PLAN AND ZONING COMMISSION MEETING

CITY OF DAVENPORT, IOWA

TUESDAY, AUGUST 1, 2017; 5:00 PM

CITY HALL, 226 W. 4TH STREET

PLAN AND ZONING COMMISSION

COMBINED PUBLIC HEARING AND REGULAR MEETING AGENDAS

PUBLIC HEARING AGENDA

I. New Business

A. Case No. REZ17-06: Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant.

B. Case No. REZ17-08: Request of Aaron Christopher on behalf of Palmer College of Chiropractic to rezone 38.65 acres, more or less, generally located between Harrison Street and Pershing Avenue and between East 12th and 5th Streets from: “R-4” Moderate Density Dwelling District, “R-6M” High Density Dwelling District, “C-O” Office-Shop District, “C-1” Neighborhood Commercial District, “C-2” General Commercial District, “C-4” Central Business District and “M-1” Light Industrial District to “PID” Planned Institutional District

II. Next Public Hearing

A. Tuesday, August 15, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REGULAR MEETING AGENDA

I. Roll Call

II. Report of the City Council Authority

A. July 26, 2017 Meetings –

Approved Resolution 2017-311 approving Case No. F17-13 being the final plat of Crow Valley Plaza Tenth Addition, being in part a replat of Lot 1 of Midland Group Addition, Lot 1 of Crow Valley Plaza Second Addition and Lot 1 of Crow Valley Plaza Seventh Addition, located north of East 56th Street and east of Utica Ridge Road, containing four (4) commercial lots on 35.30 acres, more or less. [Ward 6]

III. Secretary's Report

A. Minutes of the 07-18-17 Regular Meeting

IV. Report of the Comprehensive Plan Committee

V. Zoning Activity

A. Old Business

i. 1. Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

Staff recommends that the request be tabled indefinitely until the petitioner supplies a site plan as required. Staff will move the item forward at that time.

B. New Business

i. Case No. FDP17-05: Request by MLI Real Estate Group, LLC, for a final development plan for a new free-standing restaurant at property located at 902 W Kimberly Road. (Village Shopping Center).

VI. Subdivision Activity

A. Old Business

B. New Business

i. 1. Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:

a. Rogalski Drive from the former Ripley Street to the west line of Harrison Street,

b. West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and

c. Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;

and three alleys:

a. the east west alley north of Locust Street between Ripley and Harrison Streets,

b. the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and

c. the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

ii. Request F17-15 of Build to Suit, Inc. on behalf of O.R.A. for a two (2) lot final plat on 6.82 acres, more or less, located north of Northwest Boulevard between Sturdevant and Division Streets. The proposed addition plats the are developed with the new medical facility. The property is zoned “C-1” Neighborhood Shopping District.

VII. Future Business

A. Preview of items for the **August 15th** public hearing and/or regular meeting (note-not

all items to be heard may be listed):

VIII. Communications

IX. Other Business

A. 2016-2nd Quarter Development Report & Fiscal Year FY2017 Development Report

X. Adjourn

A. Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting: Monday, August 15, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn 326-2286 **8/1/2017**

Subject:

PUBLIC HEARING AGENDA

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:26 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
Case No. REZ17-06: Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant.

ATTACHMENTS:

Type	Description
Backup Material	REZ17-06 PH packet

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:27 PM

City of Davenport
Community Planning & Economic Development Department
PUBLIC HEARING REPORT

Meeting Date: **August 01, 2016**
Request: **Remove conditions City Ordinance 1999-569**
Address: **1616 W Kimberly Rd & 3910 Sturdevant St**
Case No.: **REZ17-06**
Applicant: **David A Parochetti dba David A Parochetti Revocable Trust**

Recommendation:

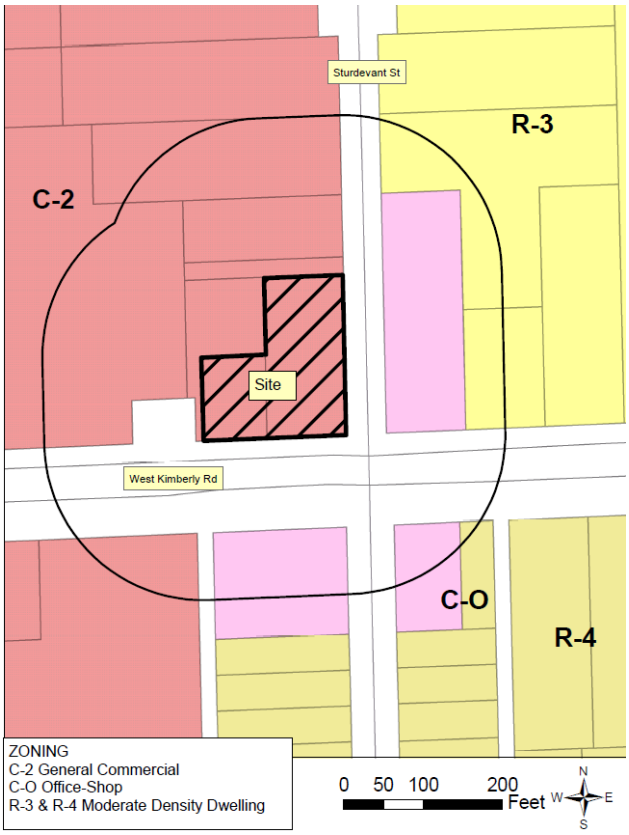
There is no recommendation at this time.

Introduction:
Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant (Taco Bell).

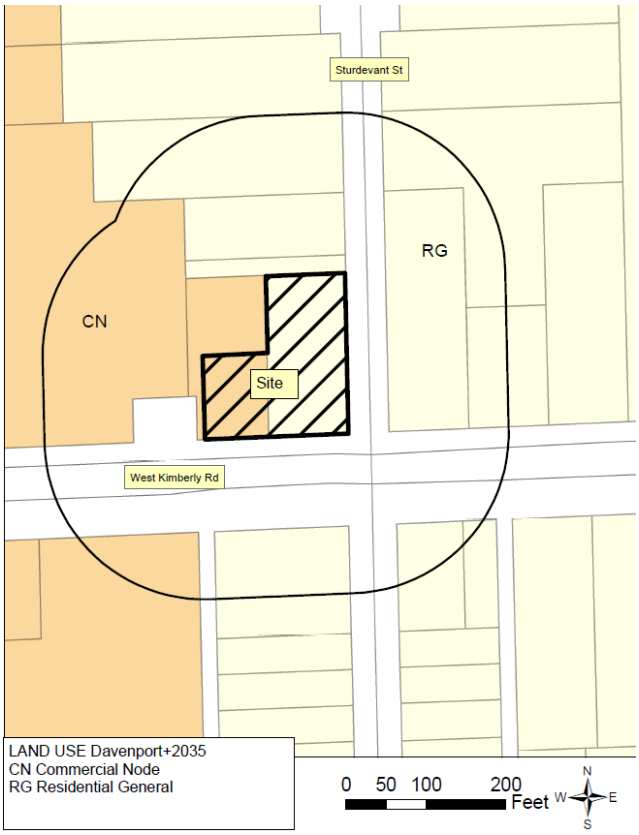
AREA CHARACTERISTICS:

Aerial

Zoning Map



Land Use



<u>Background:</u>

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Boundary +2035: Yes

Future Land Use Designation: *Residential General (RG)* - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Commercial Node (CN) – Clusters of generally more intense uses found either along existing Urban Corridors or along or at the intersection of major streets in newly developed areas. CN areas may contain commercial uses somewhat more intense than uses found elsewhere on Urban Corridors, as well as higher density residential uses and office and service businesses. CN should serve a population of about 5000 people within 1/2 mile. Ideally, CN areas should be architecturally integrated, and designed to serve all modes of transportation. Pedestrian connections to the neighborhoods they serve are important. Therefore, master planning and customized zoning provisions for new CN areas should occur before development or redevelopment occurs.

Relevant Goals to be considered in this Case:

Identify and reserve land for current and future development – *encourage a full range of development.*

Zoning:
The property is currently zoned "C-2" General Commercial District; rezoned from "R-3" by City Ordinance 1999-569 in preparation for a Schnucks market development. The "C-2" district allows the restaurant as a permitted use. It is the conditions of the specific ordinance rezoning the property that are of concern to the applicant.

Technical Review:

Streets. The property is located at the northqwest intersection of West Kimberly Road and Sturdevant Street. Access would be from the easternmost shared driveway point on Kimberly Road and a new proposed access across from the northerly dental office driveway.

Storm Water. Stormwater infrastructure is located in Kimberly Road. With an impervious surface over 10,000 square feet stormwater retention (water quality) and detention (water quantity) is required.

Sanitary Sewer. Sanitary sewer service is located in Sturdevant Street adjacent to the property (8-inch line).

Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately 1-1/4 miles from Fire Stations No. 3 at 3506 Harrison Street.

Parks/Open Space. The proposed rezoning does not impact any existing or planned parks or public open spaces.

Public Input:
The neighborhood meeting was held July 6th. Concerns raised at the neighborhood meeting dealt with traffic on Sturdevant Street, access points, stacking distances, lighting and both storm and sanitary sewers. A public hearing before the Plan and Zoning Commission is scheduled for August 1st. Notices were sent to the nine (9) owners of property within 200 feet.

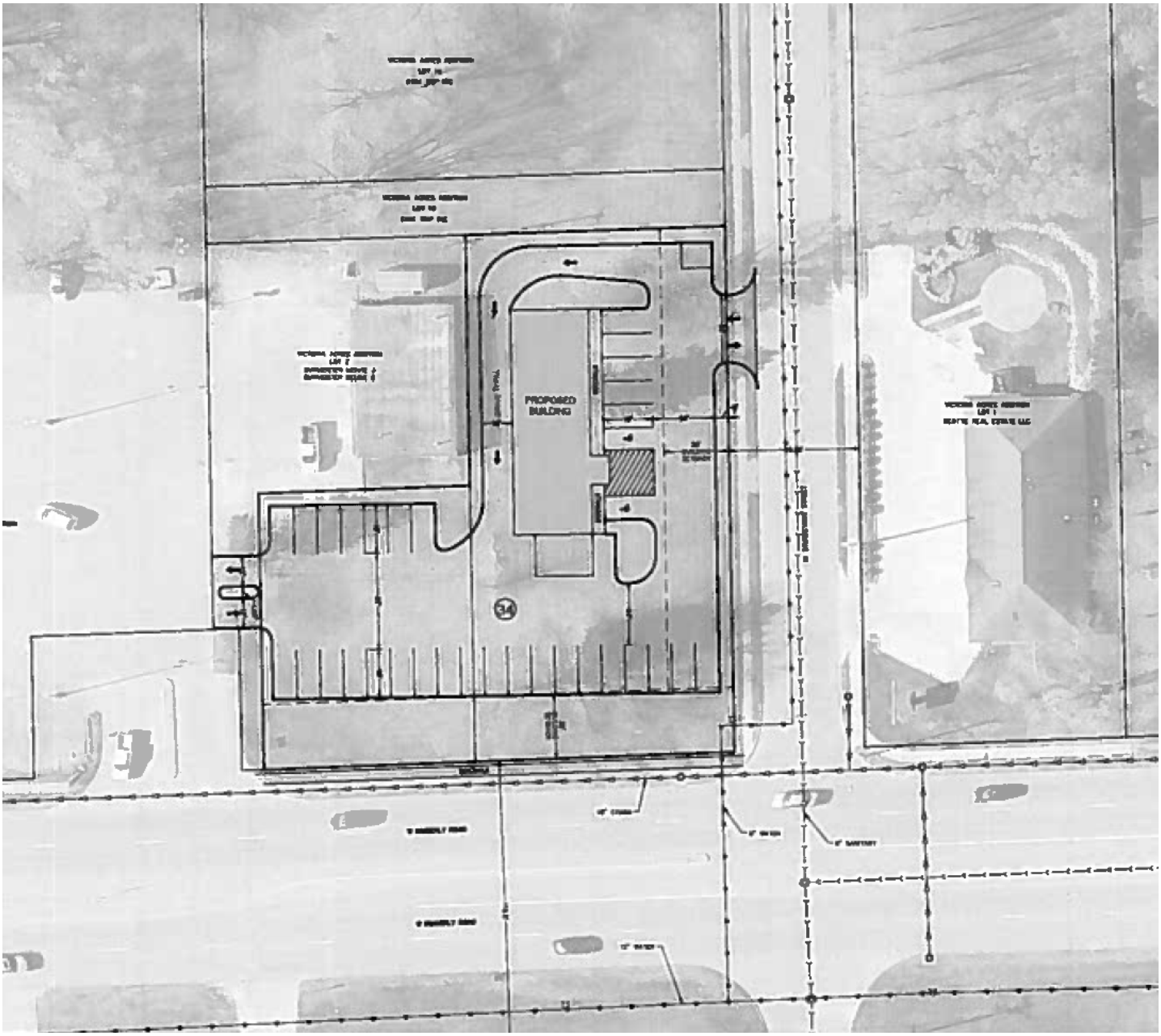
Discussion:
The property was part of the rezoning to allow for the Schnucks market. The rezoning placed a number of conditions related to traffic improvements, especially related to the Kimberly and Division intersection as well as access restrictions (please refer to the attachment City Ordinance 1990-569). The petitioner is proposing to remove those conditions but is open to conditions related to the proposed project.

The development of the Kwik Star facility was on the land initially zoned "C-2" and not part of the rezoning for the proposed Schnuck's development, therefor those conditions did not apply to the Kwik Star development.

Staff Recommendation:

There is no recommendation at this time.

Prepared by:
Wayne Wille, CFM - Planner II
Community Planning Division



Concept Plan

$16.00 pd 04876-200 ORDINANCE NO. 99-569

ORDINANCE for the rezoning of 4.8 acres, more or less, of real property located north of West Kimberly Road between Division and Sturdevant Streets from "R-3" Moderate Density Dwelling District to "C-2" General Commercial District to facilitate retail development. Schnuck Markets, Inc., petitioner.

BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF DAVENPORT, IOWA:

SECTION 1. The following described unit of Scott County, Iowa real estate is hereby rezoned from "R-3" Moderate Density Dwelling District to "C-2" General Commercial District - Schnuck Markets, Inc., petitioner. The property has the following legal description:

Part of the Southwest Quarter of the Northeast Quarter of Section 15, Township 78 North, Range 3 East of the 5th P.M. being more particulary described as follows:

Lot 1 (except the South 15.5 feet) of Ken's Addition also known as a replat of Lot 17 of Victory Acres an addition to the City of Davenport, Iowa; and Lot 16 (except the south 15.5 feet), the East 200 feet of Lot 19, Lot 20 (except the West 35 feet), Lot 21, Lot 22, the East 200 feet of Lots 23 and 24, and the West 209.47 feet of Lot 25 all in Victory Acres, an addition to the City of Davenport, Iowa. Combined parcels contain 4.8 acres, more or less.

The rezoning is to facilitate development of a Schnuck's Market. The rezoning is subject to the following special conditions:
1. that the petitioner dedicate 15 feet of right-of-way the length of its Kimberly Road frontage and construct right turn deceleration lanes for all driveways at its sole expense as per City specifications and shall be constructed prior to the issuance of occupancy permits. All Kimberly Road driveways shall also meet Iowa Department of Transportation standards;
2. that the site will be limited to a single driveway on Sturdevant Street (the northernmost). The City of Davenport shall approve the design of said driveway which will be limited to right turn only turning movements for customers leaving the store, said turn lanes shall be constructed prior to the issuance of occupancy permits;
3. that the petitioner contribute $350,000 to be put in an escrow account prior to the issuance of any building permit for the purpose of rebuilding the West Kimberly Road and Division Street intersection. The City would construct the improvements when funding is available for the entire intersection project. The provisions of this condition will be superseded if the petitioner and the City enter into a separate street construction agreement to address the obligations related to the Kimberly-Division intersection;
4. that the petitioner dedicate 10 feet of right-of-way the length of its Division Street frontage;
5. that the development shall be limited to a single driveway access to Division Street (at 40th Street) unless a shared driveway is arranged with the convenience store/service station. Deceleration lanes will not be required on Division Street, however, left turn lanes for driveways shall be required and constructed at the

petitioner's sole expense and shall be completed prior to the issuance of occupancy permits;
6. that the architectural elevations and materials shall be approved by the City of Davenport Plan and Zoning Commission Design Review Committee and shall meet the architectural standards of the "HCOD" Highway Corridor Overlay District ordinance. The architectural design and materials shall be similar to those shown in Exhibit "B";
7. that 5 percent of the project parking area have a permeable surface and be in landscapes peninsulas and islands;
8. that a landscape plan be submitted to and approved by the City of Davenport. The plan shall include berming, landscaping and a six foot privacy fence at the project's rear property line or other location agreed to by Our Lady of Victory Church. Landscape materials shall meet the requirements of the "HCOD" Highway Corridor Overlay District ordinance;
9. that signage shall be limited to two 15 foot monument or ground signs constructed with a masonry base and building mounted signage and that no billboards will be allowed on this site;
10. that a site plan in conformance with the requirements of Chapter 17.56 of the 1995 Davenport Municipal Code entitled "Site Plans" be submitted to, and approved by, the City of Davenport prior to the issuance of any building or foundation permit;
11. that the petitioner agree to install and pay for speed bumps in the driveway of Our Lady of Victory Church to discourage Schnuck's customers from cutting through the property, if requested by the Church;
12. that the project lighting be limited to downcast luminaries and that lighting be directed away from neighboring properties; and
13. that a stormwater management plan for the subject property at full projected development be submitted to and approved by the Engineering Division of the Public Works Department in writing prior to the issuance of any building permit and that such plan allow no increase in stormwater runoff.

SEVERABILITY CLAUSE. If any of the provisions of this ordinance are for any reason illegal or void, then the lawful provisions of this ordinance, which are separable from said unlawful provisions shall be and remain in full force and effect, the same as if the ordinance contained no illegal or void provisions.

REPEALER. All ordinances or parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

EFFECTIVE DATE. This ordinance shall be in full force and effective after its final passage and publication as by law provided.

First Consideration December 15, 1999

Second Consideration December 15, 1999

Approved December 15, 1999

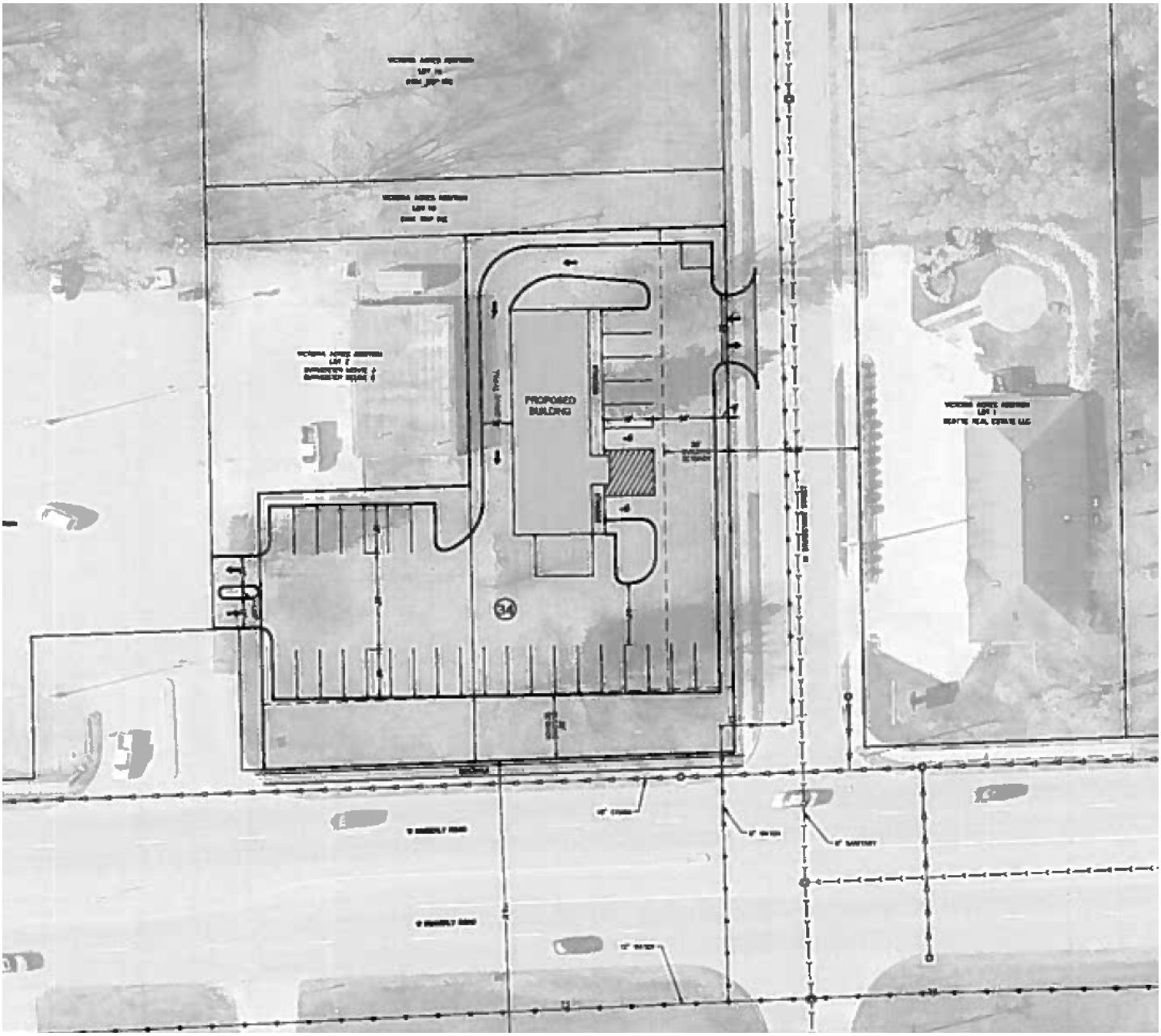
Phillip C. Yerington

Phillip C. Yerington, Mayor

Attest: Jackie E. Ragsdale

Jackie E. Ragsdale, CMC
Deputy City Clerk

Published in the Quad City Times on December 28, 1999.



Concept plan

Sturdevant & Kimberly - southeast corner

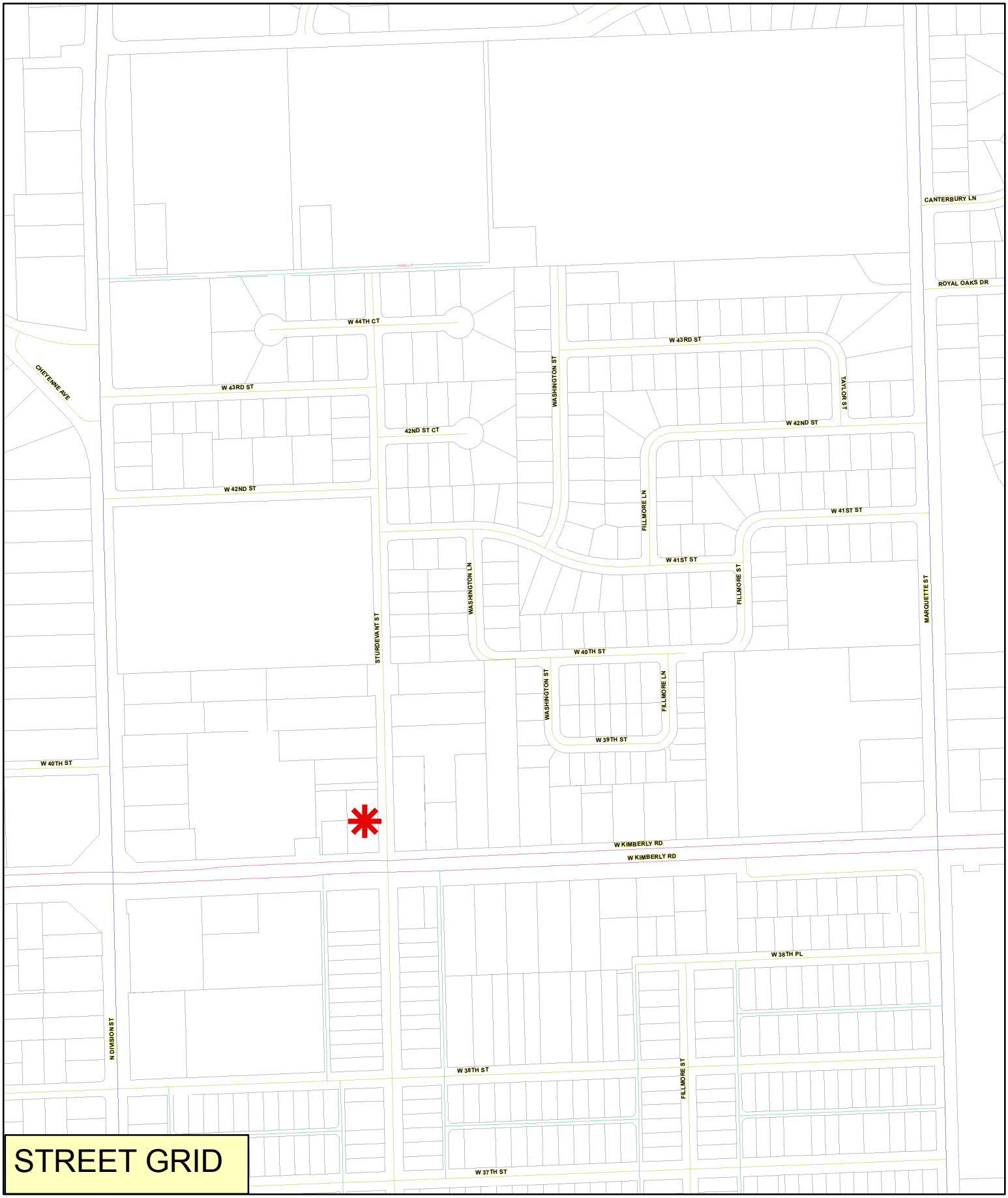
Sturdevant & Kimberly – southwest corner

Sturdevant & Kimberly – northeast corner

Sturdevant & Kimberly – northwest corner

Sturdevant Street – view southwest at approximate site

Sturdevant Street – view southeast at dental office across street from site



SITE

0 200 400 800 Feet

N W E S

PUBLIC HEARING NOTICE
DAVENPORT PLAN & ZONING COMMISSION
TUESDAY – AUGUST 01, 2017 5:00 P.M.
COUNCIL CHAMBERS - DAVENPORT CITY HALL
226 WEST 4TH STREET – DAVENPORT, IOWA

Case No. REZ17-06: Request of David A. Parochetti dba David A. Parochetti Revocable Trust to remove conditions of City Ordinance 1999-569 on 0.70 acre located at the northwest corner of West Kimberly Road and Sturdevant Street (1616 West Kimberly Road and 3910 Sturdevant Street). The previous development was to be a Schnucks grocery store. Removal of the conditions would allow development of a quick service restaurant.

The City Plan and Zoning Commission will conduct a public hearing concerning this matter at **5:00 p.m., Tuesday August 01, 2017** in the **Council Chambers of Davenport City Hall at 226 West 4th Street,** Davenport, Iowa.

This public hearing is the first step in the review/approval process. The City Plan and Zoning Commission will consider (vote on a recommendation) the petition at its regular meeting on Tuesday August 15, 2017. The Commission's report and recommendation will then be forwarded to the City Council. The City Council will then hold its own public hearing, as required by state law. You should also receive a notice of the City Council's public hearing. For the ordinance to be approved, it must be read/considered at three (3) separate City Council meetings. For the specific dates and times of subsequent meetings, please call the phone number below.

It is your privilege to submit written comments on this petition or to attend the public hearing to express your views, or both. All protests within the 200 foot notice area or the area being considered must be made in writing to be valid. Any written comments to be reported at the Commission's public hearing should be received in the office of Community Planning, City Hall, not later that 12:00 noon, on the day of the public hearing, though protests may be received up through the City Council's public hearing.

Office of Community Planning
Department of Community Planning & Economic Development
Phone: (563) 326-7765 Email: Planning@ci.davenport.ia.us

(detach here)

The undersigned – **opposes / does not oppose** (**circle one**) Petition of David A. Parochetti (REZ17-06)

Comments: _____

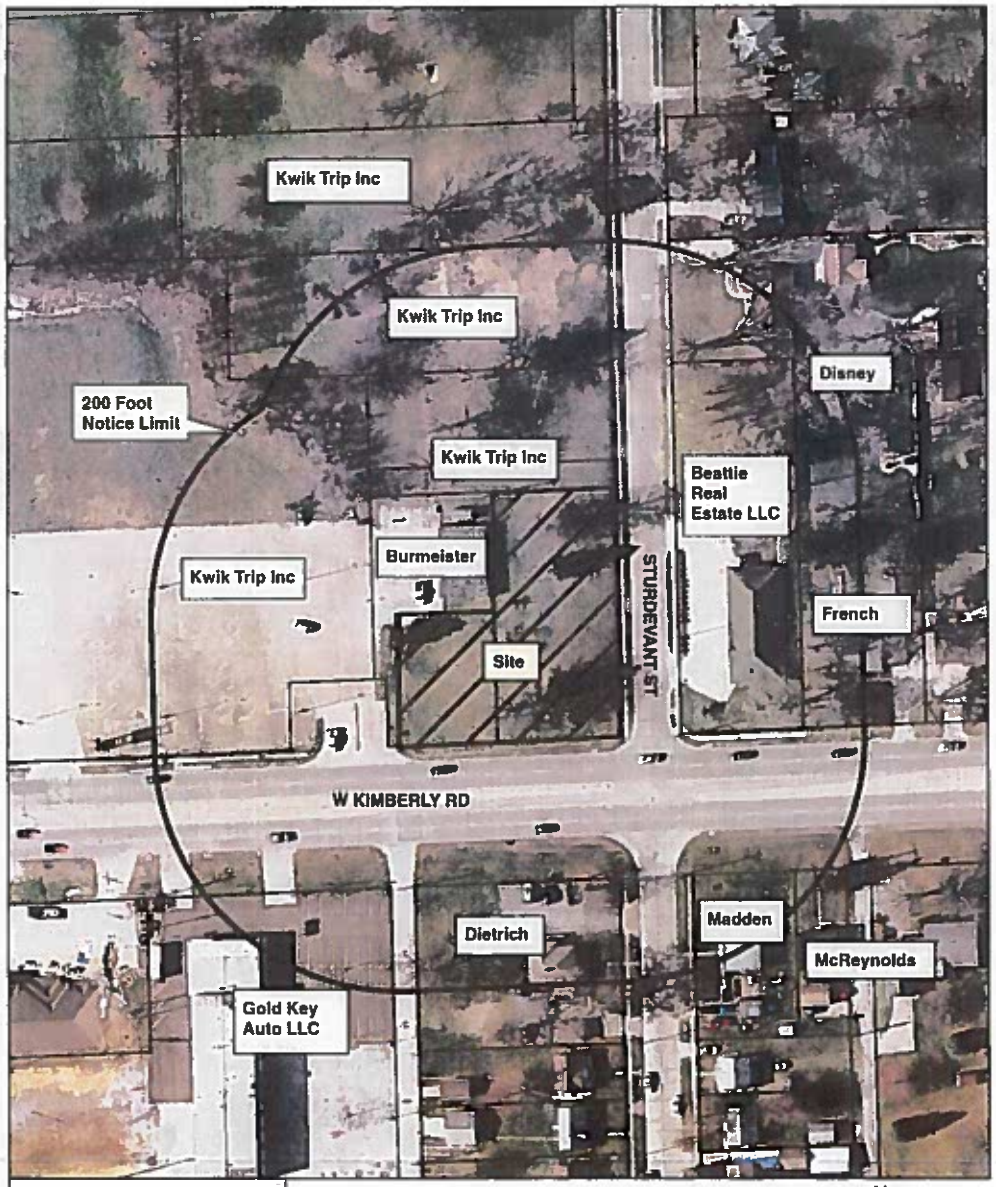
_____

_____

Mail to: Plan and Zoning Commission
City Hall
Davenport, Iowa 52801

NAME_____
ADDRESS_____
DATE_____
(please print legibly)

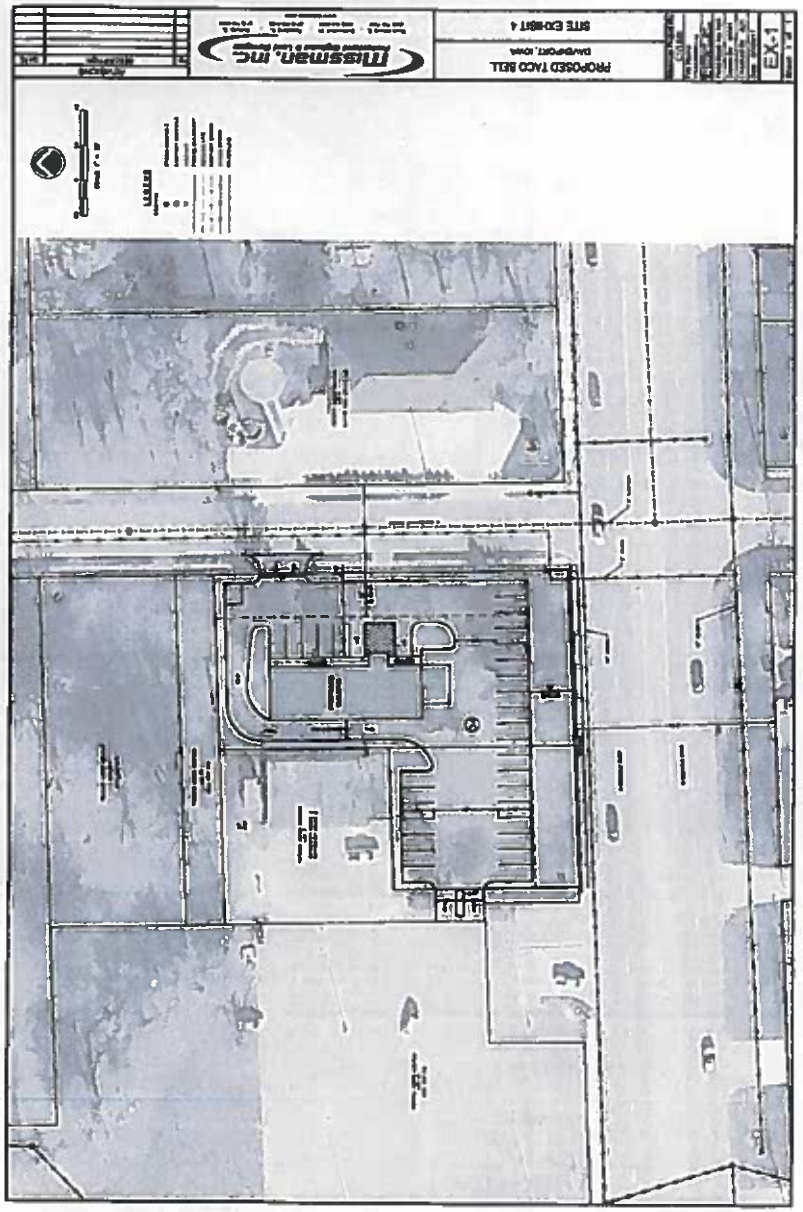
_____
ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS



Notification Plat

0 50 100 200 Feet

N W E S



owner		address	c-s-z
KWIK TRIP INC		1626 OAK ST	LACROSSE WI 54603
KWIK TRIP INC		1626 OAK ST	LACROSSE WI 54603
KWIK TRIP INC		1626 OAK ST	LACROSSE WI 54603
KWIK TRIP INC		1626 OAK ST	LACROSSE WI 54603
JUDY M DISNEY	ROBERT O DISNEY	3937 STURDEVANT ST	DAVENPORT IA 52806
BEATTIE REAL ESTATE LLC		1544 W KIMBERLY RD	DAVENPORT IA 52806
BRIAN L FRENCH		1530 W KIMBERLY RD	DAVENPORT IA 52806
MONTE J BURMEISTER	DELSIE B BURMEISTER	2907 W 68TH ST	DAVENPORT IA 52806
GOLD KEY AUTO LLC		1310 E KIMBERLY RD	DAVENPORT IA 52807
LEROY ANTHONY DIETRICH	KAREN DIETRICH	1605 W KIMBERLY RD	DAVENPORT IA 52806
KENNETH A MADDEN	JOLINE A MADDEN	3849 STURDEVANT ST	DAVENPORT IA 52806
NEIL R MCREYNOLDS	AMI D MCREYNOLDS	1535 W KIMBERLY RD	DAVENPORT IA 52806
ALD MATSON			

7-6-17

NAME	ADDRESS	EMAIL
Robin Enoch	3947 Sturdevant	pepenoch@gmail.com
Robert Peppers	"	"
Chantell Roberts	"	"
Judy Blaque Keeney	1607 W 43rd	keeneyp@q.com
JIM STREETKER	4119 STURDEVANT	
Tony Dietrich	1605 W. Kimberly Rd	drtdldc@yahoo.com
MIKE MATSON OAVIA		MATSONGOLTHAWKS@MSN.COM
Kyle Gripp	4319 Belle Ave	KGripp534@GMAIL.COM
Brian French	1530 W. Kimberly Rd	Frenchfrys03@yahoo.com
Mike Puente	1605 W 44th st	panchpuente@gmail.com
Ron & Jody Loetz	1450 W. 39th St.	ronloetz383@yahoo.com
Patricia Jean Johnson	4019 N Sturdevant	gigiarts@yahoo.com
Karen Beneke	1445 W 40th ST	lebruno@excite.com
Susan Strodtbeck	1422 W 40th St	wynafred@excite.com

July 6 mtg.

