Dora Blunk; 1931-1942 - Dora Blunk (widow) 1942-1946 - owned by Josephine Georgen - used as rental; 1946-49 - series of owners - rental; 1949-1963 - Elvin E. and Lillian Duncan; 1960s - A.C. and Florence McCallister 1956 Sanborn map: house - 2 story - extant Current use: single family house - owner occupied		Architect/builder: - Porch: entry porch (enclosed) Windows: 1/1 wood windows Architectural details: bay window, gables Modifications: Historic: -; Non-historic: siding, windows Garage: none Other site features: -
614 W 7th St State #82-00623 Map #093 Field Site #F-04 <i>Parcel #G0045-24</i> Updated district status: 1 contributing building (A) <i>1983 NRHP status:</i> <i>Contributing</i>	Otilie J. Meisner House	c. 1890 Queen Anne (2 story)	Walls: frame - wood Foundation: stone Roof: combination hip/gable - asphalt shingles
	1888-1903 - Otilie Meisner (widow); 1903-1915 - owned by Paula (Meisner) Allendorf - used as rental - rented by 1910 by Alex and Clara Faerber - then bought 1910 Sanborn map: house - 2 story - extant 1910 census: rented by Faerber, Alexander (33, mgr Am Sec Co) - born in US - MN (Germany, Germany); wife: Clara (33) - born in US - IA (Germany, Germany) 1915-1933 - Alexander J. and Clara Faerber (state mgr - National Life Ins Co); 1934-41 - owned by Liquidation Corporation - used as rental 1941-1946 - Clyde and Hattie P. Willis - lived in one unit, rented other; 1946-56 - Louis and Margaret Adrian; 1956-1960s - Margaret Adrain - lived in one unit 1956 Sanborn map: house (3 units) - 2 story - extant Current use: single family house - rental		Architect/builder: - Porch: full porch - round wood columns (c. 1910s) Windows: 1/1 wood windows Architectural details: bay window Modifications: Historic: c. 1910s - porch; Non-historic: - Garage: none Other site features: -

Historic Preservation Ordinance

Section 14.01.060 Certificate of Appropriateness Review Process

C. Commission review process - Standards for review. In considering an application for a certificate of appropriateness, the commission shall be guided by the following general standards in addition to any other standards or guidelines established by ordinance for a local landmark or historic district. In all cases, these standards are to be applied in a reasonable manner, taking into full consideration the issue of economic feasibility and other technical considerations.

1. Every reasonable effort shall be made to make the minimal number of changes necessary to maintain a designated property in a good state of repair, thereby minimizing the impact of the proposed alteration; and
2. The removal, alteration or concealing of distinguishing exterior architectural features and historic material of a designated property should be avoided when possible; and
3. All designated property shall be recognized as a product and physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural architectural features shall be discouraged; and
4. Most properties change over time, and those changes that have acquired architectural and/or historical significance in their own right shall be recognized, respected and retained; and
5. Distinctive architectural features, construction techniques and/or examples of craftsmanship that characterize a designated property shall be treated with due consideration; and
6. Deteriorated architectural features should, where possible, be repaired rather than replaced. Where the severity of deterioration requires replacement, the new feature shall match the old in design, color, texture and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical or pictorial evidence; and
7. Activities that cause deterioration of a designated property and its architectural features shall be discouraged. In those cases where the damage would be irreversible, such as sand-blasting and wet blasting fire-hardened bricks, the activities shall be prohibited. If cleaning is to be done, the gentlest means possible shall be encouraged; and
8. Known significant archeological resources possibly affected by a proposed activity shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken; and
9. New additions and related new construction shall not be discouraged when such improvements do not destroy historic material and such design is compatible with the size, massing, scale, color, materials and character of the property, neighborhood and district, if applicable.

D. Design criteria to implement review standards. When the commission is considering an application for a certificate of appropriateness, it shall consider the following architectural design criteria, or elements of design as they relate to the standards for review prescribed in Section 14.01.040C.

1. Height. The height of any proposed addition, construction or reconstruction should be compatible with the designated property and the surrounding structures, if located within a designated historic district; and
2. Proportions. The proportions (width versus height relationship) between doors and windows should be compatible, if not replicated, with the architectural design and character of the designated property; and
3. Scale. A proposed alteration, construction, reconstruction or addition should not negatively impact the scale of the designated property or district; and
4. Materials. Historic or original architectural features, or replacement elements which in all ways replicated the original, should be repaired whenever possible; and
5. Relationship of building masses and spaces. The relationship of a structure within a designated historic district to the rear, side and front yards between it and surrounding structures should be compatible; and
6. Roof shape. The roof design and shape should remain consistent with its original configuration and character; and
7. Site improvements. Landscaping and other site improvements, including off-street parking, should have as minimal of an impact as possible to the designated property's original plan/layout and its visual character.