7/6 @ Don Liskary

biggest concern:

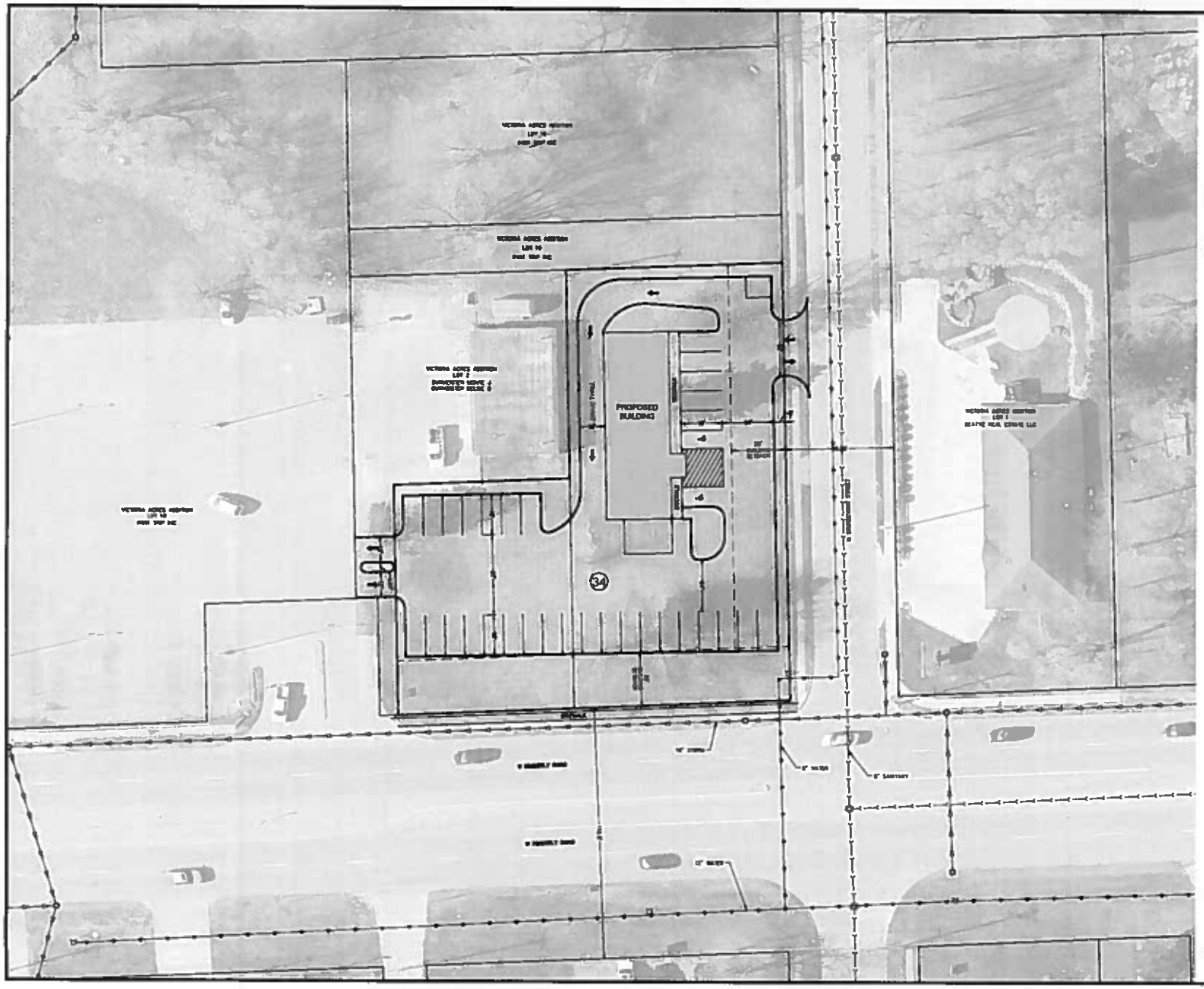
Traffic Structure

Lighting

Access points

Storm / Sanitary Sewers

- Stacking -



REVISIONS		
No	DESCRIPTION	DATE

Missman, Inc.
Professional Engineers & Land Surveyors

PROPOSED TACO BELL
DAVENPORT, IOWA

SITE EXHIBIT 4

Missman Project No: C17L020
File Name: C17L020-EXHIBIT-4.dwg
© COPYRIGHT 2017
Field Book No: N/A
Drawn By: MWH
Checked By: JLH
Date: 07/05/17

EX-1

Sheet 1 of 1

PASTRNAK LAW FIRM, P.C.
Attorneys at Law
313 W. 3rd Street
Davenport, IA 52801
Phone: (563) 323-7737, Ext. 216
Fax: (563) 323-7739
E-mail: jhamerlinck@pastrnak.com

Thomas J. Pastrnak*
Candy K. Pastrnak*

Troy D. Venner*

Thomas R. Schulz – Of Counsel *
Gregory S. Jager – Of Counsel**
Dee A. Runnels – Of Counsel **

* Admitted in Iowa and Illinois
** Admitted in Iowa Only

ILLINOIS OFFICE:
6300 75th Ave., Suite A
Milan, IL 61264

File No. 2550.038

June 26, 2017

TO THE PROPERTY OWNERS WHO MAY BE AFFECTED BY A REZONING APPLICATION

Re: Rezoning of Parcel Nos. M1506-10 and M1506-11 as identified by area highlighted in blue, consisting of consisting of 0.70 acre, more or less

Please be apprised that the undersigned represents David A. Parochetti Revocable Trust dated March 24, 1998 ("Developer"). It is the intent of the Developer to purchase the property to allow the construction of a proposed quick service food facility ("Development") and rezone the Property (to eliminate the need for the conditions in Ordinance No. 99-569 filed as Document No. 2000-04876 on February 23, 2000 when the property was intended to be developed for a grocery market).

We would like to hold a neighborhood meeting to discuss the request and have scheduled such meeting for Thursday, July 6, 2017 at 6:15 P.M. at the Davenport Public Library located at 3000 N. Fairmount St., Davenport, Iowa.

We look forward to your attendance at this meeting. Please advise your neighbors if you see that any of them have not be listed on the attached Exhibit "A" to this notice.

Very truly yours,

THOMAS J. PASTRNAK
Attorney at Law

TJP:jb

Enclosure

cc: Mike Matson, Kyle Gripp, Matt Flynn, Jason Gordon, Wayne Wille, Dave Parochetti

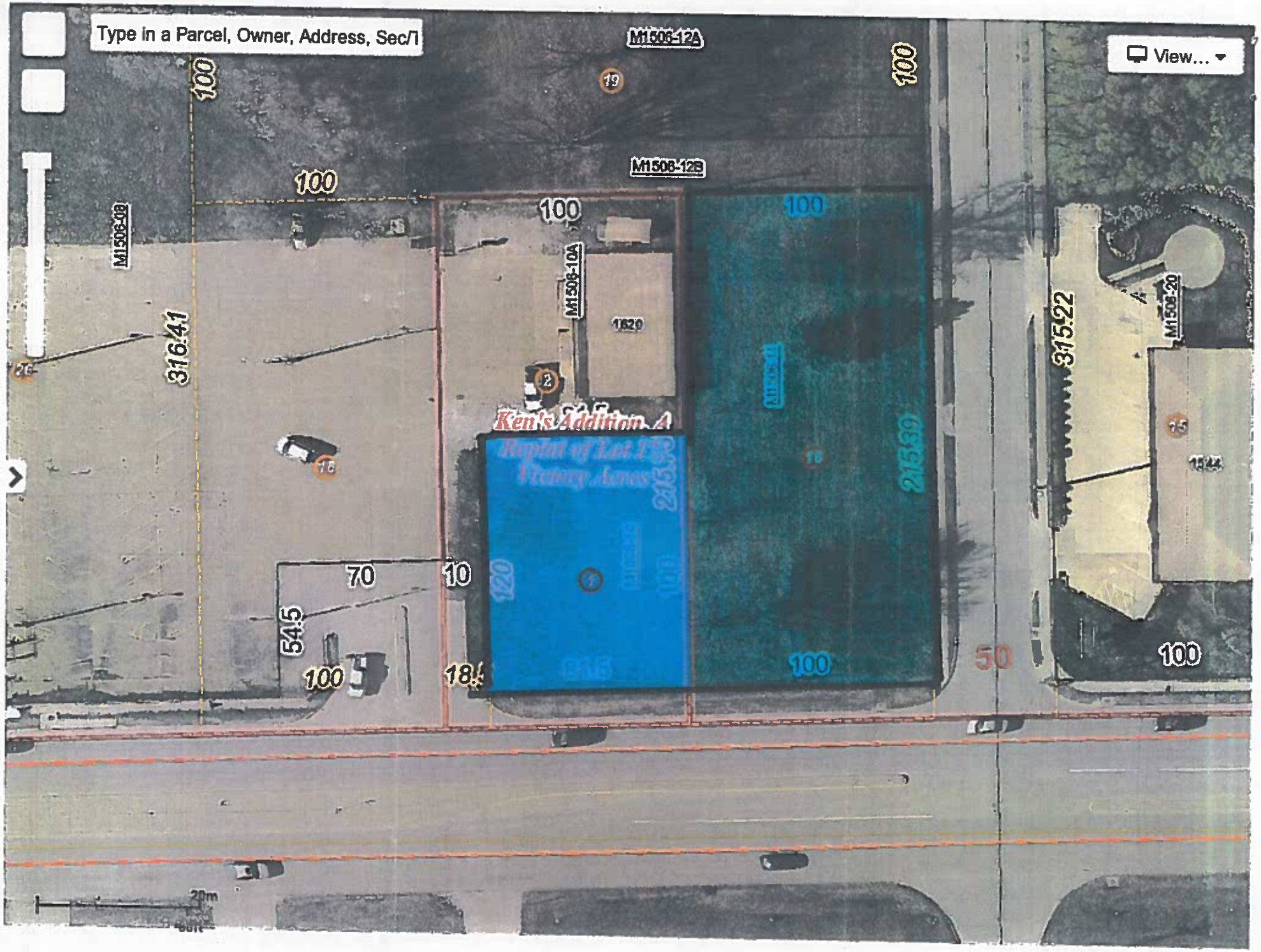

Type in a Parcel, Owner, Address, Sec/T
View...
M1506-12A
M1506-12B
M1506-10A
M1506-20
100
316.41
315.22
215.39
1620
Ken's Addition A
Replat of Lot 17B
Victory Acres
70
10
54.5
120
50
20m

Exhibit A

1 Monte J. Burmeister
2907 W. 68th St.
Davenport, IA 52806

2 KWIK TRIP INC
1626 OAK ST
LA CROSSE, WI 54603

3 KWIK TRIP INC
1626 OAK ST
LA CROSSE, WI 54603

4 KWIK TRIP INC
1626 OAK ST
LA CROSSE, WI 54603

5 KWIK TRIP INC
1626 OAK ST
LA CROSSE, WI 54603

6 BEATTIE REAL ESTATE LLC
1544 W KIMBERLY RD
DAVENPORT, IA 52806

7 Brian L. French
1530 W KIMBERLY RD
DAVENPORT, IA 52806

8 Harold T. Akins
1520 W KIMBERLY RD
DAVENPORT, IA 52806

9 Judy M. Disney
3937 STURDEVANT ST
DAVENPORT, IA 52806

10 Neil R. McReynolds
1535 W KIMBERLY RD
DAVENPORT, IA 52806

11 Kenneth H. Madden
3849 STURDEVANT ST
DAVENPORT, IA 52806

12 Douglas W. Harbison
3839 STURDEVANT ST
DAVENPORT, IA 52806

13 Anthony Leroy Dietrich
1605 W KIMBERLY RD
DAVENPORT, IA 52806

14 Marjorie G. Tubbs
1347 W LOMBARD ST
DAVENPORT, IA 52804

15 GOLD KEY AUTO LLC
1310 E KIMBERLY RD
DAVENPORT, IA 52807

16 RIVERSIDE REAL ESTATE
Holdings, LLC
PO Box 6
LeClaire, IA 52753

City of Davenport
Plan and Zoning Commission

Department: Community Planning and Economic Development Department
Contact Info: Ryan Rusnak (563) 888-2022
rrusnak@ci.davenport.ia.us

Date
8/1/2017

Subject:
Case No. REZ17-08: Request of Aaron Christopher on behalf of Palmer College of Chiropractic to rezone 38.65 acres, more or less, generally located between Harrison Street and Pershing Avenue and between East 12th and 5th Streets from: “R-4” Moderate Density Dwelling District, “R-6M” High Density Dwelling District, “C-O” Office-Shop District, “C-1” Neighborhood Commercial District, “C-2” General Commercial District, “C-4” Central Business District and “M-1” Light Industrial District to “PID” Planned Institutional District

Recommendation:
There is no recommendation at this time.

Relationship to Goals:
Strengthen the existing built environment.

Background:
Please see attached staff report.

ATTACHMENTS:

Type	Description
Backup Material	Public Hearing Staff Report
Backup Material	Proposed Land Use Plan
Backup Material	Narrative of Intent and Compatibility
Backup Material	Letters in Favor of the Request
Backup Material	Letters Opposed to the Request
Backup Material	Public Hearing Notice, Map and Notified Property Owners

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:27 PM

City of Davenport
Community Planning & Economic Development Department
PUBLIC HEARING STAFF REPORT

Meeting Date: August 1, 2017
Request: "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District.
Location: Harrison Street and Pershing Avenue and between East 12th and East 5th Streets
Case No.: REZ17-08
Applicant: 483 Architects on behalf of Palmer College of Chiropractic

Recommendation:

There is no recommendation at this time.

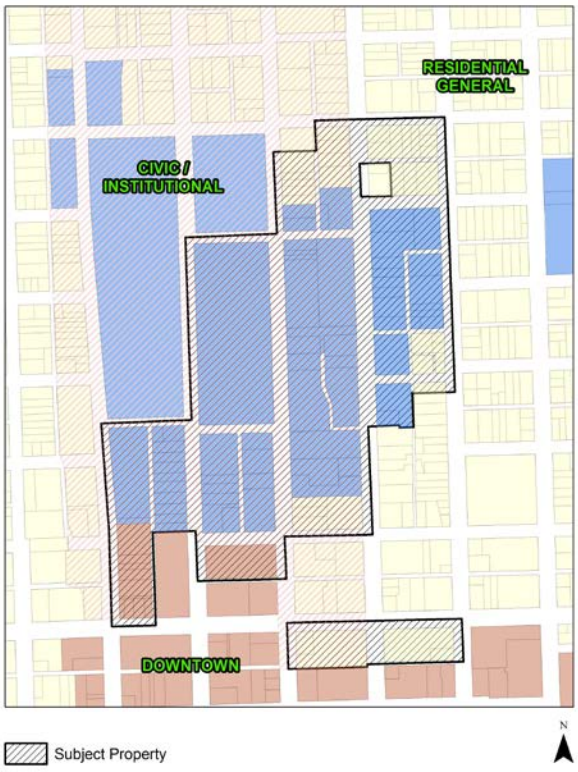
Introduction:

Case No. REZ17-08: Request of Studio 483 Architects on behalf of Palmer College of Chiropractic to rezone 38.65 acres, more or less, generally located between Harrison Street and Pershing Avenue and between East 12th and 5th Streets from: "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District.

AREA CHARACTERISTICS:

Zoning Map

Land Use Map



Background:

Comprehensive Plan:
Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Future Land Use Designation: Civic and Institutional, Residential General and Downtown.

Civic / Institutional (CI) – Reserved for major developments for government, education, religion, medical, utilities, and other cultural or non-profit organizations located outside of the Downtown (DT).

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Downtown (DT) – the original center of the City, marked by historical buildings, regional cultural attractions, large scale single-purpose or mixed-use developments, government or institutional centers. Development in DT shall be governed by detailed design guidelines marked by high quality design and building materials, set in an environment that is supportive of all transportation modes, including pedestrian.

Relevant Goals to be considered in this Case: Strengthen the Existing Built Environment.

The proposed use would comply with the Davenport 2035 proposed land use section.

Technical Review:

City staff met on 7/26/2017 to discuss the major elements of the project. One potential challenge identified was managing stormwater generated from pervious surface areas since there isn't very much storm sewer infrastructure in the area. Additional technical review information will be provided at the August 15, 2017 Plan and Zoning Commission regular meeting.

Public Input:
Notices were sent to property owners within 500 feet of the request. The applicant held a stakeholder meeting on April 13, 2017 and a neighborhood meeting on April 20, 2017. Approximately 10 stakeholders attended the meeting and approximately 50 surrounding property owners attended the meeting.

To date, staff has received five letters in favor of the request and one letter in opposition of the request.

Discussion:
In June 2011, the City of Davenport adopted a new "PID" Planned Institutional District zoning classification (Ord. No. 2011-243). The Planned Institutional District applies to all major educational and medical campuses. Existing and proposed campus uses on properties in excess of forty acres in area are required to obtain (apply for) the planned institutional district within five years of the effective date of the ordinance. Additionally, any proposed development of more than five thousand square feet of impervious area within that five year time period shall also require the Planned Institutional District.

The "PID" Planned Institutional District zoning classification is intended to encourage a comprehensive approach to development by encouraging the adoption of a land use plan rather than the piece-meal review of individual development proposals through the special use permit process. The district is also intended to:

1. Further the policies of the Comprehensive Plan;
2. Encourage the preparation of a land use plan that enables the community to understand the levels of development being proposed, their likely impacts and appropriate mitigation measures;
3. Permit appropriate institutional growth within boundaries of the campus while minimizing the adverse impacts associated with development and geographic expansion;
4. Balance the ability of major institutions to grow and adapt to changing needs while protecting the livability and vitality of adjacent areas.

Once approved, the Land Use Plan shall remain effective for a period of ten years, although updates and amendments may be pursued during that time period. Development projects consistent with the adopted land use plan will undergo administrative site plan and building permit review and will not require a reopening of the rezoning.

Notably, the proposed rezoning contains 39 acres. As such, Palmer Chiropractic College is not compelled to rezone the property. However, Palmer Chiropractic College was encouraged to consider the Planned Industrial District when it requested the Historic Preservation Commission to allow the demolition of 12 historic properties.

"PID" Planned Institutional District zoning is required to contain two primary components:

1. Land Use Plan - establishes the range of acceptable uses and intensities that will be permitted. The land use plan provides detailed development data for the site from which a determination can be made on the appropriateness of the proposed distribution of land uses that are to be developed. Once approved, the land use plan shall remain effective for a period of ten years, although updates and amendments may be pursued during that time period. Development projects consistent with the adopted land use plan will undergo administrative site plan and building permit review and will not require a reopening of the rezoning.
2. Narrative of intent and compatibility with surrounding area - describes the relationship between the institution and the surrounding area.

Major Elements of the Land Use Plan:

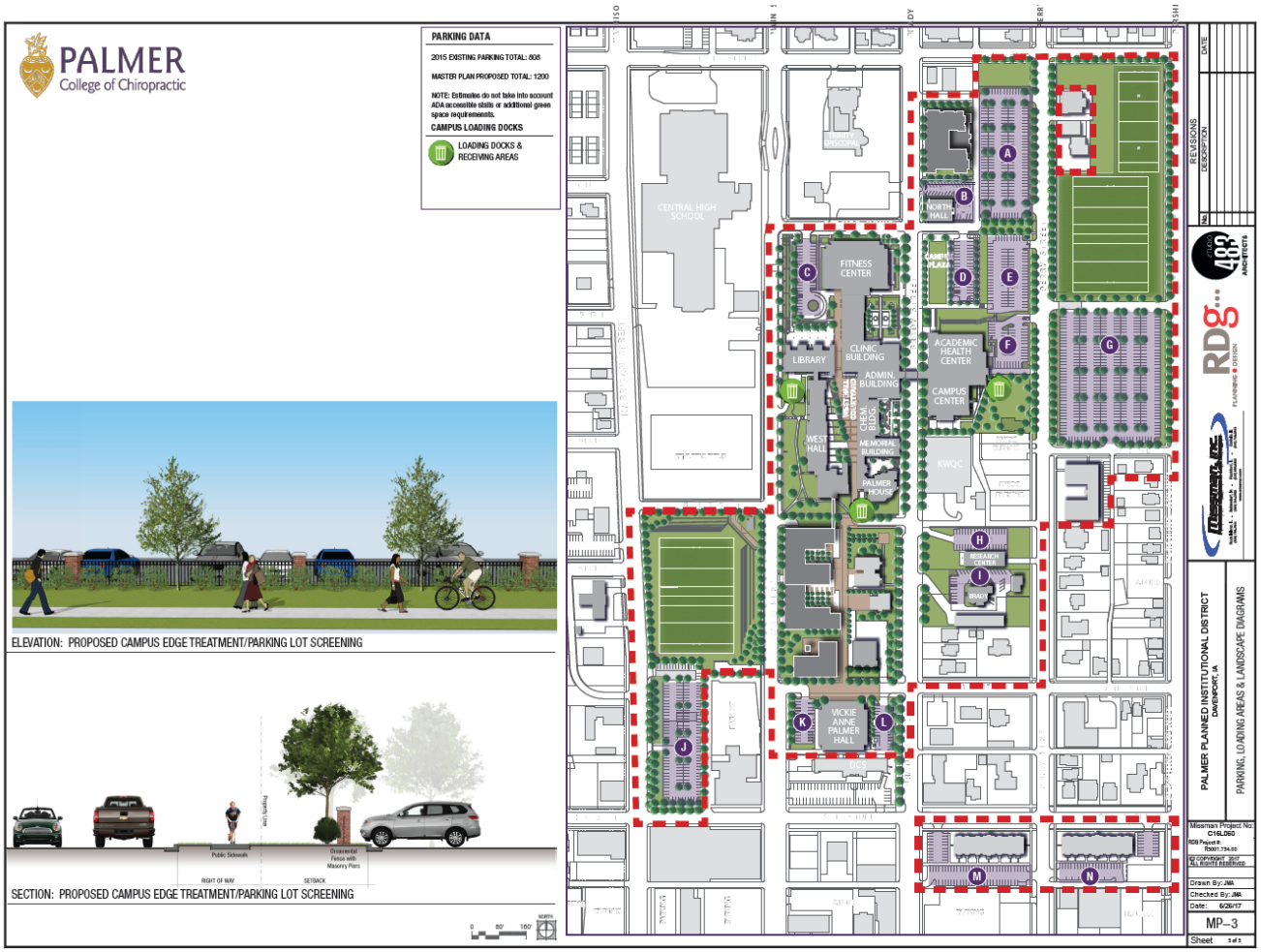
1. Campus between Brady Street and Main Street
   - Conversion of the existing parking lot and green space to a practice field.
   - New parking lot west of Halligan-McCabe DeVries funeral home. There would be a net increase of 27 parking spaces.
2. Campus between Main Street and Brady Street.
   - Formalizing the improvements being made to the fitness facility and surrounding area.
   - Demolition of the former St. Luke's Hospital and houses to the south and in its place construction of new student housing and underground parking for the new student housing and existing student housing to the east. The Data Sheet listed a proposed building height of 50 feet, which is permissible. **It appears that the proposed building would not achieve consistency with the required 25 foot front yard setback.**
   - Vacating and closing a portion of West 7th Street to allow an "enhanced campus corridor" from the north to the Vickie Anne Palmer building. Please note that the alley between West 7th and West 8th Street and Main Street and Brady Street has already been vacated.
3. Campus between Brady Street to Perry Street.
   - New mixed use building south of the current gas station located at the corner of Brady Street and East 12th Street. **The Data Sheet does not identify the proposed building height. It appears that the proposed building would not achieve consistency with the required 25 foot front yard setback.**
   - Demolition of four buildings and expansion of the surface parking area south of East 12th Street and west of Perry Street. There would be a net increase of 138 parking spaces.
   - Vacating and closing a portion of Palmer Drive between Perry Street and the alley to the west.
4. Campus between Perry Street and Pershing Street.
   - Vacating and removing East 11th Street between Perry Street and Pershing Street and demolition of nine buildings and in its place passive green space. There would be a decrease of 38 parking spaces.
   - Vacating and closing East 9th Street and East 10th Street between Perry Street and Pershing Street and the alley in between and demolition of five buildings and in its place construction of a new 454 space surface parking lot. There would be a net increase of 245 parking spaces.

Please note that future street vacations would need to be considered by the Plan and Zoning Commission and approved by the City Council.

The Land Use Plan specifies that "… Any and all properties included within the boundaries of this PID, that do not have proposed future uses specified on the Land Use Plan and/or the Data Sheet may continue to be used as they currently exist and/or permitted under the PID zoning classification. Said properties may also be used for open space proposes in the event of demolition…"

On July 11, 2017 the Historic Preservation approved the demolition of the 12 historic properties. 11 of the 12 were approved contingent upon the approval of the "PID" Planned Intuitional District. The demolition of the former St. Luke's Hospital was approved without any contingencies. There are three buildings listed on the National Register of Historic Places that are not specified on the Land Use Plan or Data Sheet: 732 Brady Street – Argyle Flats, 702 Perry Street - Nicholas J.Kuhnen House and 1117 Perry Street – Eight Gables. While approval of the PID would not supplant review authority of the Historic Preservation Commission, staff is concerned about the potential loss of individually significant historic properties. Although not historic, 748 Main Street – former gas station is not identified on the Land Use Plan.

The landscape plan shows significant greening along public streets and campus edge treatments.



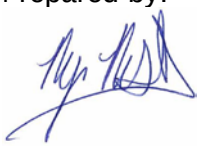
Major Elements of the Narrative of intent and compatibility with surrounding area:

1. Architectural and/or urban design theme. Architecture varies based on the time period in which it was constructed. Palmer Chiropractic College is noticeably urban and the Land Use Plan enhances the urban environment.
2. Total number of existing and proposed users and employees. The Current student population is 1,000 students (currently 150 live on campus) and 300 faculty and staff. The proposed Land Use Plan would allow for up to 1,500 students with 400 living on campus.
3. The landscape plan shows significant greening along public streets and campus edge treatments.
4. Description of existing and proposed methods of communication between the institution and the community, including a method of resolution of community concerns. **A method was alluded to, however, it is staff's opinion that the proposed method of communication should be more clearly articulated.**
5. Description of any existing and proposed impacts of development and the surrounding area and how these impacts should be mitigated. The proposed Land Use Plan shows a softening of the campus edge.
6. Description of existing and proposed relationship of institutional transportation system (auto, bus, bicycle, pedestrian) to the external street network. The proposed Land Use Plan proposed to better manage vehicular access and would create an enhanced (pedestrian) campus corridor.

Staff Recommendation

There is no recommendation at this time.

Prepared by:



Ryan Rusnak, AICP
Planner III

PALMER COLLEGE OF CHIROPRACTIC
PLANNED INSTITUTIONAL DISTRICT

DAVENPORT, IOWA

EXISTING ZONING MAP
NOT TO SCALE

Parcels Included in Rezoning Petition

VICINITY MAP
NOT TO SCALE

PALMER COLLEGE OF CHIROPRACTIC
1000 Brady Street
Davenport, IA 52803
(563)-884-5653

STUDIO 483
Greg Gowey
(563)-326-2555

INDEX OF SHEETS

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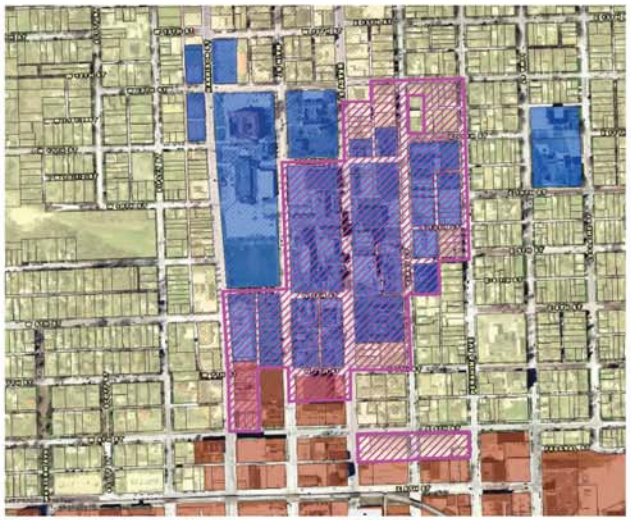

DAVENPORT 2035 ZONING MAP
NOT TO SCALE

Parcels Included in Rezoning Petition

SOILS DATA

Scott County, Iowa	Scott County, Iowa	Scott County, Iowa
4000—Urban land	41626—Downs-Urban land complex, 2 to 9 percent	41620—Downs-Urban land complex, 9 to 14
Map Unit Setting	**Map Unit Setting**	**Map Unit Setting**
National map unit symbol: 7ynh	National map unit symbol: 2dm4	National map unit symbol: 2dm3
Elevation: 690 to 1,020 feet	Elevation: 690 to 1,010 feet	Elevation: 690 to 1,010 feet
Mean annual precipitation: 28 to 37 inches	Mean annual precipitation: 29 to 37 inches	Mean annual precipitation: 29 to 37 inches
Mean annual air temperature: 45 to 52 degrees F	Mean annual air temperature: 48 to 51 degrees F	Mean annual air temperature: 48 to 51 degrees F
Frost-free period: 160 to 195 days	Frost-free period: 170 to 205 days	Frost-free period: 170 to 205 days
Farmland classification: Not prime farmland	Farmland classification: Not prime farmland	Farmland classification: Not prime farmland
Map Unit Composition	**Map Unit Composition**	**Map Unit Composition**
Urban land: 100 percent	Downs and similar soils: 60 percent	Downs and similar soils: 60 percent
Estimates are based on observations, descriptions, and transects of the mapunit.	Urban land: 40 percent	Urban land: 40 percent
Data Source Information	Estimates are based on observations, descriptions, and transects of the mapunit.	Estimates are based on observations, descriptions, and transects of the mapunit.
Soil Survey Area: Scott County, Iowa		
Survey Area Data: Version 24, Sep 22, 2016	**Description of Downs**	**Description of Downs**
	Setting	**Setting**
	Landform: Interfluves	Landform: Interfluves
	Landform position (two-dimensional): Summit,	Landform position (two-dimensional): Summit,
	Landform position (three-dimensional): Interfluve	Landform position (three-dimensional): Interfluve
	Down-slope shape: Convex	Down-slope shape: Convex
	Across-slope shape: Convex	Across-slope shape: Convex
	Parent material: Fine-silty loess	Parent material: Fine-silty loess
	Typical profile	**Typical profile**
	0 to 17 inches: silt loam	0 to 17 inches: silt loam
	17 to 39 inches: silty clay loam	17 to 39 inches: silty clay loam
	39 to 79 inches: silt loam	39 to 79 inches: silt loam
	Properties and qualities	**Properties and qualities**
	Slope: 2 to 9 percent	Slope: 9 to 14 percent
	Depth to restrictive feature: More than 80 inches	Depth to restrictive feature: More than 80 inches
	Natural drainage class: Well drained	Natural drainage class: Well drained
	Runoff class: Medium	Runoff class: Medium
	Capacity of the most limiting layer to transmit:	Capacity of the most limiting layer to transmit:
	Moderately low to moderately high (1.14 to 1.42 in/hr)	Moderately low to moderately high (0.14 to 1.42 in/hr)
	Depth to water table: More than 80 inches	Depth to water table: More than 80 inches
	Frequency of flooding: None	Frequency of flooding: None
	Frequency of ponding: None	Frequency of ponding: None
	Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)	Salinity, maximum in profile: Nonsaline to very slightly saline (0.0 to 2.0 mmhos/cm)
	Available water storage in profile: High (about 10.7 inches)	Available water storage in profile: High (about 10.7 inches)
	Interpretive groups	**Interpretive groups**
	Land capability classification (irrigated): None	Land capability classification (irrigated): None
	Land capability classification (nonirrigated): 3e	Land capability classification (nonirrigated): 3e
	Hydrologic Soil Group: C	Hydrologic Soil Group: C
	Hydric soil rating: No	Hydric soil rating: No
	Description of Urban Land	**Description of Urban Land**
	Setting	**Setting**
	Landform position (two-dimensional): Footslope	Landform position (two-dimensional): Footslope
	Landform position (three-dimensional): Base slope	Landform position (three-dimensional): Base slope
	Down-slope shape: Linear	Down-slope shape: Linear
	Across-slope shape: Linear	Across-slope shape: Linear
	Parent material: Human transported material	Parent material: Human transported material
	Properties and qualities	**Properties and qualities**
	Slope: 0 to 9 percent	Slope: 9 to 14 percent
	Depth to restrictive feature: 0 inches to	Depth to restrictive feature: 0 inches to
	Runoff class: Very high	Runoff class: Very high

UTILITY NOTE

THE LOCATIONS OF THOSE BURIED AND ABOVE GROUND UTILITIES SHOWN ARE APPROXIMATE, ARE SHOWN FOR CONTRACTOR INFORMATIONAL USE ONLY, AND ARE NOT TO BE REFERENCED FOR CONSTRUCTION PURPOSES. THE IMPLIED PRESENCE OR ABSENCE OF UTILITIES IS NOT TO BE CONSTRUED BY THE OWNER, ENGINEER, CONTRACTOR, OR SUBCONTRACTORS TO BE AN ACCURATE AND COMPLETE REPRESENTATION OF UTILITIES THAT MAY OR MAY NOT EXIST ON THE CONSTRUCTION SITE. BURIED AND ABOVE GROUND UTILITY LOCATION, IDENTIFICATION, AND MARKING ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. REROUTING, DISCONNECTION, PROTECTION, ETC. OF ANY UTILITY MUST BE COORDINATED BETWEEN THE CONTRACTOR, UTILITY COMPANY AND OWNER. SITE SAFETY, INCLUDING THE AVOIDANCE OF HAZARDS ASSOCIATED WITH BURIED AND ABOVEGROUND UTILITIES, REMAINS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

MISSMAN, INC. HAS ADOPTED SAFETY PROCEDURES FOR ITS EMPLOYEES WHO PROVIDE PROFESSIONAL ENGINEERING AND SURVEYING SERVICES. A COPY OF THESE PROCEDURES IS AVAILABLE FROM THE SAFETY OFFICER. MISSMAN, INC. PERSONNEL ARE NOT TRAINED IN CONTRACTOR (CONSTRUCTION) SAFETY AND COMPLIANCE PROCEDURES. THE METHODS AND MEANS TO COMPLY WITH CONSTRUCTION SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

PREPARED BY

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No.	DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

COVER SHEET

Missman Project No: C16L060
File Name: C16L060-COVER AND DETAILS.DWG
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 6/26/17

100' 0 100' 200'
SCALE: 1" = 100'

PROPOSED SPORTS FIELD

PROPOSED LANDSCAPE

PROPOSED STRUCTURE

PROPOSED PARKING

PROPOSED ENHANCED CAMPUS CORRIDOR

NOTES:

1. All information was gathered by multiple resources and location of all features shown is approximate.

2. Any and all properties included within the boundaries of this PID, that do not have proposed feature uses specified on the Land Use Plan and/or the Data sheet, may continue to be used as they currently exist and/or permitted under the PID zoning classification. Said properties may also be used for open space purposes in the event of demolition of and existing building or group of buildings. All demolition sites shall be filled, graded level, and at a minimum shall be restored with planted grass seed or sod.

ITEM	SQUARE FOOTAGE	ACERS	RUNOFF COEFFICIENT
EXISTING:			
Buildings / Structures	383,764	8.81	0.95
Parking/Driveways	663,854	15.24	0.95
Total Existing Impervious	1,047,618	24.05	
Total Existing Pervious	635,540	14.59	
Total	1,683,158	38.64	
PROPOSED:			
Buildings / Structures	370,260	8.50	0.95
Parking Lots / Driveways	572,657	13.15	0.95
Enhanced Campus Corridor	51,983	1.19	0.95
South West Rugby Field	159,574	3.66	0.61
North East Green Space	197,631	4.54	0.61
Remaining Green Space	331056	7.60	0.61
Total Proposed Impervious	994,910	22.84	
Total Proposed Pervious	688,461	15.80	
Total	1,683,371	38.64	
Additional Pervious from Vacated Roadways	57,026	0.85	0.61

No.	REVISIONS DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

OVERALL LAND USE PLAN

Missman Project No: C16L060
File Name: C16L060-LAND USE
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-1

SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

- PROPOSED SPORTS FIELD
- PROPOSED LANDSCAPE
- PROPOSED STRUCTURE
- PROPOSED PARKING
- PROPOSED ENHANCED CAMPUS CORRIDOR

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

LAND USE PLAN-NORTH

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File Name: C16L060 LAND USE PLAN.DWG
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-2

SCALE: 1" = 50'

NOTES:

1. All information was gathered by multiple resources and location of all features shown is approximate.

PROPOSED SPORTS FIELD

PROPOSED LANDSCAPE

PROPOSED STRUCTURE

PROPOSED PARKING

PROPOSED ENHANCED CAMPUS CORRIDOR

REVISIONS		
No.	DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

LAND USE PLAN-SOUTH

Missman Project No: C16L060

File Name: C16L060-LAND USE

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Field Book No:

Drawn By: AEK

Checked By: JLH

Date: 4/12/17

C-3

SCALE: 1" = 100'

NOTES:

1. All information was gathered by multiple resources and location of all features shown is approximate.

2. See P.I.D. Data sheet for additional information on existing properties, buildings, and parking lots. (C-13)

No.	DESCRIPTION	DATE

REVISIONS

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

OVERALL EXISTING CONDITIONS

Missman Project No: C16L060

File Name: C16L060-EXISTING CONDITIONS

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Field Book No:

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Checked By: JLH

Date: 4/12/17

C-4

12TH STREET
PALMER DRIVE
WEST 12TH STREET
WEST 11TH STREET
WEST 10TH STREET
WEST 9TH STREET
WEST 8TH STREET
WEST 7TH STREET
WEST 6TH STREET
WEST 5TH STREET
WEST 4TH STREET
WEST 3RD STREET
WEST 2ND STREET
WEST 1ST STREET
FIRST AVENUE
SECOND AVENUE
THIRD AVENUE
FOURTH AVENUE
FIFTH AVENUE
SIXTH AVENUE
SEVENTH AVENUE
EIGHTH AVENUE
NINTH AVENUE
TENTH AVENUE
ELEVENTH AVENUE
TWELFTH AVENUE
FITNESS CENTER
ACADEMY HEALTH CENTER
KWQC
KWQC PARKING
LOT A
LOT B
LOT N
AREA 47
AREA 53
AREA 65
AREA 80
AREA 85
AREA 90
AREA 95
AREA 104
P23
P25
P26
P29
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B111

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

(L) LOADING AREA
(R) RECEIVING AREA
(W) WASTE COLLECTION POINT

REVISIONS		
No.	DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

EXISTING CONDITIONS-SOUTH

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File Name: C16L060-EXISTING
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-6

SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

PROPOSED SPORTS FIELD
PROPOSED LANDSCAPE
PROPOSED STRUCTURE
PROPOSED PARKING
PROPOSED ENHANCED CAMPUS CORRIDOR
SOIL CLASSIFICATION LINE
4162C SOIL CLASSIFICATION
(L) LOADING AREA
(R) RECEIVING AREA
(W) WASTE COLLECTION POINT

REVISIONS		
No.	DESCRIPTION	DATE

Missman, inc.
Professional Engineers & Land Surveyors
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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

AREA AND SOILS-NORTH

Missman Project No: C16L060
File Name: C16L060-SITE SOILS.dwg
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-7

SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

- PROPOSED SPORTS FIELD
- PROPOSED LANDSCAPE
- PROPOSED STRUCTURE
- PROPOSED PARKING
- PROPOSED ENHANCED CAMPUS CORRIDOR
- SOIL CLASSIFICATION LINE
- 4162C SOIL CLASSIFICATION
- (L) LOADING AREA
- (R) RECEIVING AREA
- (W) WASTE COLLECTION POINT

No.	REVISIONS DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

AREA AND SOILS-SOUTH

Missman Project No: C16L060
File Name: C16L060-SITE SOILS.dwg
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-8

SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

PROPOSED SPORTS FIELD

PROPOSED LANDSCAPE

PROPOSED STRUCTURE

PROPOSED PARKING

PROPOSED ENHANCED CAMPUS CORRIDOR

EXISTING

STORM MANHOLE

STORM INLET

PROPERTY LINE

SANITARY SEWER

STORM SEWER

WATER LINE

REVISIONS		
No.	DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

SITE UTILITIES-NORTH

Missman Project No: C16L060

File Name: C16L060-SITE

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Field Book No:

Drawn By: AEK

Checked By: JLH

Date: 4/12/17

C-9

50' 0 50' 100'
SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

PROPOSED SPORTS FIELD
PROPOSED LANDSCAPE
PROPOSED STRUCTURE
PROPOSED PARKING
PROPOSED ENHANCED CAMPUS CORRIDOR

EXISTING
STORM MANHOLE
STORM INLET
PROPERTY LINE
SANITARY SEWER
STORM SEWER
WATER LINE

REVISIONS		
No.	DESCRIPTION	DATE

Missman, Inc.
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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

SITE UTILITIES-SOUTH

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C-10

SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

PROPOSED SPORTS FIELD
PROPOSED LANDSCAPE
PROPOSED STRUCTURE
PROPOSED PARKING
PROPOSED ENHANCED CAMPUS CORRIDOR
SLOPES > 10%
CONTOUR
DRAINAGE DIRECTION

No.	REVISIONS DESCRIPTION	DATE

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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

GRADING & DRAINAGE-NORTH

Missman Project No: C16L060
File Name: C16L060-GRADING AND DRAINAGE-NORTH
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-11

SCALE: 1" = 50'

NOTES:
1. All information was gathered by multiple resources and location of all features shown is approximate.

PROPOSED SPORTS FIELD

PROPOSED LANDSCAPE

PROPOSED STRUCTURE

PROPOSED PARKING

PROPOSED ENHANCED CAMPUS CORRIDOR

SLOPES > 10%

CONTOUR

DRAINAGE DIRECTION

REVISIONS		
No.	DESCRIPTION	DATE

Missman, inc.
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PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

GRADING & DRAINAGE-SOUTH

Missman Project No: C16L060

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Field Book No:

Drawn By: AEK

Checked By: JLH

Date: 4/12/17

C-12

APPROXIMATE OVERALL AREA USE DESCRIPTION

Area	Structure	Structure Footprint	Stories	Gross Floor Area	Description	Name	Building Height	Parcel Size	Coverage Type - Initial		Coverage Type - Proposed	
									Impervious	Pervious	Impervious	Pervious
		(SF)		(SF)			(FT)	(ac)	(ac)	(ac)	(ac)	(ac)
1	P1	41,542	-	41,542	Parking Lot	-	-	1.62	0.95	0.67	0.00	1.62
2		2,118	-	2,118		-	-	0.09	0.05	0.04	0.00	0.09
3	B1	6,778	1	6,778	Commercial Building	Gravert's Auto Services	-	0.50	0.16	0.00	0.34	0.16
	P2	14,709	-	14,709	Paved Surface		-		0.34			
4	B2	1,500	1	1,500	Commercial Building	-	-	0.14	0.03	0.00	0.12	0.02
	P3	4,600	-	4,600	Paved Surface		-		0.11			
5	B3	2,100	1	2,100	Commercial Building	-	-	0.10	0.05	0.00	0.08	0.02
	P4	2,256	-	2,256	Paved Surface		-		0.05			
6	B4	3,200		3,200	Commercial Building	-	-	0.17	0.07	0.00	0.14	0.03
	P5	4,205	-	4,205	Paved Surface		-		0.10			
7	P6	11,326	-	11,326	Parking Lot	-	-	0.26	0.26	0.00	0.22	0.04
8		1,742	-	1,742		-	-	0.04	0.04	0.00	0.03	0.01
9	P7	2,178	-	2,178	Parking Lot	-	-	0.05	0.05	0.00	0.00	0.05
10		3,920	-	3,920		-	-	0.09	0.09	0.00	0.07	0.02
11		4,356	-	4,356		-	-	0.10	0.10	0.00	0.09	0.01
12		3,049	-	3,049		-	-	0.07	0.07	0.00	0.05	0.02
13	-	-	-	-	Empty Lot	-	-	0.08	0.00	0.08	0.00	0.08
14	B5	1,074	1	1,074	Storage	-	-	0.17	0.02	0.10	0.00	0.17
	B6	96	1	96	Shed	-	-		0.00			
	P8	2,209	-	2,209	Paved Surface	-	-		0.05			
15	-	-	-	-	Empty Lot	-	-	0.17	0.00	0.17	0.00	0.17
16	-	-	-	-	Empty Lot	-	-	0.15	0.00	0.15	0.00	0.15
17	-	-	-	-	Empty Lot	-	-	0.17	0.00	0.17	0.00	0.17
18	-	-	-	-	Empty Lot	-	-	0.13	0.00	0.13	0.00	0.13
19	-	-	-	-	Empty Lot	-	-	0.18	0.00	0.18	0.00	0.18
20	-	-	-	-	Empty Lot	-	-	0.18	0.00	0.18	0.00	0.18
21	-	-	-	-	Empty Lot	-	-	0.17	0.00	0.17	0.00	0.17
22	-	-	-	-	Empty Lot	-	-	0.14	0.00	0.14	0.00	0.14
23	-	-	-	-	Empty Lot	-	-	0.14	0.00	0.14	0.00	0.14
24	B7	28,375	2	43,758	Fitness Center	Palmer College of Chiropractic Campus	40	6.76	0.65	1.28	0.65	1.28
	B8	23,608	2	55,114	Classroom Building		38		0.54		0.54	
	B9	16,620	3	51,343	Library		40		0.38		0.38	
	B10	8,502	4	36,987	Administration Building		65		0.20		0.20	
	B11	22,560	3	81,240	West Hall		40		0.52		0.52	
	B12	11,540	2	19,035	Chemistry Building		34		0.26		0.26	
	B13	6,416	3	20,918	Memoral Building		38		0.15		0.15	
	B14	6,130	3	12,718	Palmer Mansion		48		0.14		0.14	
	P10	27,856	-	27,856	Parking Lot		-		0.64		0.64	
	P11	3,056	-	3,056	Parking Lot		-		0.07		0.07	
	-	139,803	-	139,803	Non-Building Campus		-		1.93		1.93	
25	B15	6,495	3	23,232	Campus Housing	Old Saint Luke's	50	0.98	0.15	0.41	0.48	0.05
	P12	9,604	-	9,604	Parking Lot		-		0.22		0.45	
	P13	8,890	-	8,890	Paved Alley		-		0.20			
26	B16	1,854		1,854	Residential Housing	Pi Kappa Chi Fraternity	-	0.17	0.04	0.05	0.05	0.01
	P14	3,578	-	3,578	Paved Area		-		0.08		0.11	
27	B17	2,568		4,216	Residential Housing	-	-	0.19	0.06	0.06	0.07	0.01
	P15	2,855	-	2,855	Paved Area		-		0.07		0.11	
28	B18	1,466		2,885	Residential Housing	-	-	0.21	0.03	0.15	0.19	0.00
	P16	1,156	-	1,156	Paved Area		-		0.03		0.02	
29	B19	2,024		4,040	Residential Housing	-	-	0.31	0.05	0.25	0.14	0.06
	P17	640	-	640	Paved Area		-		0.01		0.11	
30	-		-		Empty Lot	-	-	0.20	0.02	0.18	0.19	0.01
31	P18	9,000	-	9,000	Parking Lot	-	-	0.24	0.21	0.03	0.03	0.21
32		1,375	-	1,375		-	-	0.36	0.03	0.19	0.13	0.23
	B20	6,126		23,948	Resident Hall	-	-		0.14			
33	B21	2,652	3	8,329	Resident Hall	Brady Manor	36	0.22	0.06	0.06	0.06	0.05
	P19	4,200	-	4,200	Parking Lot		-		0.10		0.11	
34	B22	5,600		5,600	Office Building	Palmer Admissions Building	-	0.60	0.13	0.22	0.13	0.22
	P20	11,029	-	11,029	Parking Lot		-		0.25		0.25	
35	B23	22,132	4	123,046	Office Building	Vickie Anne Palmer Hall	86	1.12	0.51	0.22	0.51	0.22
	P21	8,891	-	8,891	Parking Lot		-		0.20		0.20	
	P22	8,420	-	8,420	Parking Lot		-		0.19		0.19	
36	B24	7,740	1	7,740	Retail Store	Brady Home Furniture	-	0.38	0.18	0.02	0.23	0.15
	P23	7,840	-	7,840	Parking Lot / Alley		-		0.18			
37	B25	1,287	1.5	1,860	Residential Housing	-	-	0.11	0.03	0.07	0.10	0.01
	B26	576	1	576	Garage		-		0.01			
38	B27	1,240	2	2,468	Barber Shop	-	-	0.10	0.03	0.00	0.10	0.00
	P24	3,050	-	3,050	Paved Area		-		0.07			
39	B28	1,640	2	2,915	Retail Store	-	-	0.13	0.04	0.01	0.13	0.00
	P25	3,300	-	3,300	Parking Lot		-		0.08			
40	B29	1,333	2	2,693	Apartment Housing	-	-	0.15	0.03	0.12	0.04	0.11
41	P26	7,034	-	7,034	Parking Lot	-	-	0.21	0.16	0.05	0.16	0.05
42	B30	4,800	2	6,600	Classroom Building	North Hall	26	0.21	0.11	0.02	0.11	0.02
	P27	3,600	-	3,600	Parking Lot		-		0.08		0.08	
43	-	-	-	-	Empty Lot	-	-	0.21	0.00	0.21	0.00	0.21
44	B32	2,400	2	4,093	Multi-Residential	-	-	0.21	0.06	0.15	0.17	0.04
45	B33	2,734	2	4,385	Multi-Residential	-	-	0.21	0.06	0.15	0.21	0.00
46	B34	2,240	2	4,286	Multi-Residential	-	-	0.33	0.05	0.28	0.33	0.00
47	P28	20,500	-	20,500	Parking Lot	-	-	0.58	0.47	0.11	0.56	0.02
48	B35	1,440	2	2,400	Residential Housing	-	-	0.10	0.03	0.07	0.08	0.02
49	P29	5,000	-	5,000	Parking Lot	Palmer College of Chiropractic Campus	-	1.08	0.17	0.11	0.06	0.11	0.06
50		2,009	-	2,009			-		0.07	0.05	0.02	0.05	0.02
51		1,500	-	1,500			-		0.07	0.04	0.03	0.04	0.03
52		6,500	-	6,500			-		0.15	0.58	0.15	0.58
	B36	19,847	3	59,541	Academic Health Center		48		0.35		0.35	
53								1.58	0.11	0.35	0.11	0.35
	P30	30,727	-	30,727	Parking Lot	Lot B	-		0.71		0.71	
	P31	17,813	-	17,813	Parking Lot	Lot C	-		0.41		0.41	

APPROXIMATE OVERALL AREA USE DESCRIPTION

54	B37	7,437	5	58,136	Campus Center	Palmer College of Chiropractic Campus	65	0.33	0.22	0.11	0.22	0.11
55		5,617			Campus Center			0.27	0.24	0.03	0.24	0.03
56		2,716			Campus Center			0.26	0.18	0.08	0.18	0.08
57	B38	22,824	2	35,997	KWQC Building	KWQC Area	-	1.07	0.52	0.20	0.52	0.20
	B39	1,713	2	3,426	KWQC Building		-		0.04		0.04	
	P32	13,297	-	13,297	Parking Lot		-		0.31		0.31	
58	B40	6,043	4	26,910	Research Center	Palmer College of Chiropractic Campus	40	0.97	0.14	0.54	0.14	0.54
	P33	12,794	-	12,794	Lot N		-		0.29		0.29	
59	B41	3,180	3	9,525	Brady Manor		48	0.53	0.08	0.10	0.08	0.10
	P34	15,246	-	15,246	Lot O		-		0.35		0.35	
60	B42	1,098	1	1,098	Residential Housing		-	0.19	0.03	0.06	0.03	0.06
	P34	4,275	-	4,275	Lot O		-		0.10		0.10	
61	B43	3,456	2	6,912	Apartment Housing		-	0.55	0.08	0.33	0.08	0.33
	P34	6,286	-	6,286	Lot O		-		0.14		0.14	
62	B44	1,509	2	2,600	Residential Housing	-	-	0.17	0.04	0.04	0.04	0.04
	B45	356		356	Garage	-	-		0.01		0.01	
	P35	3,485	-	3,485	Paved Area	-	-		0.08		0.08	
63	B46	1,424	2	2,825	Residential Housing	-	-	0.17	0.03	0.09	0.03	0.09
	P35	2,357	-	2,357	Paved Area	-	-		0.05		0.05	
64	B47	1,643	2	2,888	Residential Housing	-	-	0.20	0.04	0.11	0.04	0.11
	P35	1,981	-	1,981	Paved Area	-	-		0.05		0.05	
65	P36	3,800	-	3,800	Paved Area	-	-	0.34	0.09	0.25	0.03	0.31
66	B48	1,754	2	3,284	Residential Housing	-	-	0.17	0.04	0.11	0.00	0.17
	B49	836	1	836	Garage	-	-		0.02			
67	P32	3,315	-	3,315	Parking Lot	-	-	0.82	0.08	0.20	0.08	0.22
	P37	11,250	-	11,250	Parking Lot	-	-		0.26		0.24	
	P38	12,361	-	12,361	Parking Lot	-	-		0.28		0.28	
68	B50	2,645	2	5,445	Residential Housing	-	-	0.56	0.06	0.43	0.06	0.43
	B51	488	1	488	Garage	-	-		0.01		0.01	
	P39	2,497	-	2,497	Paved Area	-	-		0.06		0.06	
69	P40	7,100	-	7,100	Parking Lot	-	-	0.18	0.16	0.02	0.16	0.02
70	B52	11,201	3	27,736	Residential Hall	Perry Hill Housing	44	1.06	0.26	0.36	0.26	0.36
	P41	19,100	-	19,100	Parking Lot		-		0.44		0.44	
71	-	-	-	-	Empty Lot	-	-	0.19	0.00	0.19	0.00	0.19
72	B53	1,833	2	2,969	Residential Housing	-	-	0.18	0.04	0.12	0.00	0.18
	P42	772	-	772	Paved Area	-	-		0.02		0.00	
73	B54	1,960	2	3,017	Residential Housing	-	-	0.21	0.05	0.15	0.00	0.21
	B55	648	1	648	Garage	-	-		0.01		0.00	
74	B56	1,266	2	1,948	Residential Housing	-	-	0.14	0.03	0.10	0.00	0.14
	P43	268	-	268	Paved Area	-	-		0.01		0.00	
75	-	-	-	-	Empty Lot	-	-	0.21	0.00	0.21	0.00	0.21
76	B57	1,198	2	1,520	Residential Housing	-	-	0.14	0.03	0.11	0.00	0.14
77	B58	1,152	2	2,002	Residential Housing	-	-	0.09	0.03	0.05	0.00	0.09
	P44	1,331	-	1,331	Paved Area	-	-		0.03		0.00	
78	B59	1,184	2	2,108	Residential Housing	-	-	0.09	0.03	0.04	0.00	0.09
79	B60	1,218	2	1,838	Residential Housing	-	-	0.10	0.03	0.07	0.00	0.10
80	-	-	-	-	Empty Lot	-	-	0.35	0.00	0.35	0.00	0.35
81	P45	20,000	-	20,000	Parking Lot	-	-	0.47	0.46	0.01	0.00	0.47
82	B61	7,768		12,960	Commercial Building	-	-	0.51	0.18	0.16	0.00	0.51
	P46	3,871	-	3,871	Courtyard Area	-	-		0.09			
	P47	3,614	-	3,614	Parking Lot	-	-		0.08			
83	P43	7,300	-	7,300	Parking Lot	-	-	0.17	0.17	0.00	0.00	0.17
84		6,100	-	6,100				0.14	0.14	0.00	0.05	0.09
85	B62	2,760	2	4,874	Commercial Building	-	-	0.16	0.06	0.02	0.14	0.02
	P49	3,590	-	3,590	Parking Lot	-	-		0.08			
86	P50	5,600	-	5,600	Parking Lot	-	-	0.16	0.13	0.03	0.15	0.01
87		12,600	-	12,600	Parking Lot			0.31	0.29	0.02	0.30	0.01
88		5,580	-	5,580	Parking Lot			0.21	0.13	0.08	0.19	0.02
89	-	-	-	-	Empty Lot	-	-	0.51	0.00	0.51	0.00	0.51
90	B63	1,642	3	4,916	Commercial Building	-	-	0.34	0.04	0.28	0.03	0.31
	B64	600	1	600	Garage	-	-		0.01			
	B65	400	1	400	Garage	-	-		0.01			
91	P51	16,000	-	16,000	Parking Lot	-	-	0.44	0.37	0.07	0.42	0.02
92		3,800	-	3,800				0.10	0.09	0.01	0.10	0.00
93		3,900	-	3,900				0.10	0.09	0.01	0.10	0.00
94		1,600	-	1,600				0.06	0.04	0.02	0.05	0.01
95		4,000	-	4,000				0.14	0.09	0.05	0.13	0.01
96	P52	22,500	-	22,500	Parking Lot	-	-	0.68	0.52	0.16	0.63	0.05
97	B66	2,798	3	8,010	Commercial Building	-	-	0.20	0.06	0.03	0.20	0.00
	P53	4,790	-	4,790	Parking Lot	-	-		0.11			
98		4,330		4,330				0.18	0.10	0.01	0.16	0.02
	B67	3,258	3	8,598	Commercial Building	-	-		0.07			
99	B68	1,052	1.5	1,428	Residential Housing	-	-	0.06	0.02	0.04	0.05	0.01
100	B69	1,731	2	2,324	Residential Housing	-	-	0.06	0.04	0.02	0.05	0.01
101	B70	969	2	2,027	Residential Housing	-	-	0.05	0.02	0.03	0.04	0.01
102	B71	885	2	1,344	Residential Housing	-	-	0.05	0.02	0.03	0.03	0.02
103	P54	4,205	-	4,205	Parking Lot	-	-	0.56	0.10	0.25	0.10	0.25
104	B72	13,079	4	47,452	Residential Hall	-	-		0.21		0.21	
								0.16	0.09	0.07	0.09	0.07
105	B73	11,201	3	27,736	Resident Hall	-	44	0.97	0.26	0.37	0.26	0.37
	P55	5,208	-	5,208	Paved Area	-	-		0.12		0.12	
	P56	9,592	-	9,592	Paved Area	-	-		0.22		0.22	
106	-	-	-	-	Empty Lot	-	-	0.14	0.00	0.14	0.00	0.14
Total Area								38.65	24.05	14.59	22.84	15.80

Gross Area Coverage	Building	Paved	Pervious	Total
	(ac)	(ac)	(ac)	(ac)
Initial	8.81	15.24	14.59	38.64
Proposed	8.50	14.34	15.80	38.64

Approximate additional impervious area from abandoned streets = .85 acers

Total Impervious = 16.65 acers

AREA USE SUMMARY		
Coverage Type - Initial		
Buildings	Pavement	Pervious
(ac)	(ac)	(ac)
8.81	15.37	14.59
Coverage Type - Proposed		
Buildings	Pavement	Pervious
(ac)	(ac)	(ac)
8.50	14.47	15.80

No.	DESCRIPTION	DATE

REVISIONS

Missman, inc.
Professional Engineers & Land Surveyors
Rock Island, IL • Bettendorf, IA • Rockford, IL • DeKalb, IL
(309) 787-1544 (563) 441-4500 (815) 968-4400 (815) 748-5303
www.missman.com

PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

DATA SHEET

Missman Project No: C16L060
File Name: C16L060-COVER.AND
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Field Book No:
Drawn By: AEK
Checked By: JLH
Date: 4/12/17

C-13

Campus Facilities Master Plan:

In the summer of 2014 Palmer College hired RDG Planning & Design to prepare a campus master plan for its Davenport Campus. This plan was to identify the University's facility needs over the coming years and lay out a plan to meet these needs. This plan identified the following needs:

Tier One Improvements:

- North Campus Site Improvements
  - New 40 space parking lot
  - Multi-level plaza & retaining wall
  - Primary Campus Gateway
  - Renovated & enhanced Clinic Gardens
  - Alumni Auditorium site Improvements
- West Hall Courtyard
  - Environmental Graphics
  - Landscaping
  - Lighting
  - Site Furnishing
  - Historical Influences
- Multi-Purpose Recreational Fields
  - Terraced Stadium Seating areas
  - Renovated Service Building
  - Full Sized Rugby Field
  - Field Lights
  - Storage Facility

Tier Two Improvements:

- Brady Street Streetscape
  - Potential reduction by 1 lane through the campus corridor
  - Stormwater Planters
  - Landscaped Parkway
  - Enhanced Sidewalk Pavement
  - Specialty Pedestrian Lighting
- Vickie Anne Palmer Hall Site Improvements
  - Close 7th Street to through traffic
  - New plaza
  - Reconfigure parking and drop off
  - Enhanced Site and parking lot lighting
  - Aesthetic and functional enhancements to alleyway entrance

PID Boundary:

A boundary survey was not completed for this site as the College's main campus is well defined. The boundary description of the area the College is looking to re-zone is as follows:

Beginning at the intersection east right of way line of Main Street and Palmer Drive (NW Corner of the PID boundary); thence east along the south right of way line of Palmer Drive to the east right of way line of Brady Street; thence North along said east right of way line to the south property line of 1139 Brady Street; thence East along said south property line to the east line of a public alley; thence North along said east line to the south right of way line of 12th Street; thence East along said south right of way line to the west right of way line of Pershing Avenue; thence South along said west right of way line to the south property line of 826 Pershing Avenue; thence West along said south property line to the east line of an alley on the West side of 826 Pershing; thence South along said east line to the south property line of 809 Perry Street; thence West along said south property line to the west right of way line of Perry Street; thence South along said west right of way line to the north right of way of 7th Street; thence West along said north right of way line to the west right of way line of Brady Street; thence South along said west right of way line to the north line of an alley; thence West along said north line to the east right of way line of Main Street; thence North along said east right of way line to the North property line of 614 Main Street (Devries Halligan McCabe Funeral Home); thence West along said north property line to the west line of an alley; thence South along said west line to the north right of way line of 6th Street; thence West along said north right of way line to the east right of way line of Harrison Street; thence North along said east right of way line to the south right of way line of 8th Street; thence East along said south right of way line to the east right of way line of Main Street; thence North along said east right of way line to the Point of Beginning.

Properties excluded from the above described PID boundary are as follows: 1117 and 1111 Perry Street, and 208 11th Street.

Two additional properties included in the PID boundary are: 520 and 521 Perry Street.

Number of Gross Acers in the Project:

The total number of gross acers inside the described boundary is approximately 53 acers.

Existing and Proposed Lot Coverage:

The current coverage from existing buildings is 8.81 acers, and 15.37 acers from existing paved surfaces, with approximately another 14.23 acers of paved roadways and alleys. This leaves 14.59 acers that are non-structural (green space). The proposed development plan would have 8.50 acers of building coverage and 14.34 acers of paved surfaces. With the addition of vacated roadways as greenspace the proposed plan would have approximately 16.65 acers that are non-structural. The remaining paved roadways would account for the other 13.51 acers in the PID.

P28	Parking Lot	Lot F	54	192
P29	Parking Lot	Palmer College of Chiropractic Campus	37	37
P30	Parking Lot	Lot B	87	87
P31	Parking Lot	Lot C	33	33
P32	Parking Lot	-	17	17
P33	Parking Lot	Lot N	33	33
P34	Parking Lot	Lot O	32	32
P35	Paved Area	-	10	10
P36	Paved Area	-		0
P37	Parking Lot	-	14	14
P37	Parking Lot	-	33	33
P38	Parking Lot	-	33	33
P39	Paved Area	-	2	2
P40	Parking Lot	-	22	22
P41	Parking Lot	-	62	62
P42	Paved Area	-	3	
P43	Paved Area	-	1	0
P44	Paved Area	-	3	
P45	Parking Lot	-	47	
P46	Courtyard Area	-		0
P47	Parking Lot	-	14	
P43	Parking Lot	-	30	
P49	Parking Lot	-	10	
P50	Parking Lot	Lot K	61	
P51	Parking Lot	Lot L	83	454
P52	Parking Lot	Lot R	65	
P53	Parking Lot	-	15	
P54	Parking Lot	-	10	10
P55	Paved Area	-	15	15
P56	Paved Area	-	27	27
	Total =		1286	1439

This count would indicate that the university will have an additional 134 spaces compared to the existing on-site parking, however this did not include the on street parking spaces that may currently be used by students.

Existing Land use and Zoning:

- Academic Health Plaza Renovations
  - New donor recognition area
  - Glass Palmer College wall
  - Specialty lighting
  - Enhanced landscape
  - New specialty paving

Tier Three Improvements

- Campus Center Courtyard Renovations and Expansion
  - Complete overhaul of the space
  - Expand to the east to enhance pedestrian movement to campus
  - Enhance connection to campus center
- Library Rooftop Plaza Enhancement
  - Site furnishings
  - Enhanced lighting
  - Specialty paving
  - Garden boxes
- Main Street Streetscape
  - Share costs with city
  - Complete street with emphasis on bike lanes
  - Shaded trees
  - Improved walks

Existing and Proposed Parking Spaces:

The existing number of parking spaces was determined from viewing aerial pictures of the PID. The Palmer Staff complete a parking utilization study of student parking lots between August 14th and August 27th,2014, to determine where the greatest need for additional parking on campus was located. This study showed that the 3 lots on the east end of campus between Perry Street and Perishing Avenue were among the most consistently used by students. Another area that was among the most used was Lot H, located just north of the North Hall. The proposed lots included in the PID are strategically located based on the results of this study. Many of the existing spaces are for local residential properties or businesses located within the PID. Because Palmer is not planning on significant growth over the next 10 years these lots act mostly as a consolidation of parking. A table showing the net parking changes can be seen below:

Structure	Description	Name	Existing Parking Spaces	Proposed Parking Spaces
P1	Parking Lot	Lot M	129	0
P2	Paved Surface	-	26	
P3	Paved Surface	-	12	
P4	Paved Surface	-		156
P5	Paved Surface	-		
P6	Parking Lot	-		
P7	Parking Lot	-		
P10	Parking Lot	Lot D	65	40
P11	Parking Lot	-	4	4
P12	Parking Lot	-	10	
P13	Paved Alley	-		
P14	Paved Area	-	10	
P15	Paved Area	-	6	0
P16	Paved Area	-	2	
P17	Paved Area	-	5	
P18	Parking Lot	-	30	
P19	Parking Lot	-	9	0
P20	Parking Lot	-	24	24
P21	Parking Lot	-	29	29
P22	Parking Lot	-	21	21
P23	Parking Lot / Alley	-	5	
P24	Paved Area	-	7	0
P25	Parking Lot	-	9	
P26	Parking Lot	Lot H	25	25
P27	Parking Lot	Lot E	8	8

ifications, C-2, R-4, and
the zoning and

t is currently Zoned R –
ng this area are similarly

nix of general
P.I.D. in this area
sign LLC, Department of

ving as moving from
M-1, light industrial.
igns. The industrial
l United Neighbors Inc.
ntral High School and

venience store which is
ned as either R-6 or R-4

he campus property line
mercial businesses, and

pes in excess of 10% are
treet corridor and the
Perry Street and

e area. The release of
) nets an overall
storm water runoff for

ment of the campus as
s storm-water detention

REVISIONS

No.	DESCRIPTION	DATE

missman, inc.
Professional Engineers & Land Surveyors
Rock Island, IL • Bettendorf, IA • Rockford, IL • DeKalb, IL
(309) 788-7844 (563) 344-0260 (815) 965-9400 (815) 748-5543

PALMER PLANNED INSTITUTIONAL DISTRICT
DAVENPORT, IA

DATA SHEET 2

Missman Project #
C16L060

File Name:
C16L060-COVER AND DATA SHEETS

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Field Book No:

Drawn By: AEK

Checked By: JLH

Date: 6/26/17

C-14

STUDIO 483 ARCHITECTS

PALMER COLLEGE OF CHIROPRACTIC
July 24, 2017 #2016-120D
PLANNED INSTITUTIONAL DISTRICT APPLICATION

NARRATIVE

Narrative of intent and compatibility with surrounding area. A narrative shall be provided that describes the relationship between the institution and the surrounding area. The narrative at a minimum shall include the following:

a. Description of overall architectural and/or urban design theme:

- **Palmer College of Chiropractic has evolved to meet the needs of its students and faculty as it has grown over the past 100 years; however, the architectural theme has remained constant. Buildings and houses of brick and stone dominate the campus, with more metal and glass introduced into recent projects. All have an urban "academic" design style with 2 to 4 floors of space. The campus plan and interaction with the neighborhood has also evolved aligning the core of academic spaces with Brady Street and residential buildings/parking at the perimeter. The proposed Master Plan strengthens the campus edge through expanded greenspace and landscaping at perimeter streets, buildings, and parking lots.**

b. Total number of existing and proposed users and employees of the facility:

- **Palmer's current enrollment on at their Davenport Campus is approximately 1,000 students supported by 300 faculty and staff. 150 students live on campus. The proposed 10-year plan allows for an accommodation of up to 1,500 students with 400 living on campus.**

c. Description of existing and proposed conditions of development along the outer boundaries of the planned institutional district and its relationship with the surrounding area. Standards must be established to permit a compatible transition from the institutional use to the surrounding area. Standards include, but are not limited to building height and form, exterior lighting, landscaping, etc.

- **The Master Plan goals are to "create sensitive and mutually beneficial transitions between campus and the adjacent properties." The proposed Campus Master Plan created by RDG Planning & Design is to create connection and comfort establishing a campus presence with the surrounding area. New buildings are minimal (residential only) and adding enhanced lighting, fencing, and landscaping will enhance this design concept.**

d. Description of existing and proposed methods of communication between the institution and the community, including a method of resolution of community concerns:

- **Palmer College has been actively involved with Hilltop Campus Village since its inception, as well as in communication with Davenport Community Schools and adjacent businesses regarding any campus activities and improvements that impact the surrounding neighborhood. Although there are no known active residential groups, Palmer proposes to open a line of communication with the neighbors similar to their relationships with surrounding businesses.**

e. Description of any existing and proposed impacts of development and the surrounding area and how these impacts should be mitigated. This description shall include property outside the boundaries of the planned institutional district and their interaction with the surrounding area. Impacts include, but are not limited to lighting, noise, parking, etc.

- **The developments proposed in Palmer's Master Plan are primarily defining and softening their campus edge through expanding green space and landscaping. Proposed buildings will be designed to respect and complement the existing architectural theme on campus.**

f. Description of existing and proposed relationship of institutional transportation system (auto, bus, bicycle, pedestrian) to the external street network. A description of specific programs to reduce traffic impacts and to encourage the use of public transit, carpooling, bicycling and pedestrian.

- **The urban nature of this campus is reinforced by student living. 15% of Palmer's students live on campus and another 30% to 40% live in rented neighborhood and downtown houses and apartments. The Master Plan proposes and additional 80-100 beds in new student housing. These students all walk to campus. Other students and faculty are encouraged to use public transportation and/or car-pooling for other daily trips to campus. The greening of Brady Street proposed in the Master Plan provides more opportunity for bus access in proximity to campus buildings.**

The undersigned – **opposes / does not oppose** (circle one) REZ17-08

Comments: I am in favor of Palmer College of Chiropractic's request. I have experience with other institutions in other Midwest communities that such planned districts have/continue to serve the campus and city very well. Thank you.

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME Kelly Young
ADDRESS 809 Perry Street
DATE 7-26-17
(please print legibly)

809 Perry Street
ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS

The undersigned – **opposes / does not oppose** (circle one) REZ17-08

Comments:

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME Theodore Priester / President of: 601 Brady Corp.
ADDRESS 601 Brady St., Suite 220
DATE 7/22/17 Davenport
(please print legibly)

ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS

(detach here)

The undersigned – **opposes** / **does not oppose** (circle one) REZ17-08

Comments: Would be nice to purchase Lincoln School for Palmer, or possibly have the city give it to Palmer, to help improve neighborhood.

CITY OF DAVENPORT
Community Planning & Economic Dev.
226 W 4th St
DAVENPORT IA 52801

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME Joyce + Randy Yaddof
ADDRESS 4034 W. 60th St. Dav.
DATE 7-24-2017
(please print legibly)

304-306-304 E. 8th St. Davenport, Ia.
ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS

(detach here)

The undersigned – **opposes** / **does not oppose** (circle one) REZ17-08

Comments:

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME THOMAS ERICKSON
ADDRESS 1703 BRADY STREET
DATE 7-22-17
(please print legibly)

1115 BRADY ST.
ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS

The undersigned – **opposes** / **does not oppose** (circle one) REZT7-08

Comments: We fully support

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME Richard Adam Sacred Heart Cath.
ADDRESS 422 E 10th St
DATE July 26, 2017
(please print legibly)

ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS

W 10 1/2 ST

The undersigned – **opposes** / **does not oppose** (circle one) REZ17-08

Comments: I want a complete list of houses to be torn down, many of these houses have historic significance for the City of Davenport. Looking at the map, a house at the corner of 7th Street and Perry will be torn down, that house is on the National Registry. Palmer should be restoring these houses so that students can live there

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME Garrett Development
ADDRESS 3806 Forest Road, Davenport, IA
DATE 7/22/2017
(please print legibly)

ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS

PUBLIC HEARING NOTICE
DAVENPORT PLAN & ZONING COMMISSION
TUESDAY – AUGUST 1, 2017 5:00 P.M.
COUNCIL CHAMBERS - DAVENPORT CITY HALL
226 WEST 4TH STREET – DAVENPORT, IOWA

Case No. REZ17-08: Request of Palmer College of Chiropractic to rezone 38.65 acres, more or less, of property generally located east of Harrison Street, north of East 5th Street, west of Pershing Avenue and South of East 12th Street from "R-4" Moderate Density Dwelling District, "R-6M" High Density Dwelling District, "C-O" Office-Shop District, "C-1" Neighborhood Commercial District, "C-2" General Commercial District, "C-4" Central Business District and "M-1" Light Industrial District to "PID" Planned Institutional District to "PID" Planned Institutional District. (See attached map)

The City Plan and Zoning Commission will conduct a public hearing concerning this matter at **5:00 p.m., Tuesday August 1, 2017** in the **Council Chambers of Davenport City Hall at 226 West 4th Street**, Davenport, Iowa.

This public hearing is the first step in the review/approval process. The City Plan and Zoning Commission will consider (vote on a recommendation) the petition at its regular meeting on Tuesday August 15, 2017. The Commission's report and recommendation will then be forwarded to the City Council. The City Council will then hold its own public hearing, as required by state law. You should also receive a notice of the City Council's public hearing. For the ordinance to be approved, it must be read/considered at three (3) separate City Council meetings. For the specific dates and times of subsequent meetings, please call the phone number below.

It is your privilege to submit written comments on this petition or to attend the public hearing to express your views, or both. All protests within the 200-foot notice area or the area being considered must be made in writing (letter or email) to be valid. Any written comments to be reported at the Commission's public hearing should be received in the office of Community Planning, City Hall, not later that 12:00 noon, on the day of the public hearing, though protests may be received up through the City Council's public hearing.

Contact the City Case Manager
Ryan Rusnak
Phone: (563) 888-2022 Email: rrusnak@ci.davenport.ia.us

_____
(detach here)

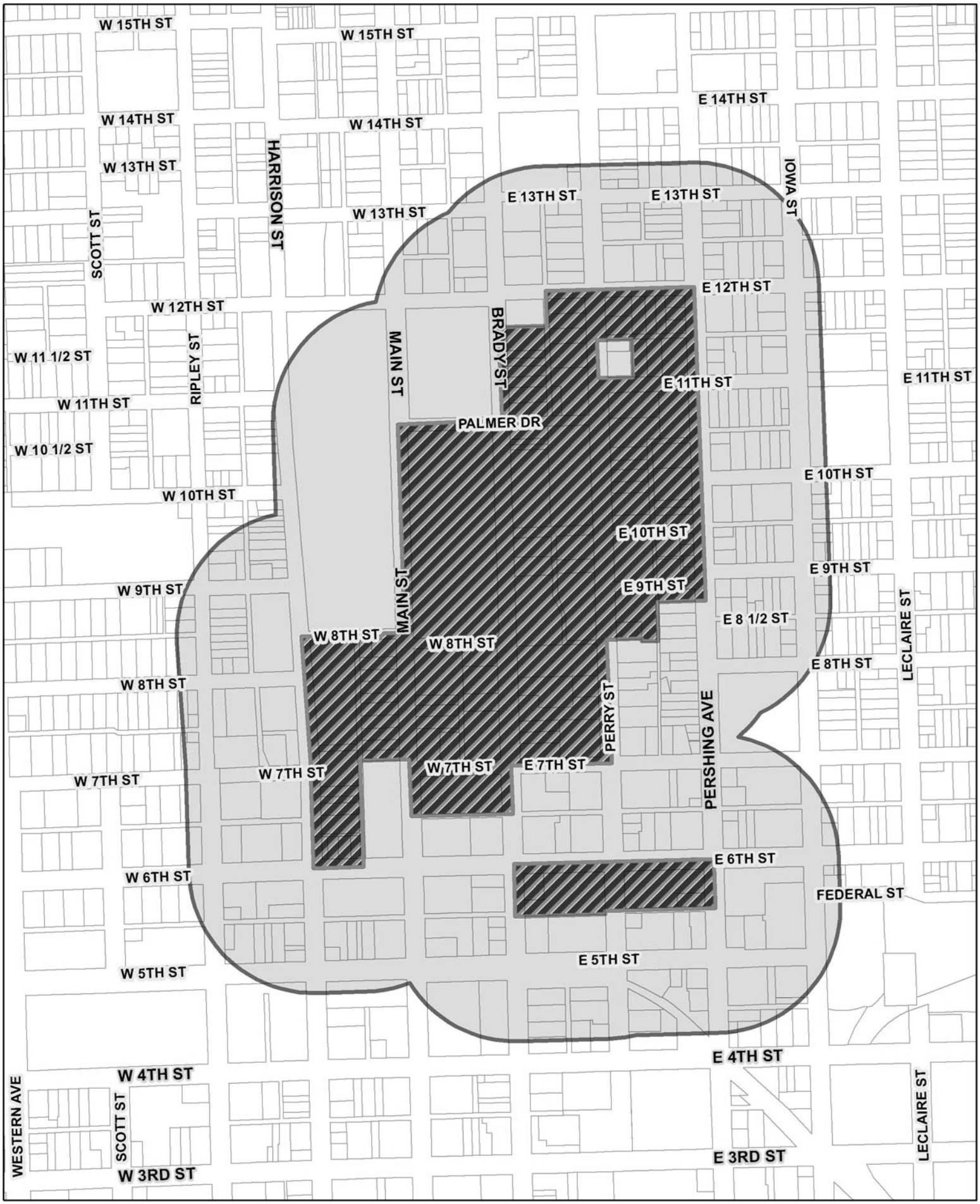
The undersigned – **opposes** / **does not oppose** (circle one) REZ17-08

Comments: _____
_____
_____
_____
_____

Mail to: Plan and Zoning Commission
City Hall, 226 W 4TH Street
Davenport, Iowa 52801

NAME_____
ADDRESS_____
DATE_____
(please print legibly)

_____
ADDRESS OF PROPERTY IN NOTICE AREA IF OTHER THAN MAILING ADDRESS



Property being requested to be rezoned to PID

500 Foot Notification Radius

N

FID	Parcel	Address	Deed1_Name	Deed1_Addr	Deed1_CSZ
1	F0017-02	1222 PERSHING AV	GG HOLDINGS LLC SERIES F	PO BOX 69	DAVENPORT IA 52805
			PHILLIP MARTINEZ		
2	F0017-06	1221 PERSHING AV	ALYESHA MARTINEZ	1221 PERSHING AVE	DAVENPORT IA 52803
3	F0017-15	323 E 13TH ST	REBECCA BREVARD	323 E 13TH ST	DAVENPORT IA 52803
4	F0017-16	327 E 13TH ST	TVC IMPROVEMENTS	1422 FARNAM ST	DAVENPORT IA 52803
5	F0031-14	419 E 11TH ST	SACRED HEART CATHEDRAL	422 E 10TH ST	DAVENPORT IA 52803
6	F0031-16	422 E 10TH ST	SACRED HEART CATHEDRAL	422 E 10TH ST	DAVENPORT IA 52803
			BOTCHO TCHADJERI		
7	F0032-01A	312 E 12TH ST	FADILATOU BOUKARI	312 E 12TH ST	DAVENPORT IA 52803-4430
8	F0032-02A	316 E 12TH ST	LAVON MORROW	316 E 12TH ST	DAVENPORT IA 52803-4430
9	F0032-12	228 E 11TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
10	F0032-15	1101 PERSHING AV	MARK BENISCHEK	1431 W 38TH ST	DAVENPORT IA 52806
11	F0032-22	325 E 12TH ST	DAWN PATTY	325 E 12TH ST	DAVENPORT IA 52803
12	F0032-23	317 E 12TH ST	JAMES HARRINGTON AND WIFE	317 E 12TH ST	DAVENPORT IA 52803
13	F0032-33	224 E 12TH ST	REGIONAL REO ASSETS LLC	PO BOX 75069	TAMPA FL 33675
14	F0032-42	326 E 12TH ST	ROSANNE RESECH	326 E 12TH ST	DAVENPORT IA 52803
15	F0033-13	1028 PERSHING AV	LONG PHUONG COOPERATIVE	PO BOX 4345	DAVENPORT IA 52808
16	F0033-15	1009 PERSHING AV	EDWARD JOHNSON JR	1009 PERSHING AVE	DAVENPORT IA 52803
17	F0034-26	929 IOWA ST	SACRED HEART CATHEDRAL	422 E 10TH ST	DAVENPORT IA 52803
18	F0048-10	814 1/2 PERSHING AV	NGUYEN INC	6201 N MARQUETTE ST	DAVENPORT IA 52806
			CHARLES CAHILL		
19	F0048-21	806 IOWA ST	PATRICIA CAHILL	302 MCCLELLAN BD	DAVENPORT IA 52803
20	G0025-16		PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
21	G0026-16	130 W 12TH ST	SIGMA PHI CHI SORORITY	301 SE 3RD ST	ALEDO IL 61231
			RONALD PERRY		
22	G0038-36C	902 HARRISON ST	BRENDA PERRY	1275 ASH DR	LAYTON UT 84040
23	G0038-40		DAVENPORT COMMUNITY SCHOOL DISTRICT	1606 BRADY ST	DAVENPORT IA 52803
24	G0040-06		PALMER COLLEGE	1000 BRADY ST	DAVENPORT IA 52803
25	G0040-24C		PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
26	G0040-43A	911 PERRY ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
27	G0041-12	725 PERRY ST	908 BRIDGE COOPERATIVE	1212 E 10TH ST APT 3	DAVENPORT IA 52803
28	G0041-27C	728 PERRY ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
29	G0043-44A		DAVID DANG	1740 1/2 W 4TH ST	DAVENPORT IA 52802
30	G0043-45A	724 HARRISON ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
31	G0054-17A	307 W 6TH ST	THE SALVATION ARMY	301 W 6TH ST	DAVENPORT IA 52803
32	G0054-40		CITY OF DAVENPORT	ATTN: FINANCE DIRECTOR	DAVENPORT IA 52801
33	G0054-43		CITY OF DAVENPORT	ATTN: FINANCE DIRECTOR	DAVENPORT IA 52801
34	G0055-14A		CITY OF DAVENPORT	FINANCE DIRECTOR	DAVENPORT IA 52801
35	G0055-15	108 110 & 112 W 5TH ST	LOTHROP DEVELOPMENT LLC	108 W 5TH ST APT 10	DAVENPORT IA 52801
36	G0055-17	508 BRADY ST	MIDWEST CHEMICAL INC	510 BRADY ST	DAVENPORT IA 52801
37	G0055-18	514 BRADY ST	A & V HOLDINGS LLC	3717 KATHLEEN WAY	DAVENPORT IA 52807
38	G0055-43A	614 MAIN ST	HALLIGAN MC CABE FUNERAL HOME	614 MAIN ST	DAVENPORT IA 52803
39	G0056-17A	601 BRADY ST	SIX O ONE BRADY CORP.	601 BRADY ST STE 220	DAVENPORT IA 52803
40	F0032-13A	1105 PERSHING AV	CALVIN BOLKEMA	5805 WISCONSIN AV	DAVENPORT IA 52806
			DANA LARSON		
41	F0032-16A	310 E 11TH ST	LYNDA LARSON	310 E 11TH ST	DAVENPORT IA 52803
			DANA LARSON		
42	F0032-16A	310 E 11TH ST	LYNDA LARSON	310 E 11TH ST	DAVENPORT IA 52803
43	F0032-17A	314 E 11TH ST	PV LLC	2714 8TH ST CT	MOLINE IL 61265
44	F0032-18	320 E 11TH ST	INTERFAITH HOUSING LTD	519 TREMONT AVE	DAVENPORT IA 52803
45	F0032-20	1114 IOWA ST	VANESSA MCGINNIS	1102 IOWA ST	DAVENPORT IA 52803
46	F0032-29	221 E 12TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
47	F0032-30	219 E 12TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
48	F0033-01	218 E 9TH ST	MAD PROPERTIES COOPERATIVE	615 BLOSSOM HILL RD #21	LOS GATOS CA 95032
49	F0033-17	318 E 10TH ST	GARRETT DEVELOPMENT LLC	3806 FOREST RD	DAVENPORT IA 52807
50	F0033-18	320 E 10TH ST	DEBRA POSEY	320 E 10TH ST	DAVENPORT IA 52803
51	F0033-19	322 E 10TH ST	BARBARA S WEBSTER	322 E 10TH ST	DAVENPORT IA 52803
52	F0033-20	324 E 10TH ST	LAURA ELENA HERNANDEZ ZAVALA	1505 PERSHING AV	DAVENPORT IA 52803
53	F0034-31	402 E 9TH ST	DIANN NICHOLSON	402 E 9TH ST	DAVENPORT IA 52803
			DENNIS JUCHTER		
54	F0048-01D	732 1/2 PERSHING AV	CATHERINE JUCHTER	508 8TH AV	DURANT IA 52747
			DENNIS JUCHTER		
55	F0048-08		CATHERINE JUCHTER	508 8TH AV	DURANT IA 52747
56	F0048-13	826 PERSHING AV	CRAIG RINGGENBERG	1607 W 12TH ST APT 2605	DAVENPORT IA 52804
			ADRIENNE DETIEGE		
57	F0048-27	306 E 8 1/2 ST	RICHARD LEGIER	12 AUGUSTA DR UNIT 2	VERNON NJ 07462-2587
			MICHAEL DIBLEY		
58	F0048-28	825 PERSHING AV	SUSAN DIBLEY	1709 E BRISTOL	ELKHART IN 46514
59	F0049-11	708 PERSHING AV	TIMOTHY LANE	6362 200TH ST	WALCOTT IA 52773
60	G0024-22B	1304 BRADY ST	HOCHGESANG REAL ESTATE LLC	1304 BRADY ST	DAVENPORT IA 52803
61	G0025-01	209 E 13TH ST	GULLICKSON ENTERPRISES LLC	PO BOX 69	DAVENPORT IA 52805
62	G0025-02	1229 PERRY ST	D I PROPERTIES LLC	348 RIVER DR	BETTENDORF IA 52722
63	G0025-14	1132 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
			KENNETH WEDIG		
64	G0025-22		JOANN WEDIG	1233 GARFIELD CT	DAVENPORT IA 52804
65	G0025-30	1121 BRADY ST	THOMAS NARES	2015 MYRTLE ST	DAVENPORT IA 52804
66	G0026-01	119 W 13TH ST	GRACYCELAND REI SERIES LLC SERIES AA	1411 5TH STREET	COAL VALLEY IL 61240
67	G0026-18	1208 MAIN ST	DELT 100 ALUMNI COUNSEL LLC	2736 W LOMBARD ST	DAVENPORT IA 52804
68	G0038-33	909 RIPLEY ST	ZENAS GROUP LLC	5151 AUBURN CT	BETTENDORF IA 52722
			KIRK COLEMAN		
69	G0038-35	318 W 9TH ST	LIZZIE COLEMAN	318 W 9TH ST	DAVENPORT IA 52803
70	G0040-30		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
71	G0040-36	1039 PERRY ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
72	G0040-37	1027 PERRY ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
73	G0041-08B	809 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
74	G0041-11	727 PERRY ST	MICHAEL MURRELL	727 PERRY ST	DAVENPORT IA 52803
75	G0041-22B		GRAY TELEVISION GROUP INC	4370 PEACHTREET RD NE	ATLANTA GA 30319
76	G0042-25	W 8TH ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
77	G0055-04	619 HARRISON ST	CARRIAGE WORKS LLC	312 W 3RD ST STE 2	DAVENPORT IA 52801
78	G0055-09		NORTHWESTERN BELL TELEPHONE CO	1801 CALIFORNIA ST #2500	DENVER CO 80202-2658
79	G0058-13A		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
80	G0059-08A	416 HARRISON ST	CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801

			JUAN ENCISO		
81	F0017-01	1218 PERSHING AV	LUCIA CALZADA	1218 PERSHING AV	DAVENPORT IA 52803
82	F0017-04	1226 PERSHING AV	TLM HOLDINGS LLC	313 W 3RD ST	DAVENPORT IA 52801
83	F0017-04	1226 PERSHING AV	KATHLEEN LONGSHORE (contract purchaser)	313 W 3RD ST	DAVENPORT IA 52801
84	F0017-05	1230 PERSHING AV	TAMARA R H JOHNSON	1230 PERSHING AVE	DAVENPORT IA 52803
85	F0017-09		TAMARA R H JOHNSON	1230 PERSHING AVE	DAVENPORT IA 52803
86	F0031-29	1125 IOWA ST	BRENDA GREENE	2920 HARRISON ST	DAVENPORT IA 52803
87	F0032-11	220 E 11TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
88	F0032-35	1211 PERSHING AV	FIRST FINANCIAL GROUP LC	1987 SPRUCE HILLS DR	BETTENDORF IA 52722
89	F0048-34	307 E 9TH ST	ANDREW WOLD INVESTMENTS LLC	3320 W HARBOR DR	BETTENDORF IA 52722
90	F0048-35	829 PERSHING AV	MICHAEL WALTER	376 210TH ST	TIPTON IA 52772
91	F0049-10A		TIMOTHY LANE	6362 200TH ST	WALCOTT IA 52773
92	G0024-01	1302 PERRY ST	ST JOHN'S UNITED METHODIST CHURCH	109 E 14TH ST	DAVENPORT IA 52803
93	G0025-05	206 E 12TH ST	LAWRENCE SMITH	PO BOX 431	DAVENPORT IA 52805
			KEVIN O'CONNELL		
94	G0025-18	1206 PERRY ST	ETIE O'CONNELL	3294 TERRACE DR	ROCK ISLAND IL 61201
95	G0025-19	1212 PERRY ST	CHRISTOPHER WYLIE	1212 PERRY ST	DAVENPORT IA 52803
			TOWNSQUARE MEDIA QUAD CITIES LLC		
96	G0025-25A		C/O TOWNSQUARE RADIO LLC	240 GREENWHICH AVE	GREENWICH CT 06830
97	G0025-27	1139 BRADY ST	ARTHUR J JOHNSON FAMILY LP	1305 12TH AV	ROCK FALLS IL 61071
98	G0026-17	124 W 12TH ST	BOTH MANAGEMENT INC	500 EAST HOARTIO AV STE 5	MAITLAND FL 32751
99	G0038-43		DAVENPORT COMMUNITY SCHOOL DISTRICT	1606 BRADY ST	DAVENPORT IA 52803
100	G0040-04		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
101	G0040-17	1001 BRADY ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
102	G0040-25		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
103	G0041-25C	741 BRADY ST	PALMER COLLEGE OF CHIROPRACTIC	1000 BRADY ST	DAVENPORT IA 52803
104	G0042-03A	732 BRADY ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
105	G0042-11	719 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
106	G0043-05		SCOTT COUNTY	600 W 4TH ST	DAVENPORT IA 52801
			WILBORN RENZIEL		
107	G0043-22	828 RIPLEY ST	SHIRL KAY BELL	828 RIPLEY ST	DAVENPORT IA 52803
108	G0043-30		UNITED NEIGHBORS INC	PO BOX 3703	DAVENPORT IA 52802
109	G0054-21	526 RIPLEY ST	H-I-S PROPERTIES LLC	19208 E 40TH ST	COAL VALLEY IL 61240
110	G0054-39	W 5TH ST	KELCHA INC	2938 E 41ST ST CT	DAVENPORT IA 52807
111	G0054-41		CITY OF DAVENPORT	ATTN: FINANCE DIRECTOR	DAVENPORT IA 52801
112	G0054-42		CITY OF DAVENPORT	ATTN: FINANCE DIRECTOR	DAVENPORT IA 52801
113	G0055-07		AT&T COMMUNICATIONS	PO BOX 7207	BEDMINSTER NJ 07921-7207
114	G0055-10	220 W 5TH ST	CONNIE J RASHID TRUST	609 27TH ST	BETTENDORF IA 52722
115	G0055-11	218 W 5TH ST	REEMTSMA ENTERPRISES INC	218 W 5TH ST	DAVENPORT IA 52801
116	G0055-12	508 MAIN ST	NORTHWESTERN BELL TELEPHONE	1801 CALIFORNIA ST #2500	DENVER CO 80202-2658
117	G0055-13	508 MAIN ST	NORTHWESTERN BELL TELEPHONE	1801 CALIFORNIA ST #2500	DENVER CO 80202-2658
			BIG BROTHERS BIG SISTERS		
118	G0055-14B	130 W 5TH ST	OF THE QUAD CITIES	130 W 5TH ST	DAVENPORT IA 52801
119	G0055-19	520 BRADY ST	RR COMPANY OF AMERICA LLC	1100 CAMELLIA BLVD #201	FAYETTE LA 70508
120	G0055-24	115 W 7TH ST	PALMER CHIROPRATIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
121	G0055-44		AT&T COMMUNICATIONS	PO BOX 7207	BEDMINSTER NJ 07921-7207
122	F0017-12	232 E 13TH ST	ROBERT CLAYTON	232 E 13TH ST	DAVENPORT IA 52803
			WESTMARLAN LLC SERIES C		
123	F0017-19	318 E 13TH ST	LARRY L MAYES	P O BOX 99	DAVENPORT IA 52805
			ANTHONY NELSON		
124	F0017-20	314 E 13TH ST	DENISE NELSON	652 W 64TH ST	DAVENPORT IA 52806
125	F0017-21	310 E 13TH ST	OHP 1 LC	2920 HARRISON ST	DAVENPORT IA 52803
126	F0017-21	310 E 13TH ST	TONYA YATES (Contract Purchaser)	2920 HARRISON ST	DAVENPORT IA 52803
127	F0017-22	302 E 13TH ST	JOEL LIMBURG	821 E 10TH ST	DAVENPORT IA 52803-5613
128	F0031-31	402 E 12TH ST	JEREMIAH SMITH	1717 JUDSON ST	DAVENPORT IA 52803
129	F0032-21	1120 IOWA ST	MARCARIA VARGAS LOPEZ	1233 W 7TH ST	DAVENPORT IA 52802
130	F0033-09	1012 PERSHING AV	PALMER CHIROPRACTIC UNIVERSITY	1000 BRADY ST	DAVENPORT IA 52803
131	F0033-14	1025 PERSHING AVE	TYJOD LLC	16 WOOLEY RD	ROCK ISLAND IL 61201
			MICHAEL C MCDONALD		
132	F0034-29	913 IOWA ST	MARGARET MCDONALD	913 IOWA ST	DAVENPORT IA 52803
133	F0048-31A	320 E 8 1/2 ST	MARY JOYNER	323 E 9TH ST	DAVENPORT IA 52803
134	F0049-03	618 PERSHING AV	MIKE TYSON	618 PERSHING AV	DAVENPORT IA 52803
135	F0049-05B	628 PERSHING AV	HUMILITY OF MARY HOUSING INC	3805 MISSISSIPPI AVE	DAVENPORT IA 52807
136	F0049-07	221 E 7TH ST	AMERICAN INDUSTRIAL DOOR CO	629 PERRY ST	DAVENPORT IA 52803
137	F0049-10	704 PERSHING AV	TIMOTHY LANE	6362 200TH ST	WALCOTT IA 52773
138	G0024-22A	110 W 13TH ST	REDBAND PROPERTIES LLC	110 W 13TH ST	DAVENPORT IA 52803
			HENRY P VARGAS, TRUSTEE		
139	G0024-42		LUCY VARGAS, TRUSTEE	517 E CENTRAL PARK AV	DAVENPORT IA 52803
			THINATOS LLC		
140	G0025-06	215 E 12TH ST	TOM BAKERIS	205 E RUSHOLME ST	DAVENPORT IA 52803
141	G0025-07		PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
142	G0025-08	1117 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
143	G0025-11	216 E 11TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
144	G0025-31	1119 BRADY ST	ANNETTE NARES	927 W 48TH ST	DAVENPORT IA 52806
			MICHAEL INGLEBY		
145	G0025-32	1202 BRADY ST	JON SCOTT RYDER II	818 GRAND CT	DAVENPORT IA 52803
146	G0025-39	110 W 12TH ST	GORDON BATES	110 W 12TH ST	DAVENPORT IA 52803
147	G0039-01A	1000 BRADY ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
148	G0039-03	121 W 12TH ST	TRINITY PARISH DAVENPORT IA	121 W 12TH ST	DAVENPORT IA 52803
149	G0040-05		PALMER COLLEGE	1000 BRADY ST	DAVENPORT IA 52803
150	G0040-40	1015 PERRY ST	PALMER CHIROPRACTIC UNIVERSITY	1000 BRADY ST	DAVENPORT IA 52803
151	G0042-04A	742 BRADY ST	PALMER CHIROPRATIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
152	G0042-09		IPALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
153	G0042-15	704 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
154	G0042-16	MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
155	G0043-32		UNITED NEIGHBORS INC	PO BOX 3703	DAVENPORT IA 52802
156	G0043-33		UNITED NEIGHBORS	808 HARRISON ST	DAVENPORT IA 52803
157	G0054-15	518 HARRISON ST	CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
158	G0054-37	330 W 5TH ST	KELCHA INC	2938 E 41ST ST CT	DAVENPORT IA 52807
159	G0054-38	W 5TH ST	KELCHA INC	2938 E 41ST ST CT	DAVENPORT IA 52807
160	G0055-22A	703 HARRISON ST	RICHARD R GRAVERT LLC	703 HARRISON ST	DAVENPORT IA 52803
161	G0056-22	629 PERRY ST	DEVORE CONSTRUCTION CO	629 PERRY ST	DAVENPORT IA 52803
162	F0048-33A	315 E 9TH ST	SANDRA J CLINE	720 E LOCUST ST	DAVENPORT IA 52803

			HECTOR DURAN		
163	F0017-08A	1229 PERSHING AV	MARIA DURAN	1229 PERSHING AV	DAVENPORT IA 52803
164	F0033-07	218 E 10TH ST	PALMER CHIROPRACTIC UNVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
165	F0033-08	222 E 10TH ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
166	F0033-16	312 E 10TH ST	EDWARD JOHNSON JR	1009 PERSHING AV	DAVENPORT IA 52803
167	F0034-27	921 IOWA ST	SACRED HEART CATHEDRAL	422 E 10TH ST	DAVENPORT IA 52803
168	F0034-27	921 IOWA ST	SACRED HEART CATHEDRAL	422 E 10TH ST	DAVENPORT IA 52803
169	F0034-28	917 IOWA ST	ISLAND PROPERTIES LLC	PO BOX 3953	DAVENPORT IA 52808
			SHARONSTOKES		
170	F0047-13	821 IOWA ST	HERMAN GOODWIN	825 IOWA ST	DAVENPORT IA 52803
171	F0048-03A		DAVENPORT COMMUNITY SCHOOL DISTRICT	1606 N BRADY ST	DAVENPORT IA 52803
172	F0048-12	822 PERSHING AV	NEIGHBORHOOD HOUSING SERVICES	710 CHARLOTTE ST	DAVENPORT IA 52803
173	F0048-12	822 PERSHING AV	LEROY CARR (Contract Purchaser)	822 PERSHING AVE	DAVENPORT IA 52803
174	F0048-14	318 E 7TH ST	DAVENPORT COMMUNITY SCHOOL DISTRICT	1002 W KIMBERLY RD	DAVENPORT IA 52806
			ROBERT ANDREW		
175	F0048-20	802 IOWA ST	MARY ANN FRANCES ANDREW	2144 10TH ST PL	EAST MOLINE IL 61244
176	F0048-25	318 E 8 1/2 ST	ALICE WIEMKEN	318 E 8 1/2 ST	DAVENPORT IA 52803
			HENRY VARGAS		
177	G0024-41	1301 PERRY ST	LUCY VARGAS	517 E CENTRAL PARK AV	DAVENPORT IA 52803
178	G0025-09	1111 PERRY ST	S & H RENTAL PROPERTIES II LLC	1543 W 36TH ST	DAVENPORT IA 52806
179	G0025-10	208 E 11TH ST	S & H RENTAL PROPERTIES LLC	1543 W 36TH ST	DAVENPORT IA 52806
180	G0025-15	1138 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
			KOSSI FAGLA		
181	G0025-20	1218 N PERRY ST	AMESSOUWOE AGBENONSI	1218 N PERRY ST	DAVENPORT IA 52803
182	G0025-33	1210 BRADY ST	RICHARD R GRAVERT LLC	4519 CANTERBURY LN	DAVENPORT IA 52806
183	G0025-37	1226 BRADY ST	MIDWEST PROPERTY HOLDINGS LC	501 S OAK LN	BLUE GRASS IA 52726
184	G0025-38		MIDWEST PROPERTY HOLDINGS LC	501 S OAK LN	BLUE GRASS IA 52726
185	G0026-02	127 W 13TH ST	MAD PROPERTIES COOPERATIVE	615 BLOSSOM HILL RD #21	LOS GATOS CA 95032
186	G0026-03	133 W 13TH ST	BRAVO PROPERTIES LLC	4555 UTICA RIDGE RD	BETTENDORF IA 52722
187	G0038-44		DAVENPORT COMMUNITY SCHOOLS DISTRICT	1606 BRADY ST	DAVENPORT IA 52803
188	G0040-01	1115 BRADY ST	THOMAS ERICKSON	1703 BRADY ST	DAVENPORT IA 52803
189	G0040-16A	1005 BRADY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
190	G0040-42	1003 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
191	G0041-27B	723 BRADY ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATIAN	1000 BRADY ST	DAVENPORT IA 52803
192	G0041-29	705 BRADY ST	AMERICAN PENSION SERVICES FUB	1275 ASH DR	LAYTON UT 84040
193	G0042-19	724 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
194	G0043-29	821 RIPLEY ST	UNITED NEIGHBORS INC	PO BOX 3703	DAVENPORT IA 52802
195	G0043-37B	808 HARRISON ST	UNITED NEIGHBORS INC	PO BOX 3703	DAVENPORT IA 52802
			PETER MAGEE		
196	G0054-07	412 W 6TH ST	GEOFF HASTING	412 W 6TH ST	DAVENPORT IA 52803
197	G0054-09	633 RIPLEY ST	CHRISTINA BUCKSBAUM	3815 128TH ST	URBANDALE IA 50323
			STEVEN E BARTHOLOMEW		
198	G0054-11	615 RIPLEY ST	SARA BARTHOLOMEW	615 RIPLEY ST	DAVENPORT IA 52803
199	G0054-19A	321 W 6TH ST	TERRY GENZ	321 W 6TH ST	DAVENPORT IA 52803
200	G0054-19A	321 W 6TH ST	TERRY GENZ	321 W 6TH ST	DAVENPORT IA 52803
201	G0054-36	515 RIPLEY ST & 509	P & D RENTALS LLC	5939 DAYTON CORNER B ST	COLONA IL 61241
202	G0055-16	502 BRADY ST	CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
203	G0055-31		RR COMPANY OF AMERICA LLC	1100 CAMELLIA BLVD	FAYETTE LA 70508
204	G0055-32A		IRR COMPANY OF AMERICA LLC	1100 CAMELLIA BLVD	FAYETTE LA 70508
205	G0056-19	208 E 6TH ST	MORGEN SCROGGINS	208 E 6TH ST	DAVENPORT IA 52803
			TED BRECKENFELDER		
206	F0017-06A		HERBERT SCHULTZ JR	2900 BARCELONA TER	BETTENDORF IA 52722
			WILLETTE MARTIN		
207	F0017-07	1225 PERSHING AV	ALENA WILLETTE	1225 PERSHING AV	DAVENPORT IA 52803
			MARNA MORETTI		
208	F0031-28	1129 IOWA ST	RYAN GOODWIN	1129 IOWA ST	DAVENPORT IA 52803
209	F0032-02	329 E 11TH ST	S & J REALTY	6480 131ST ST	BLUE GRASS IA 52726
210	F0032-03	327 E 11TH ST	DARLENE DEBOER	1431 W 17TH ST	DAVENPORT IA 52804
211	F0032-04	323 E 11TH ST	PATRICK NEWHOUSE	7 VISTA CT	DAVENPORT IA 52807
212	F0032-05	319 E 11TH ST	ANTHONY & JACQULINE REYNOLDS REVOCABLE TRST	935 S OHIO AVE	DAVENPORT IA 52802
213	F0032-06	313 E 11TH ST	ANTHONY & JACQULINE REYNOLDS REVOCABLE TRST	935 S OHIO AVE	DAVENPORT IA 52802
214	F0032-07	309 E 11TH ST	DOROTHY TRIER	1501 WILLOW ST	PEKIN IL 61554
215	F0032-08	307 E 11TH ST	TWIN OAK PROPERTIES LLC	5218 NW 78TH WAY	KANSAS CITY MO 64151
216	F0032-09	303 E 11TH ST	JEFFREY NESBITT	11 RIVERVIEW PARK DR	BETTENDORF IA 52722
217	F0032-19	1102 IOWA ST	VANESSA MCGINNIS	1102 IOWA ST	DAVENPORT IA 52803
218	F0032-26	1118 PERSHING AV	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
219	F0032-28B	225 E 12TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
220	F0033-03	904 PERSHING AV	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803-5214
221	F0033-11	1018 PERSHING AV	PALMER CHIROPRACTIC UNIVERSITY	1000 BRADY ST	DAVENPORT IA 52803
222	F0033-21	321 E 10TH ST	MAD PROPERTIES COOPERATIVE	615 BLOSSOM HILL RD #21	LOS GATOS CA 95032
223	F0048-09B	806 PERSHING AV	HARVANER BERRY	3625 MISSISSIPPI AVE	DAVENPORT IA 52807
224	F0048-15	304 E 8TH ST	R & J YADDOF TRUST	4034 W 60TH ST	DAVENPORT IA 52806
			CHRISTINE YADDOF (Contract Purchaser)		
225	F0048-15	304 E 8TH ST	JUSTIN YADDOF (Contract Purchaser)	852 STONEBRIDGE CR	ELDRIDGE IA 52748
226	F0048-16	306 E 8TH ST	R & J YADDOF TRUST	4034 W 60TH ST	DAVENPORT IA 52806
			CHRISTINE YADDOF (Contract Purchaser)		
227	F0048-16	306 E 8TH ST	JUSTIN YADDOF (Contract Purchaser)	852 STONEBRIDGE CR	ELDRIDGE IA 52748
228	F0048-17	314 E 8TH ST	R & J YADDOF TRUST	4034 W 60TH ST	DAVENPORT IA 52806
			CHRISTINE YADDOF (Contract Purchaser)		
229	F0048-17	314 E 8TH ST	JUSTIN YADDOF (Contract Purchaser)	852 STONEBRIDGE CR	ELDRIDGE IA 52748
230	F0064-20A	521 PERRY ST	PALMER CHIROPRATIC UNIVERISTY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
231	G0025-28	1129 BRADY ST	AHMAD FARRAJ	1129 BRADY ST	DAVENPORT IA 52803
			ABDALHADI MATAR		
232	G0025-34	1218 BRADY ST	HAIFA MATAR	4350 APPLE VALLEY DR	BETTENDORF IA 52722
233	G0040-18		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
234	G0040-38		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
235	G0040-39	1019 PERRY ST	HIRSTEIN GULASY PROPERTIES LLC	2809 E 44TH ST	DAVENPORT IA 52807
236	G0041-09	809 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
237	G0041-10	739 PERRY ST	PERRY STREET COOPERATIVE	1740 JERSEY RIDGE RD	DAVENPORT IA 52803
238	G0041-14	709 PERRY ST	JTL REAL ESTATE HOLDING COMPANY LLC	PO BOX 4469	DAVENPORT IA 52808
239	G0041-30	701 BRADY ST	PHH MORTGAGE CORPORATION	ONE MORTGAGE WAY MS-SV01	MT LAUREL NJ 08054
240	G0042-22	734 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
241	G0042-24	748 MAIN ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803

242	G0043-38E	321 W 8TH ST	PARMENAS BENEVOLENT ASSOCIATION INC	321 W 8TH ST	DAVENPORT IA 52803
			TRACY LAWSON		
243	G0043-41B	703 N RIPLEY ST	CHRISTOPHER LAWSON	703 N RIPLEY ST	DAVENPORT IA 52803
244	G0054-20	517 RIPLEY ST	REDEVELOPMNET GROUP GATEWAY	732 GAINES ST	DAVENPORT IA 52803
245	G0055-22B	625 N HARRISON ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
			SEVENTH JUDICIAL DISTRICT		
246	G0055-22C		DEPT OF CORRECTIONAL SERVICES	605 MAIN ST	DAVENPORT IA 52801
			SEVENTH JUDICIAL DISTRICT		
247	G0055-25	605 MAIN ST	DEPT OF CORRECTIONAL SERVICES	605 MAIN ST	DAVENPORT IA 52801
248	G0055-47	528 MAIN ST	NORTHWESTERN BELL TELEPHONE	1801 CALIFORNIA ST #2500	DENVER CO 80202
249	F0017-03	1224 PERSHING AV	TLM HOLDINGS LLC	313 W 3RD ST	DAVENPORT IA 52801
250	F0017-03	1224 PERSHING AV	KATHLEEN LONGSHORE	2350 FARNAM ST	DAVENPORT IA 52803
			RAMENO RAFAEL CALZADA		
251	F0017-13A	311 E 13TH ST	MARIA DEL REFUGIO CALZADA	311 E 13TH ST	DAVENPORT IA 52803
252	F0017-14	317 E 13TH ST	LLC OHP 5	2920 HARRISON ST	DAVENPORT IA 52803
253	F0031-30	1119 IOWA ST	264 B & V PARTNERS LLC	2490 HEATHER GLEN AV	BETTENDORF IA 52722
			MARK ARNOULD		
254	F0032-24	315 E 12TH ST	KATHE WATSON-ARNOULD	315 E 12TH ST	DAVENPORT IA 52803
255	F0032-25	1125 PERSHING AV	LTJ REAL ESTATE HOLDING COMPANY LLC	PO BOX 4469	DAVENPORT IA 52808
256	F0032-27	1124 PERSHING AV	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
257	F0032-37	1203 PERSHING AV	INDWELLER LLC	4524 39TH AVE	ROCK ISLAND IL 61201
258	F0032-41	322 E 12TH ST	TERESA CARLTON	322 E 12TH ST	DAVENPORT IA 52803
			JEFFREY JACKSON		
259	F0032-43	1204 IOWA ST	SUZANNE JACKSON	1204 IOWA ST	DAVENPORT IA 52803
260	F0033-02	902 PERSHING AV	PALMER COLLEGE FOUNDATION	902 PERSHING AV	DAVENPORT IA 52803
261	F0033-05	908 PERSHING AV	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
262	F0033-06	217 E 10TH ST	MAD PROPERTIES COOPERATIVE	615 BLOSSOM HILL RD #21	LOS GATOS CA 95032
263	F0033-10	1014 PERSHING AV	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
264	F0033-28	310 E 9TH ST	JTL REAL ESTATE HOLDING COMPANY LLC	PO BOX 4469	DAVENPORT IA 52808
			RONALD HANSON		
265	F0033-29	314 E 9TH ST	TASHA HANSON	314 E 9TH ST	DAVENPORT IA 52803
266	F0033-30	318 E 9TH ST	JOE ERENBERGER	348 ISLAND AV	EAST MOLINE IL 61244
267	F0033-31	322 E 9TH ST	TABITHA RAWLS	322 E 9TH ST	DAVENPORT IA 52803
268	F0033-32A	908 IOWA ST	CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
			DONALD STREAT		
269	F0034-30	909 IOWA ST	EDNA STREAT	909 IOWA ST	DAVENPORT IA 52803
270	F0048-02		DAVENPORT COMMUNITY SCHOOL DISTRICT	1002 W KIMBERLY RD	DAVENPORT IA 52806
			DENNIS JUCHTER		
271	F0048-07	802 PERSHING AV	CATHERINE JUCHTER	508 8TH AV	DURANT IA 52747
272	F0049-16	722 PERSHING AV	MC PROPERTIES LLC	6362 200TH ST	WALCOTT IA 52773
			KATHRYN DENHOLM		
273	G0025-03	1225 PERRY ST	JOHN DENHOLM	218 OAK ST	MANISTIQUE MI 49854
274	G0025-17	130 E 12TH ST	DARRELL S TURNER DIVERS INVEST	401 N MARQUETTE ST	DAVENPORT IA 52802-1310
275	G0025-21	1224 PERRY ST	DANIEL REED	955 S CONCORD ST	DAVENPORT IA 52802
276	G0025-23	119 E 13TH ST	BRIAN BLOODSWORTH	119 E 13TH ST	DAVENPORT IA 52803
			TOWNSQUARE MEDIA QUAD CITIES LLC		
277	G0025-24A		C/O TOWNSQUARE RADIO LLC	240 GREENWHICH AVE	GREENWICH CT 06830
			CHARLES VAN FOSSEN		
278	G0038-32	917 RIPLEY ST	MARGARET VAN FOSSEN	675 S UTAH AVE	DAVENPORT IA 52804
			JOE ERENBERGER		
279	G0038-41	918 HARRISON ST	LYDIA WIESE	230 W 3RD ST STE 218	DAVENPORT IA 52801
280	G0039-12A	1120 MAIN ST	DAVENPORT COMMUNITY SCHOOL DISTRICT	1002 W KIMBERLY RD	DAVENPORT IA 52806
281	G0040-41		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
282	G0041-13	721 PERRY ST	BELLA VENTURA PROPERTIES LLC	PO BOX 579	SEAL BEACH CA 90740
283	G0042-21	MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
284	G0043-28	825 RIPLEY ST	MARVELL STEVERSON AND WIFE	825 N RIPLEY ST	DAVENPORT IA 52803-5029
285	G0043-31		MICHAEL PRACHT	2228 WESTERN AV	DAVENPORT IA 52803
			TYRONE ORR		
286	G0055-06A	HARRISON ST	LESLIE ORR	P O BOX 3853	DAVENPORT IA 52808
287	G0055-08	226 W 5TH ST	NORTHWESTERN BELL TELEPHONE CO	1801 CALIFORNIA ST #2500	DENVER CO 80202-2658
288	G0055-20	BRADY STREET	RR COMPANY OF AMERICA LLC	1100 CAMELLIA BLVD	FAYETTE LA 70508
289	G0055-45		AT&T COMMUNICATIONS	PO BOX 7207	BEDMINSTER NJ 07921-7207
290	F0017-10		DEBBRA BROWN	228 E 13TH ST	DAVENPORT IA 52803
291	F0017-11		DEBBRA BROWN	228 E 13TH ST	DAVENPORT IA 52803
292	F0031-13	422 E 10TH ST	SACRED HEART CATHEDRAL	422 E 10TH ST	DAVENPORT IA 52803
293	F0032-10	1044 PERSHING AV	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
			MARISELA LAGUNAS CANTERO		
294	F0032-36	1207 PERSHING AV	HERNANDEZ RIOS MANUEL	1207 PERSHING AVE	DAVENPORT IA 52803
			CALVIN CLEVENGAR		
295	F0033-25	911 PERSHING AV	TERRANCE POSEY	1015 7TH ST	COLONA IL 61241
296	F0033-26A	907 PERSHING AV	ROSANNE MOHR	4340 RIDGEWOOD CT	DAVENPORT IA 52807
297	F0047-12	825 IOWA ST	HERMAN GOODWIN	825 IOWA ST	DAVENPORT IA 52803
298	F0048-18	320 E 8TH ST	CLAUDIO KURSCHAT	1226 LECLAIRE ST	DAVENPORT IA 52803-4448
299	F0048-19	322 E 8TH ST	ANTHONY THRELKELD	3625 MISSISSIPPI AVE	DAVENPORT IA 52807
			CHARLES CAHILL		
300	F0048-22		PATRICIA CAHILL	1229 36TH ST	ROCK ISLAND IL 61201-3047
301	F0048-26	308 E 8 1/2 ST	FRANSESCO SANTILLAN	4451 9TH ST CT	MOLINE IL 61244
302	F0049-18	625 PERSHING AV	MARCIA SIEBERE	625 PERSHING AV	DAVENPORT IA 52803
303	F0049-19C	621 PERSHING AV	QUIET CAPITAL LLC	2035 BRIDGE AVE STE 202	DAVENPORT IA 52803
304	G0025-26	1205 BRADY ST	ERIKSEN'S CORNER LLC	415 CARDINAL DR	ELIZABETHTOWN KY 42701
305	G0038-34		KIRK COLEMAN	318 W 9TH ST	DAVENPORT IA 52803
306	G0038-36B		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
			JOSEPH ERENBERGER		
307	G0038-39	910 HARRISON ST	LYDIA ERENBERGER	230 W 3RD ST STE 216	DAVENPORT IA 52801
308	G0038-42	920 HARRISON ST	DAVENPORT COMMUNITY SCHOOL DIS	1606 BRADY ST	DAVENPORT IA 52803
309	G0040-02		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
310	G0040-21A	914 PERRY ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
311	G0040-31	118 E 11TH ST	HIRSTEIN PROPERTIES LLC	2809 E 44TH ST	DAVENPORT IA 52807-1584
312	G0040-35		PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
313	G0041-15	705 PERRY ST	HIRSTEIN GULASY PROPERTIES LLC	2809 E 44TH ST	DAVENPORT IA 52807
314	G0041-16	214 E 7TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
315	G0041-24	805 BRADY ST	GRAY TELEVISION GROUP INC	4370 PEACHTREET ROAD NE	ATLANTA GA 30319
316	G0041-27D	711 BRADY ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803

317	G0042-10	723 MAIN ST	KAPPA CHI PI	P.C.C. BOX 777	DAVENPORT IA 52803
318	G0042-13	705 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
319	G0042-14	122 W 7TH ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
320	G0042-17	MAIN ST	PALMER CHIROPRATIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
321	G0042-46	705 HARRISON ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
			JOSE MANUEL MARCELENO		
322	G0043-06	716 RIPLEY ST	MICHELLE MARCELENO	417 W 16TH ST	DAVENPORT IA 52803
			MICHAEL O RASCHER		
323	G0043-21	820 RIPLEY ST	ANDREA RASCHER	820 RIPLEY ST	DAVENPORT IA 52803
			WILBORN RENZIEL		
324	G0043-23		SHIRL KAY BELL	828 RIPLEY ST	DAVENPORT IA 52803
325	G0043-27	829 RIPLEY ST	LLTJ ENTERPRISES LLC	13974 194TH LANE NW	ELK RIVER MN 55330
			RED BOX DWELL INC		
326	G0054-13A	602 N HARRISON ST	BRET SCHRICKER	602 N HARRISON ST	DAVENPORT IA 52803-5216
			THINATOS LLC		
327	G0056-12	126 E 6TH ST	TOM BAKERIS	205 E RUSHOLME ST	DAVENPORT IA 52803
328	G0056-18A	116 E 6TH ST	BARBARA MANESS	116 E 6TH ST	DAVENPORT IA 52803
			JERMOE MERRICK		
329	G0056-24A	611 PERRY ST	RAMONA MERRICK	3518 ECIPLSE CR	DUBUQUE IA 52003
330	F0032-01	1016 IOWA ST	S & J REALTY	6480 131ST ST	BLUE GRASS IA 52726
			GLEN HUMES		
331	F0032-14	1103 PERSHING AV	PATRICIA ANN ROACHE	1103 PERSHING AV	DAVENPORT IA 52803
			GREGORY PEACOCK		
332	F0032-31	218 E 12TH ST	KAREN PEACOCK	1205 52ND ST	MOLINE IL 61265
333	F0032-32	222 E 12TH ST	ISLAND PROPERTIES LLC	PO BOX 3953	DAVENPORT IA 52808
334	F0032-34	1212 PERSHING AV	ALENA WILLETTE	1645 SPAULDING RD	BARTLETT IL 60103
335	F0033-04	906 PERSHING AV	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
336	F0033-22	311 E 10TH ST	LONG PHUONG COOPERATIVE	PO BOX 4345	DAVENPORT IA 52808
337	F0033-23	921 PERSHING AV	LONG PHUONG COOPERATIVE	PO BOX 4345	DAVENPORT IA 52808
338	F0033-27	903 PERSHING AV	JEFFREY GORDON	903 PERSHING AVE	DAVENPORT IA 52803
339	F0047-11	827 IOWA ST	HERMAN GOODWIN	825 IOWA ST	DAVENPORT IA 52803
340	F0048-01C		DAVENPORT COMMUNITY SCHOOL DISTRICT	1606 N BRADY ST	DAVENPORT IA 52803
341	F0048-11	816 PERSHING AV	NGUYEN INC	6201 N MARQUETTE ST	DAVENPORT IA 52806-2068
342	F0048-29	818 IOWA ST	MARY JOINER	323 E 9TH ST	DAVENPORT IA 52803
343	F0048-30	323 E 9TH ST	MARY JOYNER	323 E 9TH ST	DAVENPORT IA 52803
			MATTHEW BURNS		
344	F0049-01A	224 E 6TH ST	KARIN HUFFMAN BURNS	224 E 6TH ST	DAVENPORT IA 52803
345	F0049-08	218 E 7TH ST	WILLIE CAUTHEN JR	8456 SAILING LOOP	BRADENTON FL 34202
346	F0049-09	224 E 7TH ST	LIVING OUR DREAMS LLC	14631 FERN AV	DAVENPORT IA 52804
347	F0049-12	712 PERSHING AV	BRENDA RATLIFF	712 PERSHING AV	DAVENPORT IA 52803
348	F0049-17A	724 PERSHING AV	TIMOTHY LANE	6362 200TH ST	WALCOTT IA 52773
349	G0024-40		TLM HOLDINGS LLC	313 W 3RD ST	DAVENPORT IA 52801
350	G0024-40		KATHLEEN LONGSHORE (contract purchaser)	2350 FARNAM ST	DAVENPORT IA 52803
351	G0025-04	1219 PERRY ST	ETIE O'CONNELL	15457 MEHERRIN DR	CENTREVILLE VA 20120
			DANIEL RICHARDSON		
352	G0025-13	1126 PERRY ST	BARBARA RICHARDSON	6170 SHADOWBROOK DR	BETTENDORF IA 52722
353	G0025-29	1123 BRADY ST	THOMAS NARES	2015 MYRTLE ST	DAVENPORT IA 52804
354	G0038-38	908 HARRISON ST	D I PROPERTIES LLC	348 RIVER DR	BETTENDORF IA 52722
355	G0040-03	1101 BRADY ST	PALMER COLLEGE FOUNDATION	1000 N BRADY ST	DAVENPORT IA 52803
356	G0040-19	912 PERRY ST	PALMER COLLEGE OF CHIROPRACTIC	1000 BRADY ST	DAVENPORT IA 52803
			RONALD PERRY		
357	G0041-28	707 BRADY ST	BRENDA PERRY	1275 ASH DR	LAYTON UT 84040
358	G0042-02	722 BRADY ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
359	G0042-20	MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
360	G0042-45A	HARRISON ST	PALMER CHIROPRATIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
361	G0043-08	401 W 8TH ST	RITA HOLCOMB	401 W 8TH ST	DAVENPORT IA 52803
362	G0043-34		UNITED NEIGHBORS INC	PO BOX 3703	DAVENPORT IA 52802
363	G0043-35		UNITED NEIGHBORS INC	PO BOX 3703	DAVENPORT IA 52802
			STEPHEN BRENNER		
364	G0043-36		CAROL BRENNER	2103 DORCHESTER CT	DAVENPORT IA 52807
365	G0055-03	623 HARRISON ST	CARRIAGE WORKS LLC	312 W 3RD ST STE 2	DAVENPORT IA 52801
			TYRONE ORR		
366	G0055-06B	HARRISON ST	LESLIE ORR	P O BOX 3853	DAVENPORT IA 52808
367	G0056-07A	520 PERRY ST	PALMER CHIROPRATIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
368	G0056-20	212 E 6TH ST	LICANDRO MANAGEMENT LLC	4545 ASPEN HILLS CR	BETTENDORF IA 52722
			MATTHEW BURNS		
369	G0056-21		KARIN BURNS	224 E 6TH ST	DAVENPORT IA 52803
370	G0056-23A	613 PERRY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
			ROBERT RINDERKNECHT		
371	F0049-15	718 PERSHING AV	RANDY FORSYTHE	718 PERSHING AV	DAVENPORT IA 52803
372	F0049-49A		W G Z CORPORATION	PO BOX 934	BLUE JAY CA 92317-0934
373	G0024-04C	109 E 14TH ST	ST JOHN'S UNITED METHODIST CHURCH	109 E 14TH ST	DAVENPORT IA 52803
374	G0041-17	702 PERRY ST	DAY TRAIN LLC	702 PERRY ST	DAVENPORT IA 52803
375	G0042-01B	708 BRADY ST	PALMER COLLEGE FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
376	G0042-12	715 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
377	G0042-18	718 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
378	G0042-23	738 MAIN ST	PALMER CHIROPRACTIC UNIVERSITY FOUNDATION	1000 BRADY ST	DAVENPORT IA 52803
379	G0043-07	718 RIPLEY ST	GATEWAY REDEVELOPMENT GROUP	732 GAINES ST	DAVENPORT IA 52802
380	G0043-20	406 W 8TH ST	CHRISTINA NALL	406 W 8TH ST	DAVENPORT IA 52803-5004
			GOLD COAST & HAMBURG HISTORIC		
381	G0043-38D		DIST ASSOC ATTN PJ SLOBOJAN	PO BOX 4904	DAVENPORT IA 52808
382	G0043-42A	704 HARRISON ST	L & L GUTTERING SERVICE	704 HARRISON ST	DAVENPORT IA 52803
			DAVID LAROQUE		
383	G0054-08	628 RIPLEY ST	MONICA LAROQUE	628 RIPLEY ST	DAVENPORT IA 52803
384	G0054-10A		GRANDVIEW COOPERATIVE	816 20TH ST	ROCK ISLAND IL 61201
385	G0054-10B	627 RIPLEY ST	GRANDVIEW COOPERATIVE	816 20TH ST	ROCK ISLAND IL 61201
386	G0054-14	628 HARRISON ST	MERLE L BOETTCHER REVOCABLE TRUST	630 HARRISON ST	DAVENPORT IA 52803
387	G0055-35A		RR COMPANY OF AMERICA LLC	1100 CAMELLIA BLVD	FAYETTE LA 70508
388	G0055-46		AT&T COMMUNICATIONS	PO BOX 7207	BEDMINSTER NJ 07921-7207
389	G0056-07B	BRADY STREET	SIX O ONE CORP	601 BRADY ST	DAVENPORT IA 52803
390	G0056-13	620 PERRY ST	JTL REAL ESTATE HOLDING COMPANY LLC	PO BOX 4469	DAVENPORT IA 52808
391	G0056-15B	111 E 7TH ST	JTL REAL ESTATE HOLDING COMPANY LLC	PO BOX 4469	DAVENPORT IA 52808
392	G0056-16A	617 BRADY ST	PRECISION DENTAL DESIGNS LLC	617 BRADY ST	DAVENPORT IA 52803

393	G0055-48		RR COMPANY OF AMERICA LLC	1100 CAMELLIA BLVD	FAYETTE LA 70508
394	G0056A01		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
395	G0056A02	501 BRADY ST	501 BRADY ASSOCIATES LP	3408 WOODLAND AV STE 504	WEST DES MOINES IA 50266
			HENRY P VARGAS TRUSTEE		
396	F0049-20	613 PERSHING AV	LUCY VARGAS, TRUSTEE	517 E CENTRAL PARK AV	DAVENPORT IA 52803
			HENRY P VARGAS TRUSTEE		
397	F0049-21	302 E 6TH ST	LUCY VARGAS, TRUSTEE	517 E CENTRAL PARK AV	DAVENPORT IA 52803
			HENRY P VARGAS TRUSTEE		
398	F0049-23		LUCY VARGAS, TRUSTEE	517 E CENTRAL PARK AV	DAVENPORT IA 52803
399	F0049-32A	321 E 7TH ST	MCDONNELL & ASSOCIATES INC	422 PERSHING AV	DAVENPORT IA 52801
400	F0050-10	402 E 6TH ST	DARRELL TURNER	401 N MARQUETTE ST	DAVENPORT IA 52802
401	F0063-13	403 E 6TH ST	RICHBRIDGE PROPERTIES LLC	215 N MAIN ST	DAVENPORT IA 52801
402	F0063-14	523 IOWA ST	RICHBRIDGE PROPERTIES LLC	215 N MAIN ST	DAVENPORT IA 52801
403	F0064-05B	529 PERSHING AV	DAVENPORT ELECTRIC CONTRACT CO	P.O. BOX 4229 529 PERSHING AV	DAVENPORT IA 52808
404	F0064-06	511 PERSHING AV	PERSHING HILL LOFTS LLC	101 W 2ND ST STE 400	DAVENPORT IA 52801
405	F0064-12B	518 PERSHING AV	PERSHING HILL LOFTS LLC	101 W 2ND ST STE 400	DAVENPORT IA 52801
			JOSEPH ERENBERGER		
406	F0064-21	509 PERRY ST	LEVI RITCHIE	PO BOX 4469	DAVENPORT IA 52808
407	F0064-24A	206 E 5TH ST	ELECTRICAL ENGINEERING & EQUIP	953 73RD ST	WINDSOR HEIGHTS IA 50312
408	F0064-25	E 5TH ST	PERSHING HILL LOFTS LLC	101 W 2ND ST STE 400	DAVENPORT IA 52801
409	F0064-27A	228 E 5TH ST	PERSHING HILL LOFTS LLC	101 W 2ND ST STE 400	DAVENPORT IA 52801
410	F0064-28	422 IOWA ST	SIEG IRON LOFTS LLC	145 E BADGER RD SUITE 200	MADISON WI 53713
411	F0064-29	422 IOWA ST	KERKER LOFTS LLC	145 E BADGER RD STE 200	MADISON WI 53713
412	F0064-30	315 E 5TH ST	KERKER LOFTS LLC	345 W WASHINGTON AVE - STE 301	MADISON WI 53713
413	F0064-31	427 PERSHING AV	PERSHING MASTER LANDLORD LLC	4240 MANCHESTER AVE	ST LOUIS MO 63110-3875
			MICHAEL MILLER		
414	F0064-32	415 PERSHING AV	SAUM CHERYL M	902 BRIDGE AV	DAVENPORT IA 52803
				513 FILLMORE ST	
415	F0064-34	411 PERSHING AV	ROEDERER HOLDINGS LLC	PO BOX 3587	DAVENPORT IA 52808-3587
416	F0064-05	418 PERSHING AV	MCDONNELL & ASSOCIATES INC	422 PERSHING AV	DAVENPORT IA 52801
417	F0064-03	225 E 5TH ST	DANIEL F PALMER	6225 BRADY ST	DAVENPORT IA 52806
418	F0064-04	428 PERSHING AV	PERSHING MASTER LANDLORD LLC	4240 MANCHESTER AVE	ST LOUIS MO 63110-3875
419	F0064-01	205 E 5TH ST	DANIEL F PALMER	6225 BRADY ST	DAVENPORT IA 52806
420	F0064-42	PERRY ST	DANIEL F PALMER	6225 BRADY ST	DAVENPORT IA 52806
421	F0064-45A	320 E 4TH ST	SIEG IRON LOFTS LLC	145 E BADGER RD SUITE 200	MADISON WI 53713
				513 FILLMORE ST	
422	F0064-47A	310 E 4TH ST	ROEDERER HOLDINGS LLC	PO BOX 3587	DAVENPORT IA 52808-3587
423	F0064-55F	312 E 5TH ST	PERSHING HILLS LOFTS LLC	101 W 2ND ST STE 400	DAVENPORT IA 52801
424	F0064-55H	500 IOWA ST	5TH STREET LOFTS LLC	345 W WASHINGTON AVE - STE 301	MADISON WI 53703
425	G0057-02A		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
426	G0057-03		THOMAS NARES	1902 E 47TH PL	DAVENPORT IA 52807
427	G0057-04	422 PERRY ST	CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
428	G0057-05	425 BRADY ST	Y & J PROPERTIES LLC	PO BOX 4469	DAVENPORT IA 52808
429	G0057-06	421 BRADY ST	Y & J PROPERTIES LLC	PO BOX 4469	DAVENPORT IA 52808
430	G0057-07	407 BRADY ST	DEMOCRAT BUILDING LANDLORD LLC	111 N PERRY ST STE 300	DAVENPORT IA 52801-1614
431	G0057-08	401 BRADY ST	FORREST BLOCK LLC	4240 MANCHESTER AVE	ST LOUIS MO 63110-3875
432	G0057-10A		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
433	G0058-01A		CITY OF DAVENPORT	226 W 4TH ST	DAVENPORT IA 52801
434	G0058-09	401 MAIN ST	ST ANTHONY'S CHURCH OF DAVENPORT IA	417 N MAIN ST	DAVENPORT IA 52801
435	F0063-15A	427 IOWA ST	DAVENPORT LOFTS LLC	345 W WASHINGTON AVE - STE 301	MADISON WI 53713
			THOMAS YEGGY		
436	F0064-02	221 E 5TH ST	EILEEN YEGGY	4906 EMIES VIEW CT	DAVENPORT IA 52806
			JODI BROWN		
437	F0064-02	221 E 5TH ST	ROBERT BROWN	6650 PRIMROSE CT	BETTENDORF IA 52722
438	F0064-50	210 E 4TH ST	DANIEL PALMER	6225 BRADY ST	DAVENPORT IA 52806
439	F0064-52	415 PERRY ST	DANIEL PALMER	6225 BRADY ST	DAVENPORT IA 52806
			MARK ROSENBOHM		
440	F0017-17	330 E 13TH ST	MICHAEL ROSENBOHM	28118 215TH ST	LECLAIRE IA 52753
			DESMOND P HARDAWAY		
441	F0017-18	322 E 13TH ST	CHERIA HARDAWAY	322 E 13TH ST	DAVENPORT IA 52803
442	F0017-23	1312 PERSHING AV	BANK OF AMERICA NA	7105 CORPORATE MAIL STOP PTX-C-35	PLANO TX 75024
			CRAIG HAHN		
443	F0031-32	408 E 12TH ST	NICOLE HAHN	408 E 12TH ST	DAVENPORT IA 52803-4432
444	F0031-38	1227 IOWA ST	HAZIE HALLMAN	1227 IOWA ST	DAVENPORT IA 52803
445	F0034-32	406 E 9TH ST	JORDAN PAXTON	2301 DAVIE ST	DAVENPORT IA 52804
446	F0047-10	405 E 9TH ST	KAR INVESTMENTS LLC	P O BOX 3941	DAVENPORT IA 52808
			JEFFREY DELF		
447	F0047-14		TINA DELF	36 LOCUST CT	BLUE GRASS IA 52726
			AARON HOUZENGA		
448	F0047-15	402 E 8TH ST	SARAH HOUZENGA	2733 TREMONT AVE	DAVENPORT IA 52803-1726
			MICHAEL WITT		
449	F0047-16		DARLA WITT	727 W 31ST ST	DAVENPORT IA 52804
450	F0050-08	619 IOWA ST	ANDREW WOLD INVESTMENTS LLC	3320 W HARBOR DR	BETTENDORF IA 52722
451	F0050-09		DARRELL TURNER	401 N MARQUETTE ST	DAVENPORT IA 52802-1310
			409 E 6TH ST COOPERATIVE		
452	F0063-11	409 E 6TH ST	MARK R GOODDING	1716 S 9TH AVE	DAVENPORT IA 52804
453	F0063-12	407 E 6TH ST	DST PROPERTY MANAGEMENT	1200 5TH AVE	MOLINE IL 61265
454	F0064-44	324 E 4TH ST	SIEG IRON LOFTS LLC	345 W WASHINGTON AVE STE 301	MADISON WI 53703
455	F0064-48	302 E 4TH ST	ROEDERER HOLDINGS LLC	513 FILLMORE ST	DAVENPORT IA 52808-3587
456	G0024-02		ST JOHN'S UNITED METHODIST CHURCH	109 E 14TH ST	DAVENPORT IA 52803
457	G0024-39	1309 PERRY ST	B & V PARTNERS LLC 122	2490 HEATHER GLEN AV	BETTENDORF IA 52722
458	G0024-39	1309 PERRY ST	MICHAEL MYERS JR	1515 MARQUETTE ST	DAVENPORT IA 52804
459	G0038-20	1008 HARRISON ST	KOL TOV SERIES 3	1987 SPRUCE HILLS DR	BETTENDORF IA 52722
460	G0038-21		HELEN NEWMAN	3305 MAGNOLIA CT	BETTENDORF IA 52722
461	G0038-22		DANIELL WEINDRUCH	3305 MAGNOLIA CT	BETTENDORF IA 52722
462	G0038-23		DAVENPORT COMMUNITY SCHOOL DISTRICT	1002 W KIMBERLY RD	DAVENPORT IA 52806
463	G0038-24		RICHARD VESOLE	2490 HEATHER GLEN AVE	BETTENDORF IA 52722
464	G0038-25	1028 HARRISON ST	ANDREW WOLD INVESTMENTS LLC	3320 W HARBOR DR	BETTENDORF IA 52722-5588
			CHARLES VAN FOSSEN		
465	G0038-30		MARGARET VAN FOSSEN	675 S UTAH AVE	DAVENPORT IA 52804
			CHARLES VAN FOSSEN		
466	G0038-31		MARGARET VAN FOSSEN	675 S UTAH AVE	DAVENPORT IA 52804
467	G0038-45		ELAINE ABOYADE-COLE	8619 S MORGAN	CHICAGO IL 60620

468	G0038-46	930 HARRISON ST	FIRST FINANCIAL GROUP LC	1987 SPRUCE HILLS DR	BETTENDORF IA 52722
469	G0043-09	405 W 8TH ST	S & J REALTY	6480 131ST ST	BLUE GRASS IA 52726
470	G0043-19	410 W 8TH ST	RAFAEL CALZADA MARIA CALZADA	410 W 8TH ST	DAVENPORT IA 52803

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
Tuesday, August 15, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:28 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
July 26, 2017 Meetings –

Approved Resolution 2017-311 approving Case No. F17-13 being the final plat of Crow Valley Plaza Tenth Addition, being in part a replat of Lot 1 of Midland Group Addition, Lot 1 of Crow Valley Plaza Second Addition and Lot 1 of Crow Valley Plaza Seventh Addition, located north of East 56th Street and east of Utica Ridge Road, containing four (4) commercial lots on 35.30 acres, more or less. [Ward 6]

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:28 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
Minutes of the 07-18-17 Regular Meeting

ATTACHMENTS:

Type	Description
Backup Material	Minutes 07-18-17

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:28 PM

CITY PLAN AND ZONING COMMISSION
CITY OF DAVENPORT, IOWA

TUESDAY JULY 18, 2017 ● 5:00 PM
COUNCIL CHAMBERS – DAVENPORT CITY HALL
226 W 4TH STREET DAVENPORT, IA

MINUTES

By this reference all reports, documents, presentations and the meeting video record are made a part of the minutes.

PUBLIC HEARING AGENDA

The public hearing was opened at 5:00 P.M. and the following public hearing was held:

OLD BUSINESS –

NEW BUSINESS –
Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

Next Public Hearing:

Monday, August 01, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall – 226 West 4th Street.

REGULAR MEETING AGENDA

The regular meeting was called to order at 5:08 P.M., following the public hearing.

I. Roll Call of the Membership
Present: Connell, Hepner, Inghram, Kelling, Lammers, Maness, Martinez, Medd, Quinn, Reinartz and Tallman
Excused: None
Absent: None
Staff: Flynn, Heyer, Leabhart, Statz and Wille.

II. Report of the City Council Activity – as presented

III. Secretary's Report June 06, 2017 meeting minutes were approved

IV. Report of the Comprehensive Plan Committee – Flynn reminded the members there will be a public meeting Thursday July 20th held in conjunction with RDG's presentation on the trails update and again mentioned the ordinance update website at www.davenportzoning.com. Also noted was the delay in the public hearing for Costco.

V. Zoning Activity
A. Old Business – None

B. New Business -

Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

Recommendation:
Staff recommends that the request be tabled as the petitioner has not supplied a site plan as required.

On a motion by Tallman, seconded by Medd, to table for one-cycle Case No. REZ17-05 was approved unanimously: 8-yes, 0-no and 0-abstention.

VI. Subdivision Activity

A. Old Business – None

B. New Business –

VII. Other Business –

VIII. Future Business – Preview of items for the ~~*July 3rd*~~ *July 18th* public hearing and/or regular meeting *(note-not all items to be heard may be listed)*:

VIII. Communications (Time open for citizens wishing to address the Commission on matters *not on the established agenda*)

IX. Adjourn - The meeting was adjourned at approximately 5:31 p.m.

- *Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.*
- *Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.*
- *A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.*

Next Public Hearing/Regular Plan & Zoning Meeting:
Tuesday, August 01, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn 326-2286 **8/1/2017**

Subject:
1. Case No. REZ17-05: Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

Staff recommends that the request be tabled indefinitely until the petitioner supplies a site plan as required. Staff will move the item forward at that time.

ATTACHMENTS:

Type	Description
Exhibit	REZ17-05 2nd Tabling

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:29 PM

City of Davenport
Community Planning & Economic Development Department
STAFF REPORT

Meeting Date: **August 1, 2017**
Request: **Rezone 0.65 acre from R-1 to R-3 PUD**
Address: **5135 Marquette Street**
Case No.: **REZ17-05**
Applicant: **Steven & Merideth Hirsch**

Recommendation:

Staff recommends that the request be tabled indefinitely until the petitioner supplies a site plan as required. Staff will move the item forward at that time.

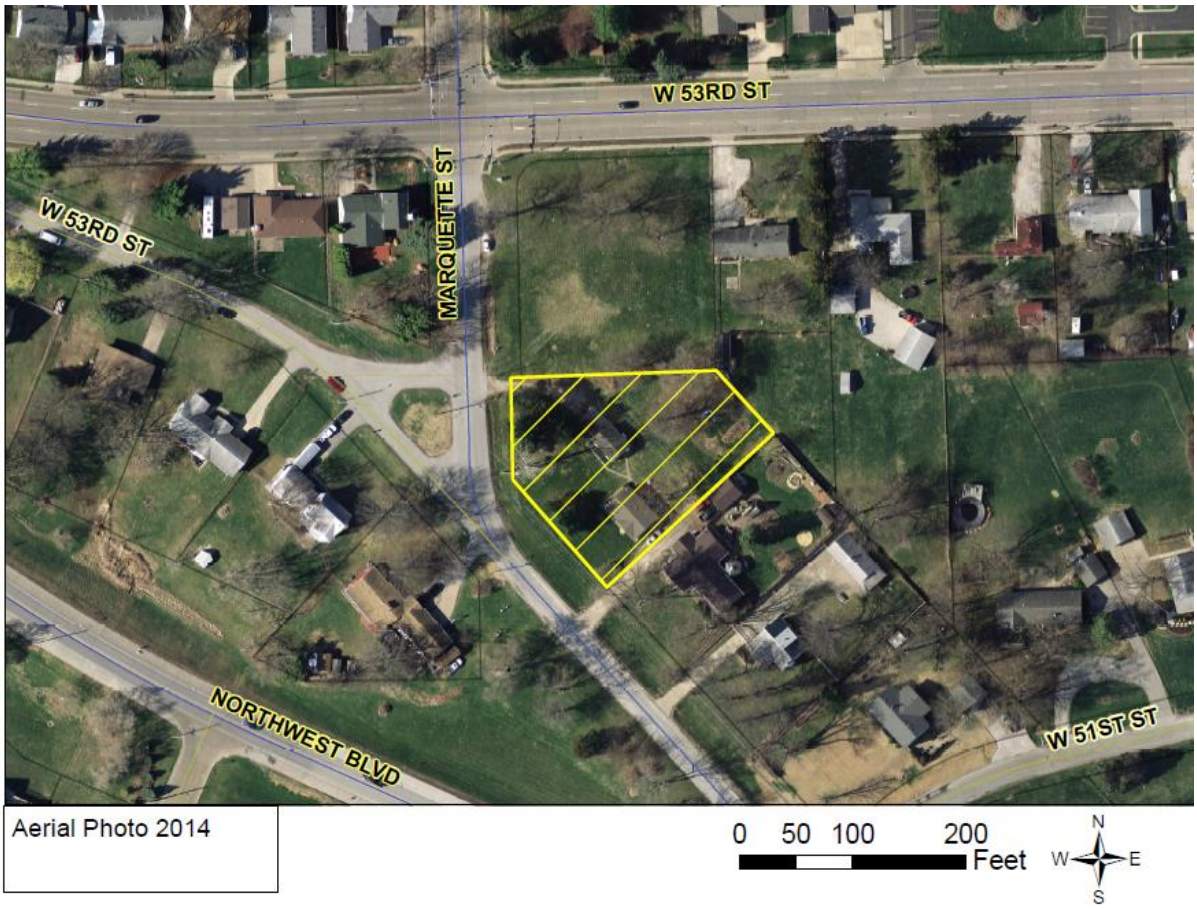
The following is from the Preview Report:

Introduction:

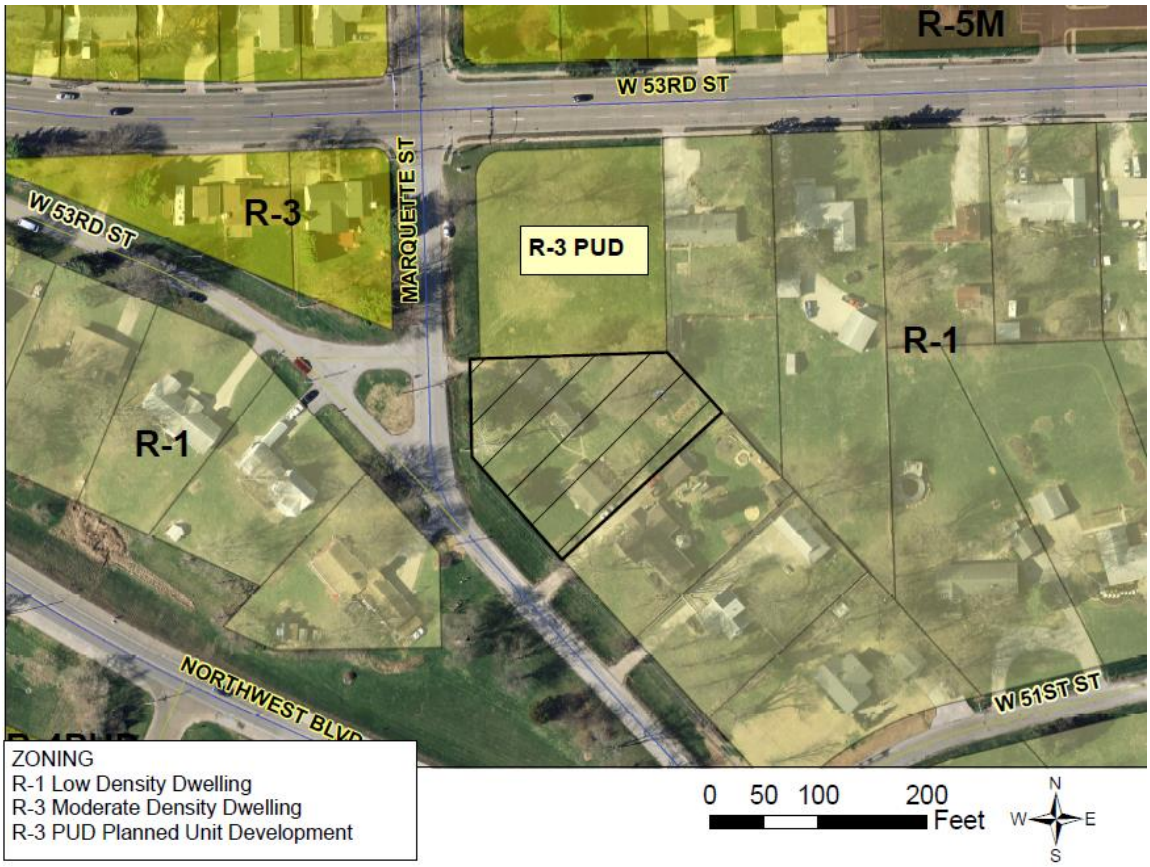
Request of Steven and Merideth Hirsch for the rezoning of 0.65 acre (28,340 sqft.), more or less, of real property located at the 5135 Marquette Street (south of West 53rd Street and east of Marquette Street) from R-1 Low Density Dwelling District to R-3 PUD Planned Unit Development to facilitate development of multiple residences; two 2-unit buildings.

AREA CHARACTERISTICS:

Aerial



Zoning Map



<u>Land Use</u>

<u>Background:</u>

Comprehensive Plan:
Within Existing Urban Service Area: Yes

Within Urban Service Boundary +2035: Yes

Future Land Use Designation: *Residential General (RG)* - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc. generally oriented along Urban Corridors (UC). Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant Goals to be considered in this Case:
Identify and reserve land for current and future development – *encourage a full range of development.*

Zoning:
The property is currently zoned "R-1" Low Density Dwelling District.

Technical Review:

<u>Streets</u>. The property is located on Marquette Street south of its intersection with West 53rd Street, 5135 Marquette Street. Access is to Marquette Street

Storm Water. Stormwater infrastructure appears to be by overland flow of surface run-off.

Sanitary Sewer. Sanitary sewer service is located in Marquette Street adjacent to the property (8-inch line).

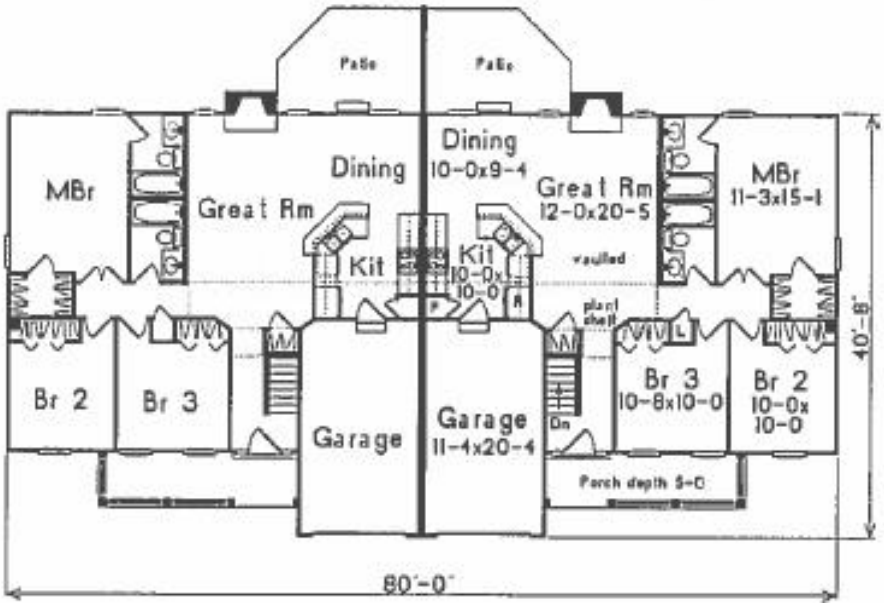
Other Utilities. This is an urban area and normal utility services are available.

Emergency Services. The property is located approximately 1-1/2 miles from both Fire Stations No. 3 at 3506 Harrison Street and No. 7 at 2302 West 67th Street.

Parks/Open Space. The proposed rezoning does not impact any existing or planned parks or public open spaces.

Public Input:
A public hearing before the Plan and Zoning Commission is scheduled for June 20th. Staff is not yet aware of when the neighborhood meeting would be scheduled.

Discussion:
The property to the north was zoned to the same designation as requested here, R-3 PUD in December of 2016. Four single-family units are proposed in two buildings. Below is the proposal for the building type.



Staff Recommendation:
Staff recommends that the request be tabled as the petitioner has not supplied a site plan as required.

Prepared by:
Scott Koops, AICP
Planner II
Community Planning

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
Case No. FDP17-05: Request by MLI Real Estate Group, LLC, for a final development plan for a new free-standing restaurant at property located at 902 W Kimberly Road. (Village Shopping Center).

ATTACHMENTS:

Type	Description
Backup Material	FDP17-05 SR packet

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:30 PM

City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

PLAN AND ZONING COMMISSION

Meeting Date:	**August 1, 2017**
Request:	**Proposed Final Development Plan for a new freestanding restaurant and drive through located at 902 W. Kimberly Road (Village Shopping Center)[7th Ward]**
Case No.:	**FDP17-07**
Applicant:	**MLI Real Estate Group, LLC**
Contact:	**Matthew G. Flynn, AICP** **Senior Planning Manager** **matt.flynn@ci.davenport.ia.us** **563-888-2286**

Recommendation:

Staff recommends Case No. FDP17-07 be forwarded to the City Council for approval, conditioned upon the following:

Site Plan Approval being completed prior to issuance of any building or site development permits.

Background:

There is a proposal to demolish the existing vacant band building and construct a new "Freddy's Frozen Custard and Steakeburgers" restaurant.

Highlights:

- Zoning: PDD, Planned Development District
- Lot and Building Area: 22,621 sq. ft.; 3337 sq. ft.; respectively
- Parking: 44 spaces shown, 17 on-site and 27 off-site.
- Building architecture: Brick and EFIS
- Signage: To be determined.

Technical Review:

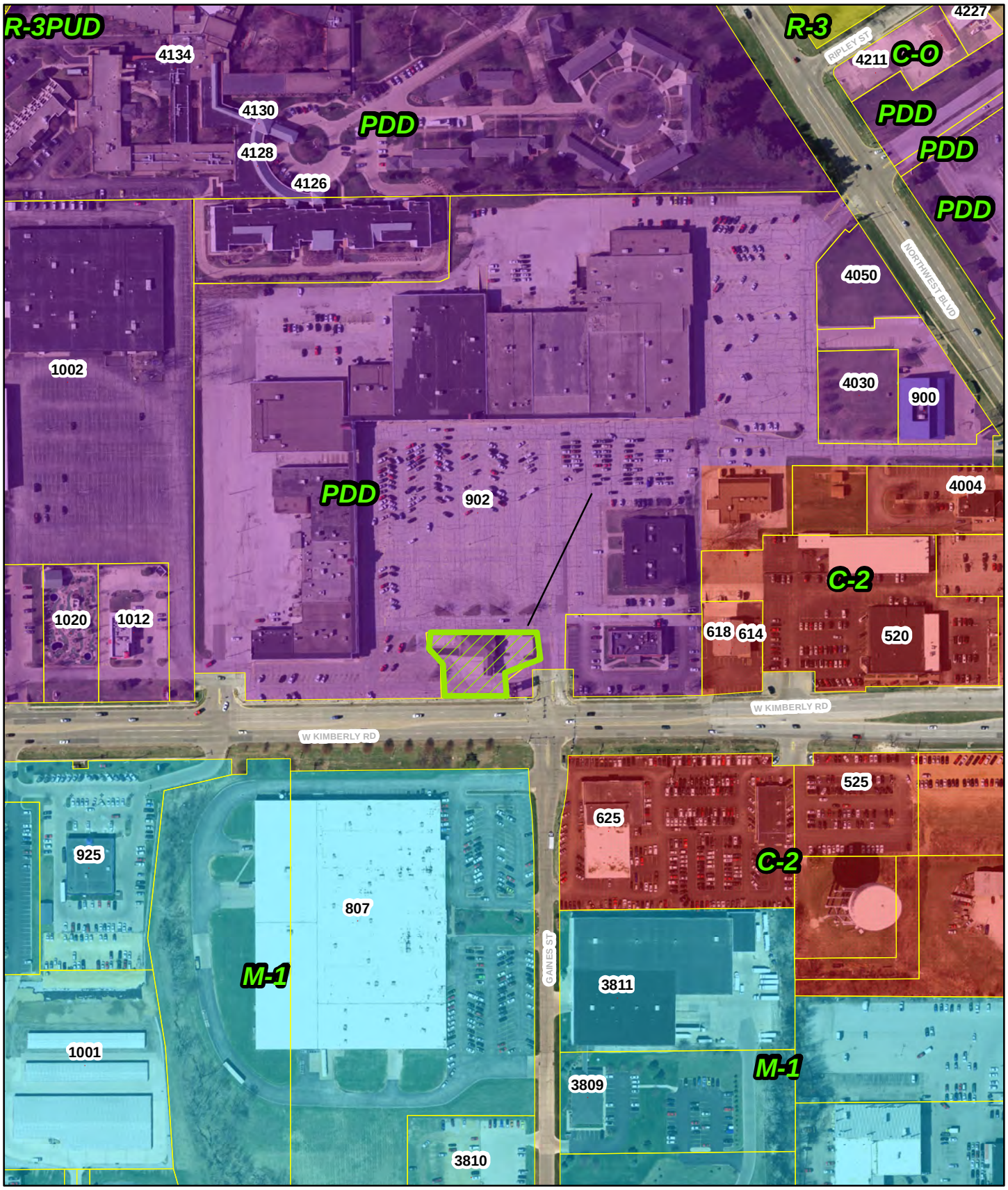
Requests for technical review comments have been distributed and will be made available prior to staff recommendation. No comments have been received that will affect the potential future approval of building or other site development permits.

Public Input:

No public comment is solicited for final development plans.

See attached plans for additional information.

FDP17-07
902 W Kimberly Rd



Feet
0 55110 220 330 440

N

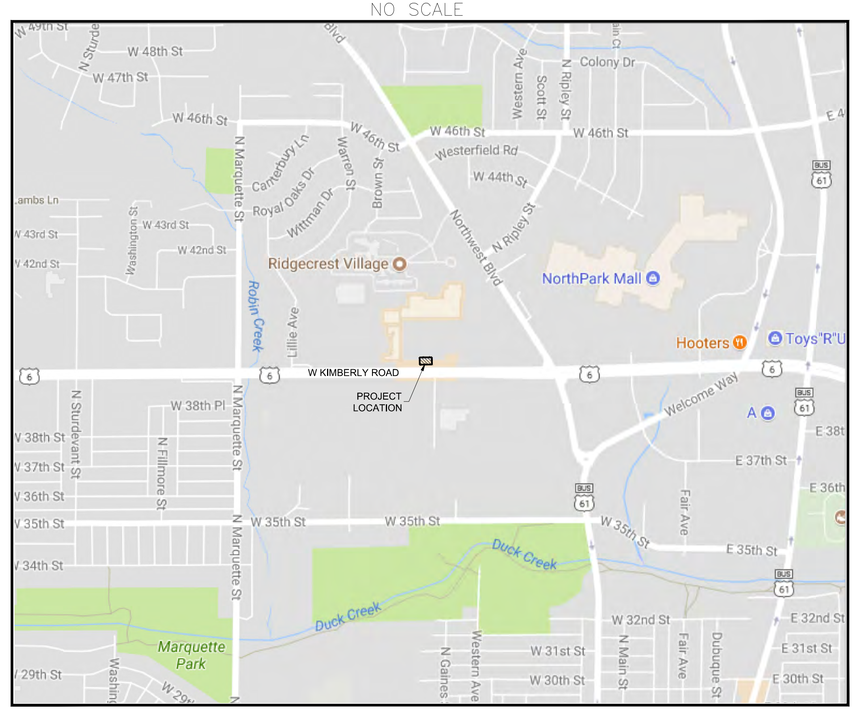
SITE PLAN
FREDDY'S FROZEN CUSTARD
CITY OF DAVENPORT, SCOTT COUNTY, IOWA
902 W. KIMBERLY ROAD

UTILITY AND EMERGENCY TELEPHONE NUMBERS

PUBLIC WORKS DEPARTMENT	563-326-7923
POLICE DEPARTMENT	563-326-7979
EMERGENCY	911
FIRE DEPARTMENT	563-326-7906
EMERGENCY	911
AMERICAN WATER RESOURCES	563-468-9222
ONE CALL (UTILITIES)	800-292-8989
IOWA DEPARTMENT OF TRANSPORTATION	
DISTRICT ENGINEER	319-364-0235
MAINTENANCE GARAGES	319-391-4643
MID AMERICAN ENERGY	563-333-8706
MEDIACOM	309-743-4735
CENTURY LINK	563-424-0931

LOCATION MAP

NO SCALE



INDEX OF SHEETS	
NO.	DESCRIPTION
C1	TITLE SHEET
C2	GENERAL NOTES, LEGEND & BENCHMARKS
C3	EXISTING CONDITIONS AND REMOVALS
C4	SITE AND UTILITY PLAN
C5	PAVING PLAN
C6	GRADING PLAN

LEGAL DESCRIPTION

LOT 2, VILLAGE SHOPPING CENTER SUBDIVISION NO. 3 TO THE CITY OF DAVENPORT, SCOTT COUNTY, IOWA.

OWNER: MLY REAL ESTATE, LLC
2141 PARK PLACE NE, SUITE C
CEDAR RAPIDS, IOWA 52402
ATTN: MIKE YOUNG
PHONE: (319) 361-6090

ENGINEER: BRAIN ENGINEERING, INC.
1540 MIDLAND COURT NE
CEDAR RAPIDS, IOWA 52402
PH: 294-9424
FAX: 294-1056

PROPERTY ADDRESS: 902 W. KIMBERLY ROAD
DAVENPORT, IA.

ZONING INFORMATION:

EXISTING ZONING & USE

EXISTING ZONING: PDD (PLANNED DEVELOPMENT DISTRICT)
PROPOSED ZONING: NO CHANGE
EXISTING USE: BANK
PROPOSED USE: RESTAURANT

PDD SETBACK REQUIREMENTS

FRONT YARD: 25 FEET
REAR YARD: 25 FEET
SIDE YARD: 5 FEET

SITE AREA CALCULATION

TOTAL SITE AREA: 22,621 SQ. FEET = 0.52 ACRES
BUILDING AREA: 3,337 SQ. FEET
PAVED AREA (PARKING/WALKS/PATIO): 16,522 SQ. FEET
OPEN AREA: 2,762 SQ. FEET

PARKING REQUIREMENTS

TOTAL PARKING SPACES REQUIRED:
1 SPACE/100 SQ. FT. FLOOR AREA
FLOOR AREA = 3,337 SQ. FT.
SPACES REQUIRED = 3,337/100 = 34 SPACES

PARKING PROVIDED: 44 SPACES (17 ON-SITE + 27 OFF-SITE)
ADA SPACES REQUIRED: 2 INCL. 1 VAN ACCESSIBLE
ADA SPACES PROVIDED : 2 INCL. 1 VAN ACCESSIBLE

CONTACT PERSON

Contact Person	Daniel L. Schmidt
Telephone Number	(319) 294-9424
Fax Number	(319) 294-1056
Mailing Address	1540 Midland Court NE
Date Submitted	7/10/2017
Date Revised	

LICENSED PROFESSIONAL ENGINEER
DANIEL L. SCHMIDT
13841
IOWA

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Signed Date

Daniel L. Schmidt, P.E.
My License Renewal Date Is December 31, 2018
License Number 13841
Pages or sheets covered by this seal: 6

BRAIN
CIVIL • LAND DEVELOPMENT • SURVEYING • TRANSPORTATION
ENGINEERING, INC.

CHECK BY:	REVISION DATE
DATE:	CITY FILE NO:
REVIEWED BY:	Project No:
DATE:	498617-10

LEGEND

FIRE HYDRANT	
VALVE OR BLOWOFF	
STREET LIGHT	
UTILITY POLE	
GUY WIRE	
TRAFFIC SIGN	
MANHOLE	
EXISTING STORM SEWER INTAKE	
PROPOSED INTAKE	
TELEPHONE TERMINAL	TEL
CABLE TV TERMINAL	CATV
OVERHEAD ELECTRICAL	(OHE)
UNDERGROUND ELECTRICAL	UG EL
OVERHEAD TELEPHONE	OH TEL
UNDERGROUND TELEPHONE	UG TEL
GAS LINE	GAS
CABLE TV LINE	CATV
STORM SEWER w/SIZE	ST12
SANITARY SEWER w/SIZE	SS8
WATER MAIN w/SIZE	(W12)
FENCE	
RIGHT-OF-WAY	ROW
BACK OF CURB TO BACK OF CURB	B-B
DECIDUOUS TREE	
CONIFEROUS TREE	
SILT FENCE FOR DITCH CHECK	
UTILITY EASEMENT	UE
DRAINAGE EASEMENT	DE
BENCH MARK w/NUMBER	BM 1
CONTROL POINT	
TOP OF SLAB ELEVATION	T/S =

BENCHMARKS:

1) STORM MANHOLE RIM LOCATED ON NORTH SIDE OF W. KIMBERLY ROAD ON EAST SIDE OF ACCESS TO SITE. ELEV. = 688.50

2) SANITARY MANHOLE RIM LOCATED IN W. KIMBERLY ROAD SOUTHEAST OF THIS PROPERTY. ELEV. = 688.62

GENERAL NOTES:

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS), LATEST EDITION, UNLESS OTHERWISE NOTED. WATER MAIN AND SERVICE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE WATERLOO WATER WORKS.
2. SITE SAFETY AND PEDESTRIAN SAFETY IS OF EXTREME IMPORTANCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING THE WORK IN A SAFE MANNER. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COMPLIANCE WITH ALL OSHA REGULATIONS. COMPLIANCE IS MANDATORY.
3. NOTIFY THE GOVERNING AUTHORITY 48-72 HOURS PRIOR TO BEGINNING CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY. ALL WORK IN RIGHT-OF-WAY PERMITS SHALL BE OBTAINED PRIOR TO WORK WITHIN THE RIGHT-OF-WAY. OBTAIN APPLICABLE LOCAL PERMITS.
4. NOTIFY UTILITY COMPANIED WHOSE FACILITIES ARE SHOWN ON THE PLANS OR KNOWN TO BE WITHIN THE CONSTRUCTION LIMITS OF THE PROJECT PRIOR TO EACH STAGE OF CONSTRUCTION.
5. THE MEANS OF THE WORK AND THE SAFETY OF THE CONTRACTOR'S EMPLOYEES ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR.
6. SITE CLEAN-UP AND SWEEPING SHALL BE PERFORMED ON A DAILY BASIS, SIDEWALKS, PARKING LOTS, ROADWAYS, ETC. SHALL BE KEPT CLEAN AT ALL TIMES.
7. NO WORK SHALL BE PERFORMED BEYOND THE PROJECT LIMITS WITHOUT PRIOR AUTHORIZATION FROM THE OWNER'S REPRESENTATIVE.
8. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
9. OPEN EXCAVATIONS ON SITE MUST BE FENCED OFF AND MOVED ACCORDINGLY.
10. CONTRACTOR SHALL REFER TO BUILDING PLANS FOR BUILDING DIMENSIONS, STOOP SIZES AND LOCATIONS, AND BUILDING UTILITY ENTRANCE LOCATIONS AND ELEVATIONS.
11. CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
12. THE LOCATIONS OF UTILITY MAINS, STRUCTURES, AND SERVICE CONNECTIONS PLOTTED ON THIS DRAWING ARE APPROXIMATE ONLY AND WERE OBTAINED FROM PLANS OF RECORD. THERE MAY BE OTHER EXISTING UTILITY MAINS, STRUCTURES AND SERVICE CONNECTIONS NOT KNOWN AND MAY NOT BE SHOWN ON THIS DRAWING.
13. PROVIDE TRAFFIC AND PEDESTRIAN CONTROL MEASURES (SIGNS, BARRICADES, FLAGGERS, ETC.) IN COMPLIANCE WITH PART VI OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) LATEST EDITION AND SUDAS STANDARDS.
14. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL UNCOVER EXISTING UTILITIES AT CRITICAL LOCATIONS TO VERIFY EXACT HORIZONTAL AND VERTICAL LOCATION.
15. IOWA CODE 480, UNDERGROUND FACILITIES INFORMATION, REQUIRES VERBAL NOTICE TO IOWA ONE-CALL 1-800-292-8989, NOT LESS THAN 48 HOURS BEFORE EXCAVATING, EXCLUDING WEEKENDS AND HOLIDAYS.
16. REPLACE ANY PROPERTY MONUMENTS REMOVED OR DESTROYED BY CONSTRUCTION. MONUMENTS SHALL BE SET BY A LAND SURVEYOR REGISTERED TO PRACTICE IN THE STATE OF IOWA.

SITE PREPARATION NOTES:

1. PROTECT ADJACENT PROPERTIES DURING DEMOLITION AND SITE GRADING.
2. MAINTAIN POSITIVE DRAINAGE ON THE SITE THROUGHOUT THE PROJECT DURATION.
3. KEEP ADJACENT PUBLIC STREETS AND PRIVATE DRIVES FREE FROM SOIL AND DEBRIS GENERATED BY THE PROJECT. CLEAN SOIL AND DEBRIS FROM THE ADJACENT STREETS ON A DAILY BASIS.
4. DURING CONSTRUCTION CONTROL DUST SPREADING FROM ALL WORK AND STAGING AREAS.
5. REMOVAL OR ABANDONMENT OF PUBLIC UTILITIES SHALL BE FULLY COORDINATED WITH APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
6. ANY EXISTING FACILITIES (CURBS, PAVEMENT, UTILITIES, ETC,) THAT THE CONTRACTOR'S OPERATIONS DAMAGE SHALL BE REPAIRED BY THAT CONTRACTOR AT HIS/HER COST.
7. WHERE A SECTION OF PAVEMENT, CURB AND GUTTER OR SIDEWALK IS CUT OR OTHERWISE DAMAGED BY THE CONTRACTOR, THE ENTIRE SECTION SHALL BE REMOVED AND REPLACED. PAVEMENT, CURBS, GUTTERS, AND SIDEWALKS SHALL BE REMOVED A MINIMUM OF TWO FEET BEYOND THE EDGE OF THE TRENCH CUT AND TO THE NEAREST JOINT.
8. SAWCUT EDGES OF PAVEMENT FULL DEPTH PRIOR TO REMOVAL TO PREVENT DAMAGE TO ADJACENT SLABS AND FIXTURES.
9. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIAL (EXCAVATED MATERIAL OR BROKEN CONCRETE) WHICH IS NOT DESIRABLE TO BE INCORPORATED INTO THE WORK INVOLVED ON THIS PROJECT. NO PAYMENT FOR OVERHAUL WILL BE ALLOWED FOR MATERIAL HAULED TO THESE SITES. NO MATERIAL SHALL BE PLACED WITHIN THE EASEMENTS UNLESS SPECIFICALLY STATED IN THE PLANS OR APPROVED BY THE ENGINEER. CONTRACTOR SHALL APPLY NECESSARY MOISTURE TO THE CONSTRUCTION AREA AND TEMPORARY HAUL ROADS TO PREVENT THE SPREAD OF DUST. OFF-SITE DISPOSAL SHALL BE IN ACCORDANCE WITH THE APPLICABLE GOVERNMENTAL REGULATIONS.

GRADING NOTES:

1. STRIP EXISTING VEGETATION WITHIN THE GRADING LIMITS AND AREAS TO RECEIVE FILL. STOCKPILE ON-SITE FOR REUSE IF SUITABLE.
2. PROOF ROLL ALL FILL AREAS TO IDENTIFY SOFT OR DISTURBED AREAS IN THE SUBGRADE. ALL UNSUITABLE MATERIAL IDENTIFIED SHALL BE REMOVED AND RECOMPACTED. PROOF ROLL WITH 25 TON MINIMUM GROSS VEHICLE WEIGHT. A REPRESENTATIVE OF THE OWNER SHALL BE PRESENT AT THE TIME OPROOF-ROLL.
3. REMOVE AND RECOMPACT AREAS OF SUBGRADE WHICH ARE SOFT OR UNSTABLE TO MEET SPECIFIED LIMITS FOR DENSITY AND MOISTURE CONTENT
4. SCARIFY EXISTING SUBGRADE TO DEPTH OF 8 INCHES AND RECOMPACT TO 95% STANDARD PROCTOR DENSITY (ASTM D698) PRIOR TO PLACEMENT OF FILL.
5. DO NOT PLACE, SPREAD, OR COMPACT ANY FILL MATERIAL DURING UNFAVORABLE WEATHER CONDITIONS AND DO NOT RESUME COMPACTION OPERATIONS UNTIL MOISTURE CONTENT AND DENSITY OF IN-PALCE MATERIAL ARE WITHIN SPECIFIED LIMITS.
6. PLACE FILL MATERIAL IN MAXIMUM 9" LIFTS.
7. FILLS PLACED BELOW LAWN AREAS SHALL BE COMPACTED TO 90% OF MATERIALS MAXIMUM STANDARD PROCTOR DRY DENSITY (ASTM D698).
8. SCARIFY SUBGRADE TO DEPTH OF 3 INCHES WHERE TOPSOIL IS SCHEDULED. SCARIFY AREAS WHERE EQUIPMENT USED FOR HAULING AND SPREADING TOPSOIL HAS COMPACTED SUBSOIL.
9. FILL MATERIAL OBTAINED FROM OFF-SITE SOURCES SHALL BE SOIL OR SOIL AND ROCK MIXTURE FREE FROM ORGANIC MATTER AND OTHER DELETERIOUS SUBSTANCES. IT SHALL CONTAIN NO ROCKS OR LUMPS OF 6 INCHES IN GREATEST DIMENSION AND NOT MORE THAN 15% OF THE ROCKS OR LUMPS SHALL BE LARGER THAN 2-1/2 INCHES IN GREATEST DIMENSION.
10. SCARIFY AND RECOMPACT THE TOP 9" OF SUBGRADE IN ALL CUT AREAS AFTER ROUGH GRADING IS COMPLETED. COMPACT THE ENTIRE PAVING AND BUILDING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DENSITY (ASTM D698).
11. IN AREAS TO RECEIVE ADDITIONAL FILL OVER EXISTING FILL MATERIALS, REMOVE TOP 12" OF MATERIAL AND SCARIFY AND RECOMPACT THE NEXT 9" OF RESULTING SUBGRADE. COMPACT RESULTING SUBGRADE TO 95% STANDARD PROCTOR DRY DENSITY. SUBSEQUENT FILL TO BE COMPACTED TO 95% STANDARD PROCTOR DRY DENSITY TO WITHIN 1.0' OF FINAL SUBGRADE. THE FINAL 1.0' OF FILL TO BE COMPACTED TO 98% STANDARD PROCTOR DRY DENSITY (ASTM D698).
12. FINISH CONTOURS SHOWN ARE TOP OF PAVEMENT OR TO TOP OF TOPSOIL.
13. GRADING SHALL SHALL BE TO A TOLERANCE OF +/- 0.10 FT.
14. CONTRACTOR SHALL GRADE GRASS AREAS, BETWEEN FACE OF BUILDINGS AND BACK OF WALK, TO DRAIN WITH POSITIVE DRAINAGE AWAY FROM BUILDINGS.
15. NO ROCK EXCAVATION IS ANTICIPATED ON THIS PROJECT. SHOULD ROCK BE ENCOUNTERED DURING CONSTRUCTION, NOTIFY THE OWNER'S REPRESENTATIVE.

UTILITY NOTES:

1. ALL UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) UNLESS OTHERWISE NOTED ON THE DRAWINGS.
2. VERIFY THE ELEVATION OF POSSIBLE CONFLICTING UTILITIES PRIOR TO CONSTRUCTION PROPOSED WATER MAINS, SANITARY SEWERS, STORM SEWERS, ETC. ANY CONFLICTS MUST BE IMMEDIATELY BROUGHT TO THE ENGINEER'S ATTENTION.
3. SITEWORK UTILITY CONTRACTOR TO EXTEND ALL PIPING TO WITHIN 5' OF BUILDING AND CAP FOR CONNECTION BY BUILDING UTILITY CONTRACTOR UNLESS OTHERWISE INDICATED. COORDINATE ALL INVERT ELEVATIONS AND PIPING LOCATIONS WITH THE BUILDING PLANS.
4. ALL OPEN EXCAVATIONS SHALL BE PROTECTED WITH SAFETY FENCE, BARRIERS OR BARRICADES IN ACCORDANCE WITH OSHA.
5. CONTRACTOR SHALL REFER TO BUILDING PLANS FOR UTILITY ENTRANCE LOCATIONS, SIZES, AND ELEVATIONS PRIOR TO BEGINNING UTILITY CONSTRUCTION.

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL PROVIDE TEMPORARY EROSION CONTROL, SEDIMENT AND DUST CONTROL, IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF DAVENPORT, IOWA AND SUDAS STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL INCORPORATE ALL EROSION CONTROL FEATURES INTO THE PROJECT PRIOR TO DISTURBING THE SOIL.
3. THE CONTRACTOR SHALL COMPLY WITH THE SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE AND LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT AGAINST EROSION AND DUST POLLUTION ON THIS SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING CONSTRUCTION OR AS A RESULT OF CONSTRUCTION.
4. THE CONTRACTOR SHALL PROTECT ADJOINING PROPERTY INCLUDING PUBLIC UTILITIES, SANITARY SEWER, STORM DRAINAGE SYSTEMS, AND STREETS FROM ANY DAMAGE RESULTING FROM EARTH MOVING ACTIVITIES OR OTHER DEBRIS FROM PROJECT SITE. REPAIR DAMAGE IMMEDIATELY AT NO ADDITIONAL COST.
5. THE CONTRACTOR SHALL PREVENT ACCUMULATION OF EARTH, SILTATION, OR DEBRIS ON ADJOINING PUBLIC OR PRIVATE PROPERTY FROM THE PROJECT SITE. REMOVE ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR PREVENTION.
6. THE CONTRACTOR SHALL PROVIDE TEMPORARY AND/OR PERMANENT SEEDING OF AREAS UPON COMPLETION OF GRADING AS SOON AS PRACTICAL.
7. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL TEMPORARY EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEANING OF SILT CONTROL DEVICES SHALL BEGIN WHEN THE FEATURES HAVE LOST 50% OF THEIR CAPACITY.

PAVING GENERAL NOTES:

1. ALL SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
2. COMPACT SUBGRADE BENEATH PAVEMENTS IN ACCORDANCE WITH GRADING NOTES.
3. GRANULAR SUBBASE FOR PAVEMENTS SHALL MEET THE LIMITS OF GRADATION NO. 14 (MODIFIED SUBBASE), IOWA DOT STANDARD SPECIFICATION FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4120 AND 4123.
4. PROOF-ROLL SUBGRADE WITH A MINIMUM 25 TON G.V.W. TRUCK TO IDENTIFY AREAS OF SOFT OR UNSTABLE SUBGRADE. REMOVE AND REPLACE UNSTABLE AREAS WITH SUITABLE COMPACTED MATERIAL.

PCC PAVEMENT NOTES:

1. PCC PAVING THICKNESS SHALL BE AS NOTED ON THE PLANS.
2. MATERIALS AND CONSTRUCTION FOR PORTLAND CEMENT CONCRETE PAVEMENTS SHALL MEET THE REQUIREMENT OF IOWA DOT STANDARD SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION, LATEST REVISION, SECTION 2301. THE PARAGRAPHS FOR MEASUREMENT AND PAYMENT SHALL NOT APPLY.
3. MINIMUM 28-DAY COMPRESSIVE STRENGTH FOR CONCRETE USED FOR PAVEMENTS SHALL BE 4000 PSI. CONCRETE SHALL BE C-3 OR C-4 WITH TYPE 1 CEMENT. AIR CONTENT SHALL BE 6-1/2% +- 1.5%. LIMESTONE AGGREGATE SHALL BE 1-1/2" MAXIMUM SIZE. AIR ENTRAINMENT ADMIXTURES AND WATER REDUCING ADMIXTURES SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4103. DURABILITY FOR PORTLAND CEMENT CONCRETE SHALL BE CLASS 2. JOINT SEALER SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4136 FOR HOT POURED JOINT SEALER.
4. CURING COMPOUND (WHITE, DARK, OR CLEAR) SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4105. APPLICATION METHOD SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 2301.19.
5. PAVEMENT TIE BARS AND DOWEL BARS SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151. EPOXY COATING, WHEN SPECIFIED, SHALL CONFORM TO IOWA DOT SPECIFICATIONS FOR HIGHWAY AND BRIDGE CONSTRUCTION SECTION 4151038.
6. CURBS SHALL BE CAST INTEGRAL WITH THE CONCRETE PAVEMENT UNLESS NOTED OTHERWISE. EDGES SHALL BE ROUNDED BUT NOT ROLLED.
7. SIDEWALKS SHALL HAVE A CROSS SLOPE OF NO LESS THAN 1.5% AND NO GREATER THAN 2.0%.
8. PCC SIDEWALKS SHALL BE 4 INCHES THICK, EXCEPT AT DRIVEWAYS. THICKNESS OF PCC WALKS AT DRIVEWAYS SHALL MATCH THAT OF THE ADJACENT DRIVEWY. TRANSVERSE CONSTRUCTION JOINTS SHALL BE AT MAXIMUM CENTERS EQUAL TO WIDTH OF WALK AND NO GREATER THAN 6 FEET FOR WALKS WIDER THAN 5 FEET. LONGITUDINAL CONSTRUCTION JOINTS SHALL BE CONSTRUCTED IN SLABS WIDER THAN 8 FEET. PLACE EXPANSION JOINTS WHERE WALK MEETS OTHER WALKS, BACK OF CURBS, FIXTURES, OR OTHER STRUCTURE, AND AT INTERVALS NOT EXCEEDING 50 FEET.
9. ONE INCH PREFORMED FOAM EXPANSION JOINT MATERIAL SONOFLEX 'F' BY SONNEBORN OR APPROVED EQUAL SHALL BE PLACED BETWEEN NEW PAVEMENT CONSTRUCTION AND THE FACES OF BUILDINGS, STOOPS, EXISTING SLABS, AND OTHER FIXTURES, UNLESS NOTED ON THE DRAWINGS. ALL JOINTS SHALL BE SEALED WITH A SELF LEVELING POLYURETHANE SUCH AS SONOLASTIC SL-1 OR APPROVED EQUAL.
10. ALL PCC SHALL BE JOINTED AT 12 FEET O.C. MAXIMUM DISTANCE. JOINTING SHALL BE IN ACCORDANCE WITH SUDAS STANDARD DETAILS.
11. CONSTRUCT 1" EXPANSION JOINTS ON PCC CURBS AT ALL ENDS OF RETURN RADII.

PAVEMENT MARKING NOTES:

1. PAINT PARKING STRIPING AND SIDEWALK CURBS, TRAFFIC DIRECTION ARROWS, HANDICAP SYMBOLS AND FACE OF LIGHT POLE BASES "WHITE" WHERE SHOWN ON PLANS.
2. PAVEMENT MARKINGS SHALL BE FAST DRY TRAFFIC LANE MARKING PAINT CONFORMING TO IDOT STANDARD SPECIFICATIONS, LATEST EDITION, SECTION 4183.03. REFLECTORIZED SPHERES FOR TRAFFIC PAINT SHALL MEET THE REQUIREMENTS OF IDOT STANDARD SPECIFICATIONS, SECTION 4184.
3. PAINTING SHALL NOT BEGIN UNTIL PAVEMENT SURFACE HAS BEEN POWER BROOMED AND HAND SWEPT AS NECESSARY TO REMOVE LOOSE MATERIALS AND DIRT; AND NOT BEFORE ADEQUATE CURING TIME HAS BEEN OBTAINED ON THE PAVEMENT. MINIMUM CURING TIME FOR ASPHALT PAVING SHALL BE 7 DAYS.
4. APPLY PAINT AT MANUFACTURER'S RECOMMENDED RATES IN TWO SEPARATE COATS FOR ALL PAVEMENT MARKINGS. ALL STRIPES ARE 4 INCHES WIDE UNLESS OTHERWISE INDICATED. HANDICAP SYMBOLS SHALL CONFORM TO APPLICABLE A.D.A. REGULATIONS.

No.	Revision	Date
1.		
2.		
3.		

Book:
Scale: NONE
7/10/2017
Drawn: DLS
Checked:
Reviewed:

BRAIN CONSULTING ENGINEERS, INC.

Title: GENERAL NOTES, LEGEND, AND BENCHMARKS
FREDDY'S FROZEN CUSTARD

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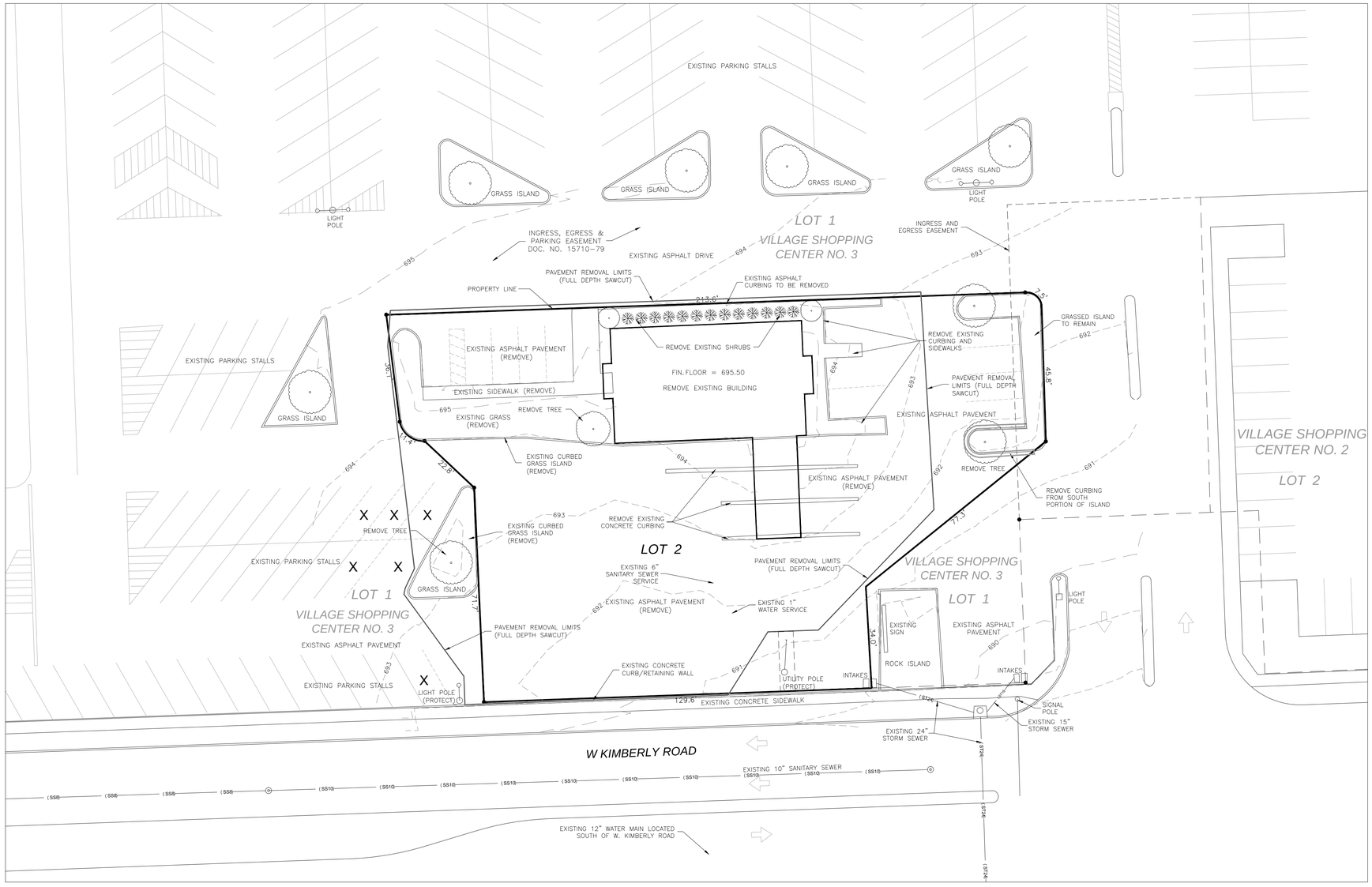
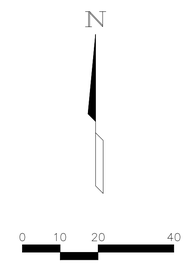
Project No. 296915-10





REMOVAL NOTES:

1. DISPOSE OF ALL MATERIALS TO BE REMOVED FROM THE SITE IN ACCORDANCE WITH LOCAL CODES.
2. FULL DEPTH SAWCUT ANY PAVEMENTS FOR REMOVALS.
3. EXISTING SANITARY SEWER AND WATER SERVICES ARE TO REMAIN FOR USE BY THE NEW FACILITY IF THEY ARE DETERMINED TO BE IN SATISFACTORY CONDITION.

X EXISTING OFF-SITE PARKING STALL TO BE ELIMINATED

No.	Revision	Date
1.		
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3.		

Scale: 1" = 20'

Book:

7/10/2017

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Reviewed:

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EXISTING CONDITIONS AND REMOVALS

FREDDY'S FROZEN CUSTARD

Title:

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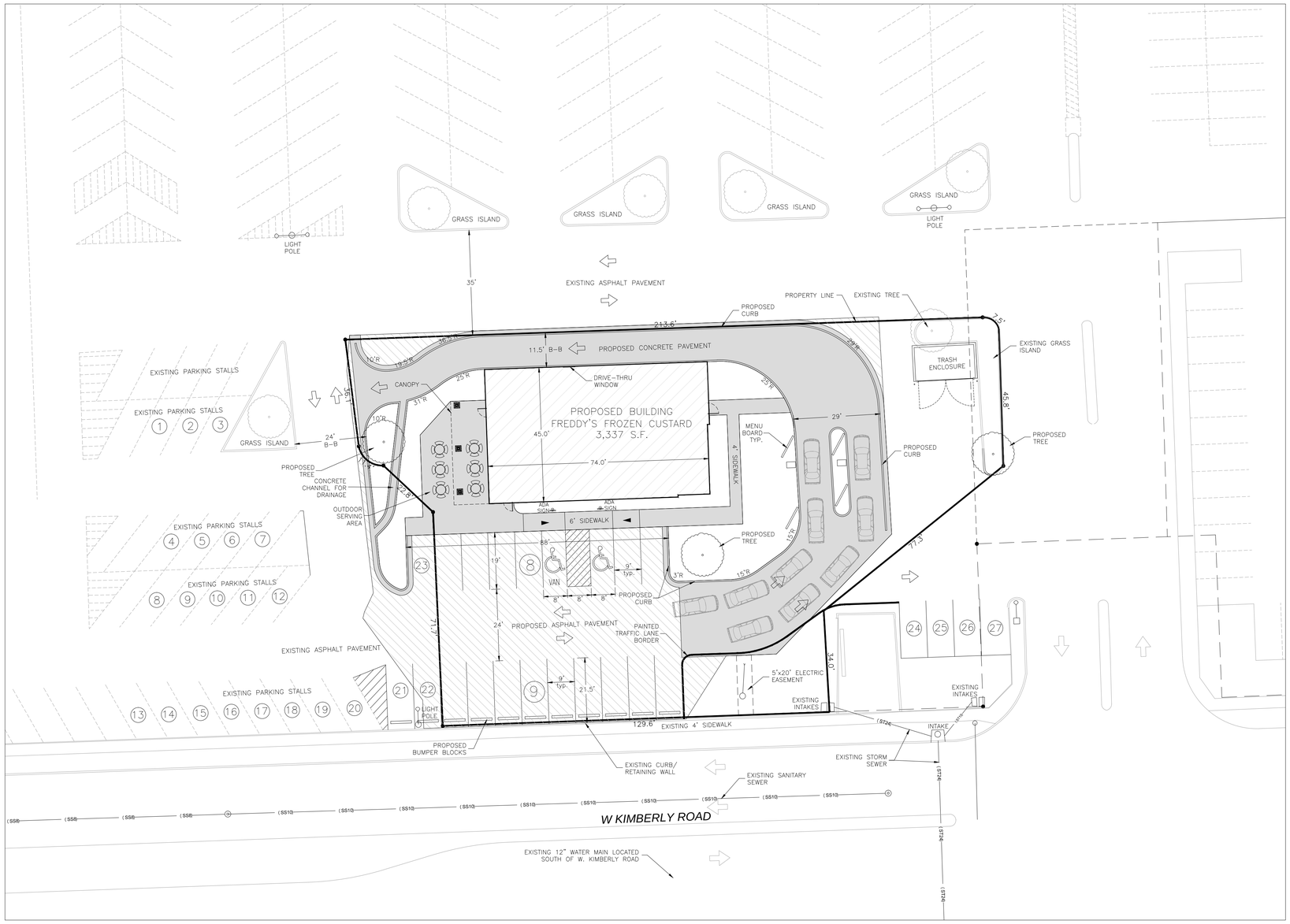
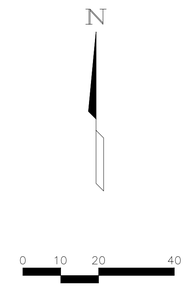
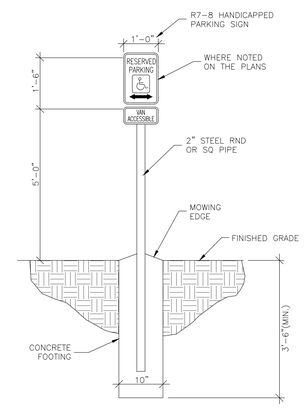
Project No. 498617-10





NOTES:

1. EXISTING LOCATION, SIZE, AND CONDITION OF EXISTING SANITARY SEWER AND WATER SERVICES HAS YET TO BE DETERMINED.



NOTE:
INSTALL SIGNS 12" BEHIND PCC SIDEWALK AT THE CENTER OF THE HANDICAPPED PARKING SPACES, OR ON BUILDING WHERE REQUIRED.

HANDICAPPED PARKING SIGN
NOT TO SCALE

No.	Revision	Date
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Book:
Scale: 1" = 20'
7/10/17
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BRAUN ENGINEERING, INC.
CONSULTING CIVIL & STRUCTURAL ENGINEERS

SITE AND UTILITY PLAN
FREDDY'S FROZEN CUSTARD

File:
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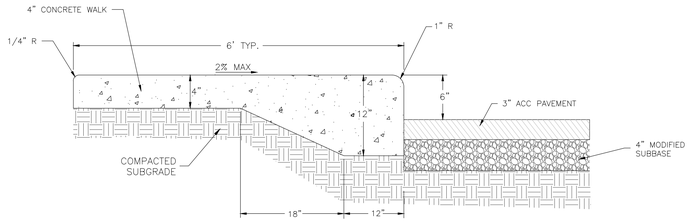
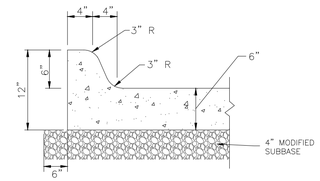
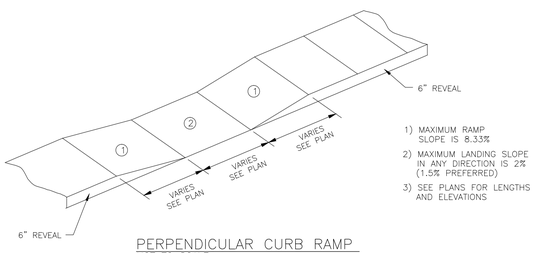


THICKENED EDGE SIDEWALK DETAIL
NO SCALE

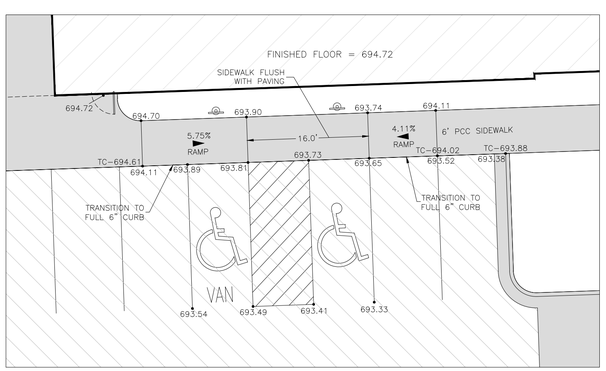


6 INCH INTEGRAL CURB
TYPE 1

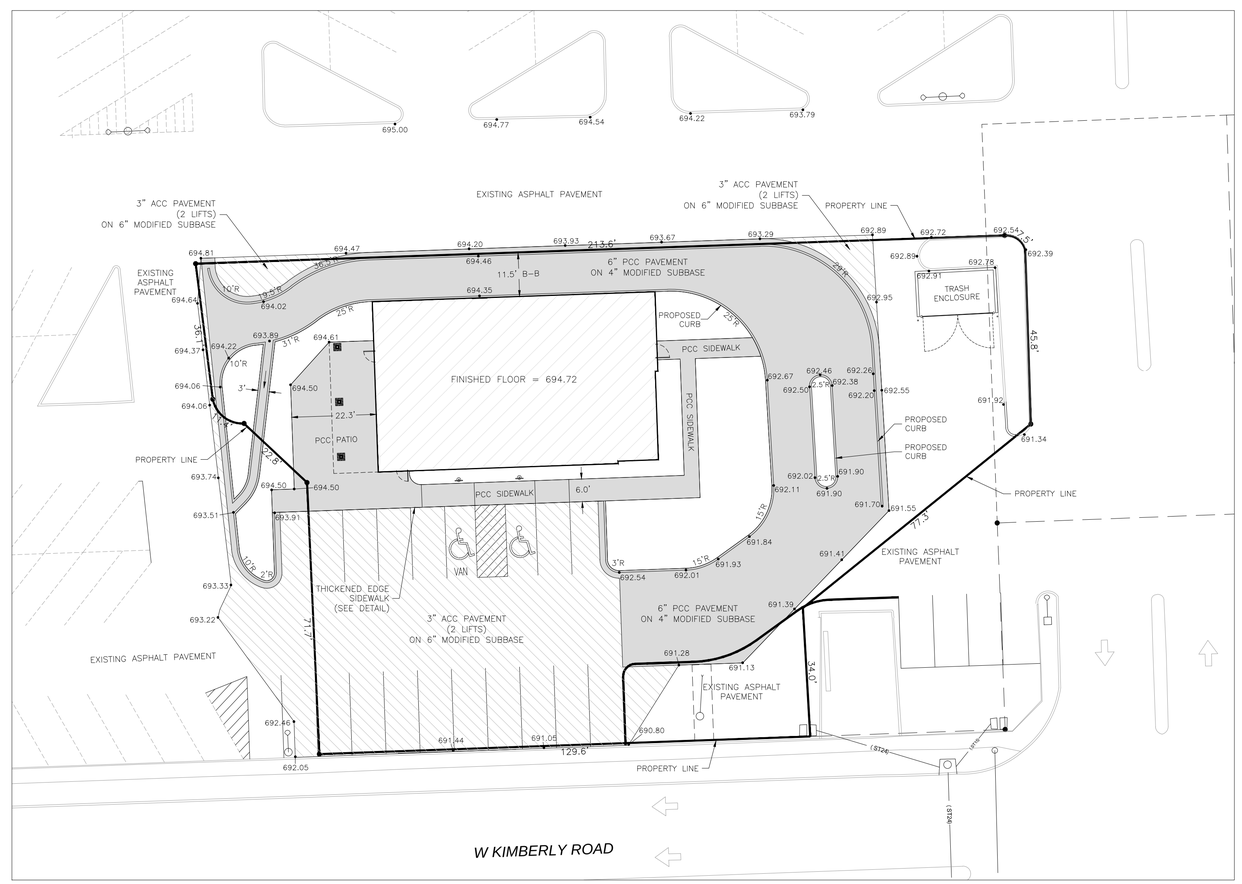


1) MAXIMUM RAMP SLOPE IS 8.33%
2) MAXIMUM LANDING SLOPE IN ANY DIRECTION IS 2% (1.5% PREFERRED)
3) SEE PLANS FOR LENGTHS AND ELEVATIONS

PERPENDICULAR CURB RAMP
NOT TO SCALE



ADA ACCESS DETAIL
1" = 10'



PAVING PLAN
1" = 20'

N

0 10 20 40

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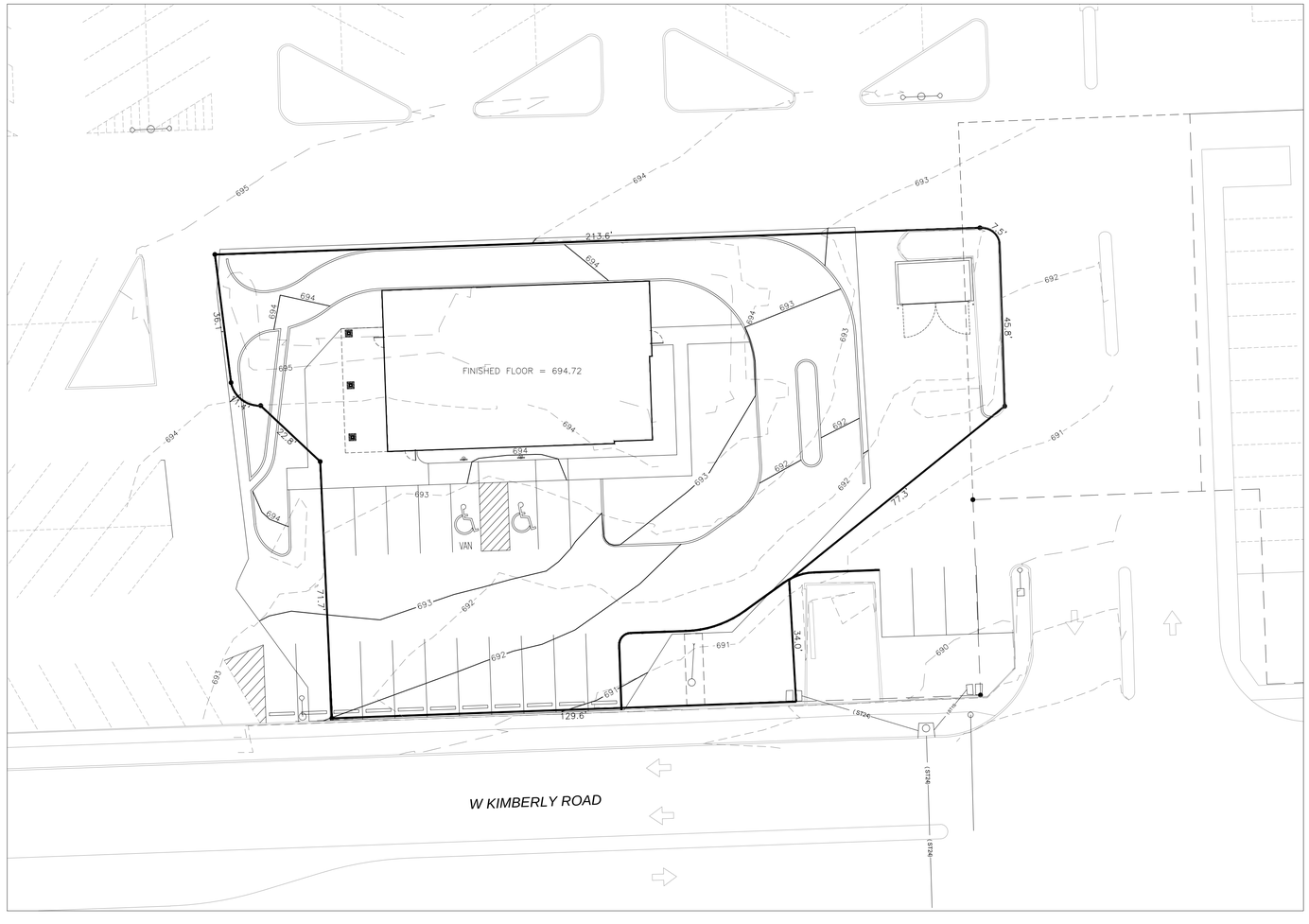
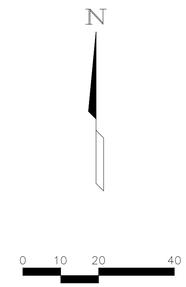
Scale: 1" = 20'
Book:
Drawn: DLS 7/10/17
Checked:
Reviewed:

BRAUN ENGINEERING, INC.
CIVIL ENGINEERS • LAND SURVEYORS

PAVING PLAN
FREDDY'S FROZEN CUSTARD

Title:
Page C5 of
Project No. 498617-10





NOTES:

1. CONTOURS INDICATE TOP OF PAVEMENT ELEVATION.

No.	Revision	Date
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Scale: 1" = 20'

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Drawn: DLS 7/10/17

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BRAUN INTERTEC CORPORATION
ENGINEERING, INC.

GRADING PLAN

FREDDY'S FROZEN CUSTARD

File:

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Project No. 498617-10

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD, DAVENPORT
2017
CONSTRUCTION DRAWINGS

CERTIFICATION

STEPHEN L. EMERSON
03906
IOWA
REGISTERED ARCHITECT

The portion of the technical submission described below has been prepared under the direct supervision and responsible charge of the undersigned.

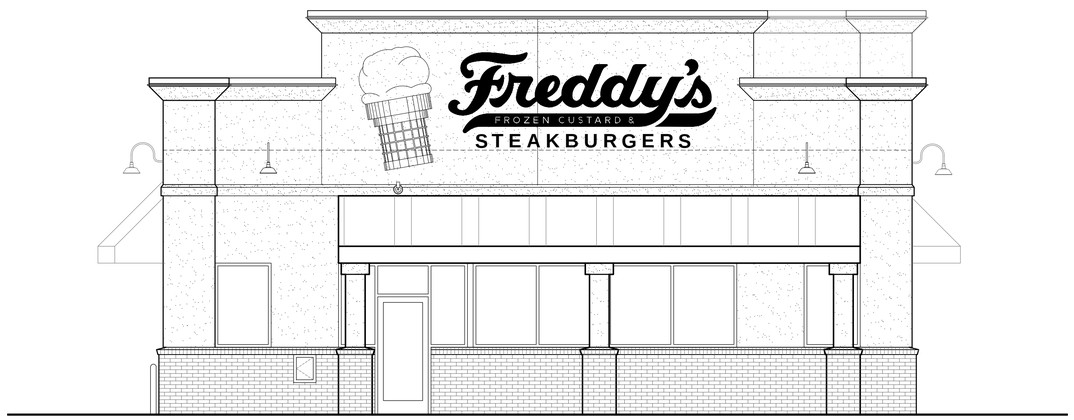
Signature:
STEPHEN L. EMERSON

Discipline: Architectural
Iowa Registration No.: 03906
Registration expiration date: June 30, 2018
Sheets covered by this seal: All "G, and A" Sheets

Date of Issuance: June 30, 2017

ARCHITECTURAL

ELEVATION



SHEET INDEX

GENERAL

G000	COVER SHEET
G001	GENERAL NOTES, SYMBOLS, & GENERAL ADA REQUIREMENTS
G002	GENERAL ADA REQUIREMENTS & RESPONSIBILITIES

ARCHITECTURAL

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A102	ROOF PLAN
A103	MAIN LEVEL REFLECTED CEILING PLAN
A104	MAIN LEVEL FINISH FLOOR PLAN
A105	LIFE SAFETY PLAN
A110	MAIN LEVEL FURNITURE AND EQUIPMENT PLAN
A111	FLOOR DRAIN LOCATION PLAN
A120	TRASH ENCLOSURE PLAN, EXTERIOR ELEVATION, SECTIONS & DETAILS
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS
A301	BUILDING SECTIONS
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A303	WALL SECTIONS
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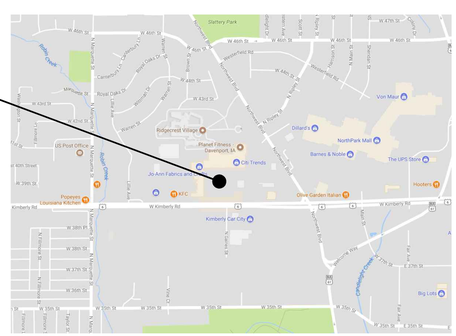
A501	WINDOW DETAILS
A502	DETAILS
A503	COUNTER DETAILS
A504	DETAILS
A600	DOOR & FINISH SCHEDULES

SITE MAP

PROJECT LOCATION



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CONTACT:
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EMAIL: lorif@hockenbergs.com

CODE INFORMATION

INTERNATIONAL BUILDING CODE 2003

CONSTRUCTION TYPE : VB
OCCUPANCY : A-2
ALLOWABLE AREA = 6,000 SF
ACTUAL AREA = 3,200 SF
OCCUPANCY = 158 PERSONS
FULLY SPRINKLED TO NFPA 13
ALLOWABLE TRAVEL DISTANCE = 250'-0"
REQUIRED EXITS = 2
PROVIDED EXITS = 3

REQUIRED PLUMBING FIXTURES:
2 TOILET/URINAL PER SEX
2 LAVATORY PER SEX

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

ASPECT architecture:design

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DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

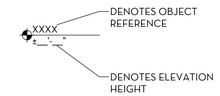
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
COVER SHEET

DRAWING
G000

STANDARD ABBREVIATIONS

@	AT
&	AND
A	AREA
ABV	ABOVE
ACT	ACOUSTICAL TILE
ADDL	ADDITIONAL
ADDUM	ADDENDUM
ADJ	ADJUSTABLE
AFF	ABOVE FINISH FLOOR
AGGR	AGGREGATE
ALT	ALTERNATE
ALUM	ALUMINUM
ANOD	ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECT‹URAL›
AVG	AVERAGE
B-B	BACK TO BACK
BD	BOARD
BD FT	BOARD FOOT
BF	BOTH FACES
BL	BUILDING LINE
BLDG	BUILDING
BLK	BLOCK
BLKG	BLOCKING
BLW	BELOW
BM	BEAM
BOS	BOTTOM OF STEEL
BOT	BOTTOM
BRG	BEARING
BSMT	BASEMENT
BTWN	BETWEEN
BTR	BETTER
BVL	BEVELED
BW	BOTH WAYS
C-C	CENTER TO CENTER
CAB	CABINET
CHAN	CHANNEL
CJ	CONTROL JOINT
CL	CENTER LINE
CLMN	COLUMN
CLNG	CEILING
CLOS	CLOSET
CLR	CLEAR‹ANCE›
CMU	CONCRETE MASONRY UNIT
COMB	COMBINATION
CONC	CONCRETE
CONST	CONSTRUCTION
CONT	CONTINUOUS
CONTR	CONTRACT‹OR›
CORR	CORRIDOR
CPT	CARPET‹ED›
CSI	CONSTRUCTION SPECIFICATION INSTITUTE
CT	CERAMIC TILE
CTR	CENTER; COUNTER
DBL	DOUBLE
DEMO	DEMOLITION
DIA	DIAMETER
DIAG	DIAGONAL
DIM	DIMENSION
DIV	DIVIDE‹D›
DN	DOWN
DR	DOOR; DRAIN
DS	DOWN SPOUT
DTL	DETAIL
DWG ‹S›	DRAWING; DRAWINGS
E	EAST
EA	EACH
EC	ELECTRICAL CONTRACT‹OR›
EF	EACH FACE
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EJ	EXPANSION JOINT
ELEC	ELECTRIC‹AL›
ELEV	ELEVATOR; ELEVATION
ENC	ENCLOSE; ENCLOSURE
ENT	ENTRANCE
EQ	EQUAL
EQUIP	EQUIPMENT
EW	EACH WAY
EWC	ELECTRIC WATER COOLER
EXCAV	EXCAVATE
EXIST	EXISTING
EXP	EXPOSED
EXT	EXTERIOR
FD	FLOOR DRAIN
FDN	FOUNDATION
FE	FIRE EXTINGUISHER
FF	FINISH FLOOR
FIN	FINISH
FLR	FLOOR
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STEEL/STONE
FRM	FRAME‹D›
FRMG	FRAMING
FT or '	FOOT
FTG	FOOTING
FUR	FURRED; FURRING
FURN	FURNACE
FUT	FUTURE
FV	FIELD VERIFY
FXT	FIXTURE
GA	GAGE; GAUGE
GALV	GALVANIZED
GB	GRAB BAR; GYPSUM BOARD
GC	GENERAL CONTRACTOR
GF	GRANULAR FILL
GL	GLASS; GLAZING
GRD	GRADE
GYP	GYPSUM
HD	HEAD
HDW	HARDWARE
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR; HANDRAIL
HTG	HEATING
HVAC	HEATING -VENTING -AIR CONDITIONING
IN or "	INCH‹ES›
INCL	INCLUDE‹D›; INCLUDING
INSUL	INSULATE‹D›; INSULATION
INT	INTERIOR
JB	JAMB
JAN CLOS	JANITOR'S CLOSET
JST	JOIST
JT	JOINT
KIT	KITCHEN
L	LONG; LENGTH
LAM	LAMINATE‹D›
LAV	LAVATORY
LH	LEFT HAND
LIN	LINEAR
LS	LIMESTONE
LT	LIGHT
LTL	LINTEL
LVR	LOUVER
LVT	LUXURY VINYL TILE
MAS	MASONRY
MAX	MAXIMUM
MEM	MEMBRANE
MC	MECHANICAL
	CONTRACT‹OR›
MECH	MECHANICAL
MTL	METAL
MEZZ	MEZZANINE
MFG	MANUFACTURED; MANUFACTURING; MANUFACTURER
MIN	MINIMUM
MISC	MISCELLANEOUS
MIR	MIRROR
MLD	MOLD‹ING›
MOD	MODULAR
MOV	MOVABLE
MR	MOISTURE RESISTANT
MULL	MULLION
N	NORTH
NIC	NOT IN CONTRACT
NOM	NOMINAL
NTS	NOT TO SCALE
NUM or #	NUMBER
OA	OVERALL
OC	ON CENTER‹S›
OH	OVERHEAD
OHG	OVERHANG
OPNG	OPENING
OPP	OPPOSITE
PAR	PARALLEL
PBD	PARTICLE BOARD
PC	PRECAST
PERP	PERPENDICULAR
PFB	PREFABRICATED
PL	PLATE; PROPERTY LINE
PLAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLWD	PLYWOOD
PROJ	PROJECT‹OR›
PT	POINT; PAINT‹ED›
PTN	PARTITION
R	RISER; RADIUS
REC	RECESSED; RECOMMENDATION
RECP	RECEPTACLE
REF	REFER‹ENCE›
REQD	REQUIRED
REV	REVISIONS; REVISE‹ED›
RF	ROOF
REFIG	REFRIGERATOR
RD	ROAD; ROOF DRAIN
RH	RIGHT HAND
RL	RAILING
RM	ROOM
RO	ROUGH OPENING
RVS	REVERSE‹D›
S	SOUTH
SB	SPLASH BLOCK
SC	SCALE
SCHD	SCHEDULE
SCN	SCREEN
SDG	SIDING
SECT	SECTION
SF	SQUARE FOOT
STRUC	STRUCTURE
SHT	SHEET
SIM	SIMILAR
SOF	SOFFIT
SPEC	SPECIFICATION‹S›
SQ	SQUARE
SS	STAINLESS STEEL
STD	STANDARD
STL	STEEL
STN	STONE; STAIN‹ED›
STOR	STORAGE
THK	THICK‹NESS›
THRES	THRESHOLD
TEMP	TEMPERED; TEMPORARY
TOB	TOP OF BEARING
TOC	TOP OF CONCRETE
TOM	TOP OF MASONRY
TOS	TOP OF STEEL/SLAB
TOW	TOP OF WALL
TYP	TYPICAL
T&B	TOP AND BOTTOM
UNEX	UNEXCAVATED
UNFIN	UNFINISHED
UNO	UNLESS NOTED OTHERWISE
UR	URINAL
VB	VINYL BASE; VAPOR BARRIER
VCT	VINYL COMPOSITION TILE
VERT	VERTICAL
VEST	VESTIBULE
VIN	VINYL
VNR	VENEER
VT	VINYL TILE
W	WEST
W/	WITH
W/O	WITHOUT
WC	WATER CLOSET
WD	WOOD
WGT	WEIGHT
WH	WATER HEATER
WP	WATERPROOF‹ING›
WSCT	WAINSCOT



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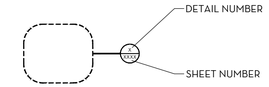
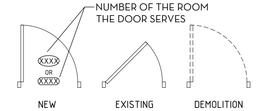
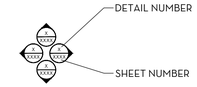


PLAN DETAIL REFERENCE

ROOM INDENTIFICATION



DOOR IDENTIFICATION



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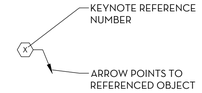
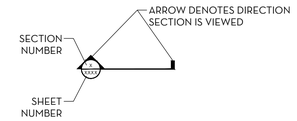
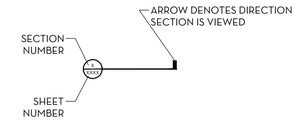


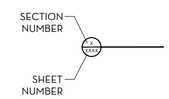
KEYNOTE REFERENCE



BULDING SECTION REFERENCE



WALL SECTION REFERENCE



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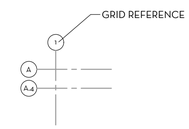
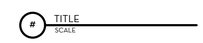
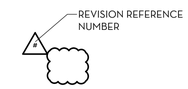


STRUCTURAL GRID



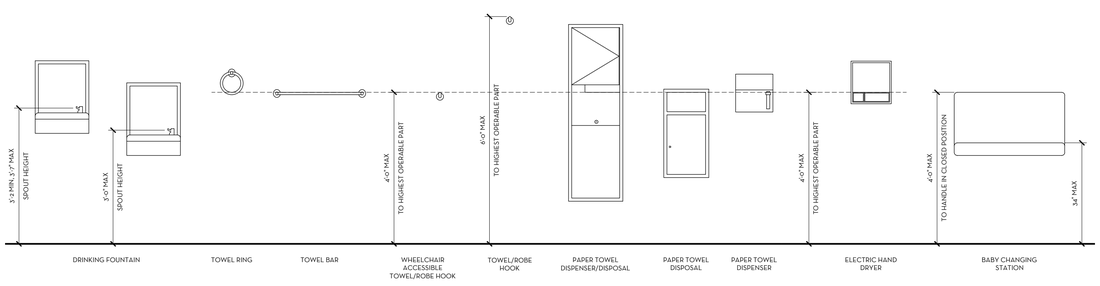
DRAWING REFERENCE

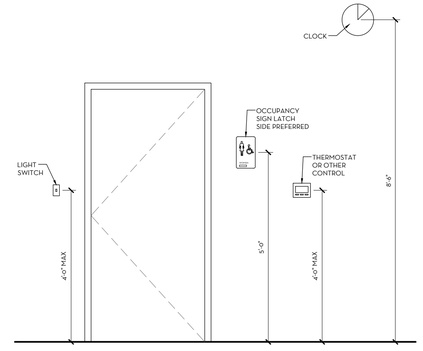


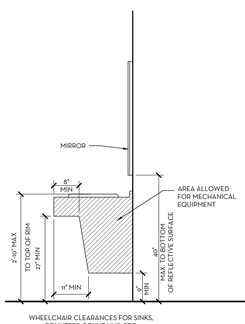
DRAWING REVISION

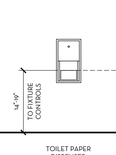
STANDARD ADA REQUIREMENTS

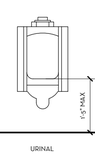
NOTE: FIXTURES ARE SHOWN TO ILLUSTRATE INSTALLATION HEIGHTS AND CLEARANCES. NOT ALL FIXTURES MAY BE USED

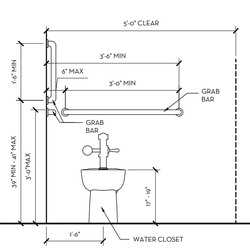


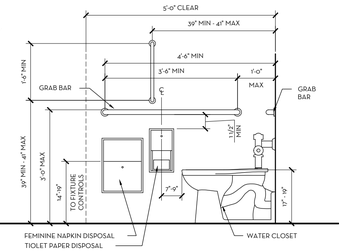












MATERIAL LEGEND

- COURSE POROUS MATERIAL/ GRANULAR FILL
- RIPRAP
- FINE POROUS MATERIAL/GYPSUM BOARD/EIFS
- CONCRETE TOPPING SLAB
- ASPHALT
- BEDROCK/SHAKE SHINGLES
- UNDISTURBED EARTH/GRADE
- COMPACTED FILL MATERIAL
- CONCRETE
- BRICK MASONRY
- CONCRETE MASONRY UNIT (PLAN)
- CONCRETE MASONRY UNIT (SECTIONS, DETAILS)
- STONE
- BATT INSULATION (SECTIONS, DETAILS)
- RIGID INSULATION
- CAVITY DRAINAGE MAT
- GROUT
- PLYWOOD
- PARTICLE BOARD
- ACOUSTICAL TILE
- GRATING
- CHECKER PLATE/DIAMOND PLATE
- FINISHED WOOD
- STEEL
- ALUMINUM
- BRASS/BRONZE
- CERAMIC TILE
- GLASS
- CONTINUOUS WOOD FRAMING
- NON-CONTINUOUS WOOD FRAMING
- CONCRETE MASONRY UNIT (ELEVATIONS)
- BRICK (ELEVATIONS)
- METAL SIDING & ROOFING (ELEVATIONS)
- ASPHALT SHINGLES (ELEVATIONS)

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

ASPECT architecture·design

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DRAWN BY:	JAS
APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
GENERAL NOTES, SYMBOLS, & GENERAL ADA REQUIREMENTS

DRAWING
G001

ACCESSIBILITY NOTES:

IT IS THE RESPONSIBILITY OF THE TENANT FOR THIS NEW FACILITY TO COMPLY WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBILITY

THE EXISTING PRIMARY PATH OF TRAVEL, RESTROOM FACILITIES, DRINKING FOUNTAINS & PUBLIC TELEPHONES ARE THE STANDARDS FOR ACCESSIBILITY.

CORRIDORS / AISLES

EVERY CORRIDOR SERVING AN OCCUPANT LOAD OF 10 OR MORE SHALL BE NO LESS THAN 44" IN WIDTH.
CORRIDORS SERVING AN OCCUPANT LOAD OF LESS THAN 10 SHALL NOT BE LESS THAN 36" IN WIDTH.
CIRCULATION AISLES & PEDESTRIAN WAYS SHALL BE SIZED ACCORDING TO FUNCTIONAL REQUIREMENTS & IN NO CASE SHALL BE LESS THAN 36" CLEAR WIDTH.
EVERY PORTION OF EVERY BUILDING IN WHICH ARE INSTALLED SEATS, TABLES, EQUIPMENT OR SIMILAR MATERIALS SHALL BE PROVIDED WITH AISLES LEADING TO AN EXIT.

FLOORS / LEVELS

GROUND & FLOOR SURFACES ALONG ACCESSIBLE ROUTES & IN ACCESSIBLE ROOMS & SPACES, INCLUDING FLOORS, WALKS, RAMPS, STAIRS, & CURB RAMPS, SHALL BE STABLE, FIRM, & SLIP RESISTANT.
CHANGES IN LEVEL UP TO A 1/4" MAY BE VERTICAL & WITHOUT EDGE TREATMENT.
CHANGES IN LEVEL BETWEEN 1/4" & 1/2" SHALL BE ACCOMPLISHED BY MEANS OF A RAMP NO STEEPER THAN 1 VERTICAL TO 2 HORIZONTAL.
IF CARPET OR CARPET TILES IS USED ON A FLOOR SURFACE, IT SHALL BE SECURELY ATTACHED. HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD & HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL CUT PILE OR LEVEL CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE HEIGHTS SHALL BE 1/2". EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES & HAVE TRIM ALONG THE ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET TRIM SHALL COMPLY WITH TITLE 24 REQUIREMENTS.

CONTROLS / OPERATING MECHANISMS

THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSER, RECEPTACLES, & OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN 48" OF THE FLOOR BUT NOT LOWER THAN 15" IF FORWARD APPROACHED & WITHIN 54" BUT NOT LOWER THAN 9" IF SIDE APPROACHED.
CONTROLS & OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE TIGHT GRASPING, PUNCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS OF FORCE.
FAUCET CONTROLS & OPERATING MECHANISM FOR KITCHEN SINKS SHALL BE OPERABLE WITH ONE HAND & SHALL NOT REQUIRE GRASPING, PINCHING, OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE FAUCET CONTROLS & OPERATING MECHANISM FOR KITCHEN SINKS SHALL BE NO GREATER THAN 5 PLF. LEVER OPERATED, PUSH-TYPE, AND ELECTRONICALLY CONTROLLED MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

HAZARDS / PROTRUDING OBJECTS

OBJECTS PROTRUDING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" & 80" ABOVE THE FINISHED FLOOR SHALL PROTRUDE ANY AMOUNT NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS, OR AISLES.
OBJECTS WITH THEIR LEADING EDGES AT OR BELOW 27" ABOVE THE FINISHED FLOOR MAY PROTRUDE ANY AMOUNT INTO WALKS, HALLS, CORRIDORS, PASSAGEWAYS OR AISLES.
FREESTANDING OBJECTS MOUNTED ON POSTS OR PYLONS MAY OVERHANG 12" MAXIMUM FROM 27" TO 80" ABOVE THE GROUND OR FINISHED FLOOR.
PROTRUDING OBJECTS SHALL NOT REDUCE THE CLEAR WIDTH OF AN ACCESSIBLE ROUTE OR MANEUVERING SPACE.
WALKS, HALLS, CORRIDORS, PASSAGEWAYS, AISLES OR OTHER CIRCULATION SPACES SHALL HAVE 80" MINIMUM CLEAR HEAD ROOM.
ANY OBSTRUCTION THAT OVERHANGS A PEDESTRIAN WAY SHALL BE A MINIMUM OF 80" ABOVE THE WALKING SURFACE AS MEASURED FROM THE BOTTOM OF THE OBSTRUCTION.

SPACE ALLOWANCE / REACH RANGES

THE SPACE REQUIRED FOR A WHEELCHAIR TO MAKE A 180 DEGREE TURN IS A CLEAR SPACE OF 60" DIAMETER OR A T-SHAPED SPACE.
IF THE CLEAR FLOOR SPACE ONLY ALLOWS FORWARD APPROACH TO AN OBJECT, THE MAXIMUM HIGH FORWARD REACH ALLOWED SHALL BE 48". THE MINIMUM LOW FORWARD REACH IS 15", IF THE HIGH FORWARD REACH IS OVER AN OBSTRUCTION, REACH & CLEARANCES SHALL BE PER CODE.
IF THE CLEAR FLOOR SPACE ALLOWS PARALLEL APPROACH BY A PERSON IN A WHEELCHAIR, THE MAXIMUM HIGH SIDE REACH ALLOWED SHALL BE 54" & THE LOW SIDE REACH SHALL BE NO LESS THAN 9" ABOVE THE FLOOR AS SHOWN. IF THE SIDE REACH IS OVER AN OBSTRUCTION, THE REACH & CLEARANCES SHALL BE PER CODE.

FIXED OR BUILT-IN SEATING, TABLES & COUNTERS

WHERE FIXED OR BUILT-IN SEATING, TABLES OR COUNTERS ARE PROVIDED FOR THE PUBLIC, & IN GENERAL EMPLOYEE AREAS, 5% BUT NOT LESS THAN 1 MUST BE ACCESSIBLE.
THE TOPS OF TABLES & COUNTERS SHALL BE 28" TO 34" FROM THE FLOOR OR GROUND.
IF SEATING FOR PEOPLE IN WHEELCHAIRS IS PROVIDED AT FIXED TABLES OR COUNTERS, KNEE SPACES AT LEAST 27" HIGH, 30" WIDE, & 19" DEEP SHALL BE PROVIDED. NOT OVERLAP KNEE SPACE BY MORE THAN 19".
WHERE A SINGLE COUNTER CONTAINS MORE THAN ONE TRANSACTION STATION, SUCH AS A BANK COUNTER WITH MULTIPLE TELLER WINDOWS OR A RETAIL SALES COUNTER WITH MULTIPLE CASH REGISTER STATIONS, AT LEAST 5% BUT NEVER LESS THAN 1, OF EACH TYPE OF STATION SHALL BE LOCATED AT A SECTION OF COUNTER THAT IS AT LEAST 36" LONG AND NO MORE THAN 28" TO TO 34" HIGH.

SIGNS / IDENTIFICATION

THE INTERNATIONAL SYMBOL OF ACCESSIBILITY SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND. THE BLUE SHALL BE EQUAL TO COLOR NO 15090 IN FEDERAL STANDARD 599B.
LETTER & NUMBERS ON SIGNS SHALL HAVE WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 & 1:1 & A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 & 1:10.
CHARACTERS & NUMBERS ON SIGNS SHALL BE SIZED ACCORDING TO THE VIEWING DISTANCE FROM WHICH THEY ARE TO BE READ. THE MINIMUM HEIGHT IS MEASURED USING AN UPPER CASE X. LOWER CASE CHARACTERS ARE PERMITTED. FOR SIGNS SUSPENDED OR PROJECTED ABOVE THE FINISH FLOOR. THE MINIMUM CHARACTER HEIGHT SHALL BE 3".
CHARACTERS & SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND, EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
ALL BUILDING ENTRANCES THAT ARE ACCESSIBLE TO AN USABLE BY PERSONS WITH DISABILITIES & AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY & WITH ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING PEDESTRIAN WAYS.

ELECTRICAL

THE CENTER OF THE ELECTRICAL & COMMUNICATION RECEPTACLE OUTLETS SHALL BE INSTALLED NOT LESS THAN 15" ABOVE THE FLOOR OR WORKING PLATFORM.
THE CENTER GRIP OF THE OPERATING HANDLE OF CONTROLS OR SWITCHES INTENDED TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA TO CONTROL LIGHTING & RECEPTACLE OUTLETS, APPLIANCES, OR COOLING, HEATING, AND VENTILATING EQUIPMENT SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR OR WORKING PLATFORM.
THE CENTER OF THE FIRE ALARM INITIATING DEVICES (PULL STATIONS) SHALL BE LOCATED 48" ABOVE THE LEVEL OF THE FLOOR, WORKING PLATFORM, GROUND SURFACE, OR SIDEWALK.
THE INSTALLATION OF FIRE ALARM EQUIPMENT & SYSTEMS IN ANY OCCUPANCY WITHIN THE SCOPE OF THESE REGULATIONS SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE FIRE CODE.

RESPONSIBILITIES

*NOTE: ALL ITEMS OF WORK ARE TO BE PROVIDED BY THE CONTRACTOR EXCEPT AS NOTED OTHERWISE IN THIS SCHEDULE

WORK SCOPE ITEM	OWNER FURNISH	OWNER INSTALL	VENDOR INSTALL	GC FURNISH	GC INSTALL	N/A	REMARKS
1000 GENERAL							
BUILDERS RISK -PROP INS					X		
CONSTRUCTION FACILITIES & TEMPORARY CONTROLS					X		
TEMPORARY UTILITIES					X		
PROGRESS & FINAL CLEAN-UP					X		
UNLOADING/STORAGE OF EQUIP & BOOTH PACKAGE					X		
6000 WOOD & PLASTICS							
INTERIOR ARCHITECTURAL CABINETS & COUNTERTOPS	X				X		GC TO PROVIDE ALL REQUIRED DIMENSIONS TO WOOTEN
10000 SPECIALTIES							
ARTIFACTS DECORATION	X				X		
INTERIOR MENU BOARDS	X				X		
BUILDING SIGNAGE & AWNINGS	X		X				GC TO PROVIDE FINAL CONNECTIONS
SMALLWARES	X	X					
FIRE EXTINGUISHERS & CABINETS				X	X		LOCATION TBD BY FIRE MARSHALL -GC TO PROVIDE 2 MINIMUM
SOAP DISPENSERS	X				X		
TOWEL DISPENSERS	X				X		
TOILET PAPER DISPENSERS	X				X		
ELECTRIC HAND DRYER	X				X		
ALL OTHER TOILET ACCESSORIES IN TOILETS	X				X		
TRASH RECEPTACLE	X				X		
ADA IDENTIFYING SIGNAGE				X	X		RESTROOMS
ADA IDENTIFYING DEVICES				X	X		
BABY CHANGING SYSTEM				X	X		
FLAG POLE & LIGHTS	X		X				ELECTRICAL CIRCUIT TO LIGHTS BY EC -SEE GENERAL NOTES
11000 EQUIPMENT							
FOOD SERVICE EQUIPMENT	X				X		GC TO PROVIDE FINAL CONNECTIONS
OFFICE EQUIPMENT	X				X		GC TO PROVIDE FINAL CONNECTIONS
OFFICE SHELVING, STANDARDS & DESK				X	X		
KITCHEN SHELVING (WALL)	X		X				
KITCHEN MONITOR BRACKETS	X		X				
STAINLESS CORNER GUARDS	X				X		
STAINLESS PANELS IN COOK LINE	X				X		
ROOF LADDER				X	X		
DRIVE-UP WINDOW(S) & AIR CURTAIN				X	X		
CUSTARD MACHINE	X				X		CUSTARD MACHINE, CUSTARD MACHINE CONDENSER, EQUIP LINES & REFRIGERANT BY MACHINE SUPPLIER. MACHINE SUPPLIER IS RESPONSIBLE FOR PROVIDING A FULLY OPERATIONAL UNIT. GC IS RESPONSIBLE FOR ROOFING & FLASHING ONLY. (INCLUDING INSTALL) OWNER TO PROVIDE FINAL START UP
12000 FURNISHINGS							
HIGH TOP TABLES	X				X		
TABLES	X				X		
BAR STOOLS	X				X		
CHAIRS	X				X		
SITE BENCHES	X				X		EXTERIOR PATIO TABLES
SITE MENU BOARDS	X				X		
SITE DIRECTIONAL SIGNAGE	X				X		
SAFE	X				X		GC TO BOLT TO FLOOR
DECORATIVE TILE BANDS	X				X		
WALK-OFF MATS RECESSED IN SLAB ENTRY							N/A
15000 MECHANICAL							
MAKE UP AIR UNITS	X				X		REFER TO SCHEDULES ON MECHANICAL SHEETS
EXHAUST HOODS & THEIR SWITCHES	X				X		
RESTROOM EXHAUST FANS							PROVIDED & INSTALLED BY ELECTRICAL CONTRACTOR MECHANICAL CONTRACTOR TO MAKE DUCTWORK CONNECTION
ANSUL SYSTEM	X				X		CALL KITCHEN EQUIP SUPPLIER TO ARRANGE FINAL INSTALL
GRILLES, REGISTERS & DIFFUSERS				X	X		
DUCTWORK				X	X		
ROOFTOP UNITS				X	X		
SMOKE DETECTORS IN DUCTWORK				X	X		
CONDENSER RACK & CURB				X	X		
ALL NECESSARY ACCESS PANELS				X	X		
PLUMBING SYSTEM, FIXTURES				X	X		
MOP SINK, FAUCET & BASIN				X	X		CHEMICAL SYSTEM BY OWNER
REFRIGERATION EQUIPMENT (WALK-IN)				X	X		GC TO PROVIDE ALL CHASES, LINES, CONNECTIONS, CONDENSER & REFRIGERANT. GC TO PROVIDE FULLY OPERATIONAL UNIT INCLUDING ROOFING, CURBS & FLASHING
WALK-IN COOLER/FREEZER	X				X		
FIRE SPRINKLER DESIGN/SYSTEM				X	X		
16000 ELECTRICAL							
LIGHTING FIXTURES	X				X		
POS SYSTEM	X		X				GC TO PROVIDE ALL CONDUIT, PULL ALL WIRE & PROVIDE TERMINATION
LAMPS	X				X		
SWITCHES, PANELS & BREAKERS				X	X		
A/V EQUIPMENT, MUZAK, SATELLITE	X		X				GC TO PROVIDE CONDUIT WITH PULL STRING
ELECTRICAL SERVICE/SYSTEM				X	X		GC TO INVENTORY SHIPMENT UPON RECEIPT
SECURITY ALARM	X		X				GC TO PROVIDE ALL CONDUIT FOR SYSTEM, WITH PULL WIRE
TELEPHONE SYSTEM	X				X		
SITE LIGHTING	X				X		
FIRE ALARM SYSTEM				X	X		
CABLE (INTERNET ACCESS)	X		X				
MISCELLANEOUS							
SODA SYSTEM	X		X				GC TO PROVIDE PVC CHASE -REFERENCE PLANS

GENERAL NOTES:

1. FLAG POLE : CONCORD INDUSTRIES SPECIFICATIONS
   - EXPOSED HEIGHT : 30'-0"
   - SHAFT DIAMETER : 5" AT BASE -3" AT TOP
   - MAXIMUM WALL THICKNESS (INCH) : .125
   - RECOMMENDED FLAG SIZE (FEET) : 6 X 10
   - FLAGGED WINDSPEED (MPH) : 85
   - CONCORD CONTINENTAL CATALOG PART NUMBER : C30050125
2. SEE CIVIL PLANS FOR FLAG POLE LOCATION

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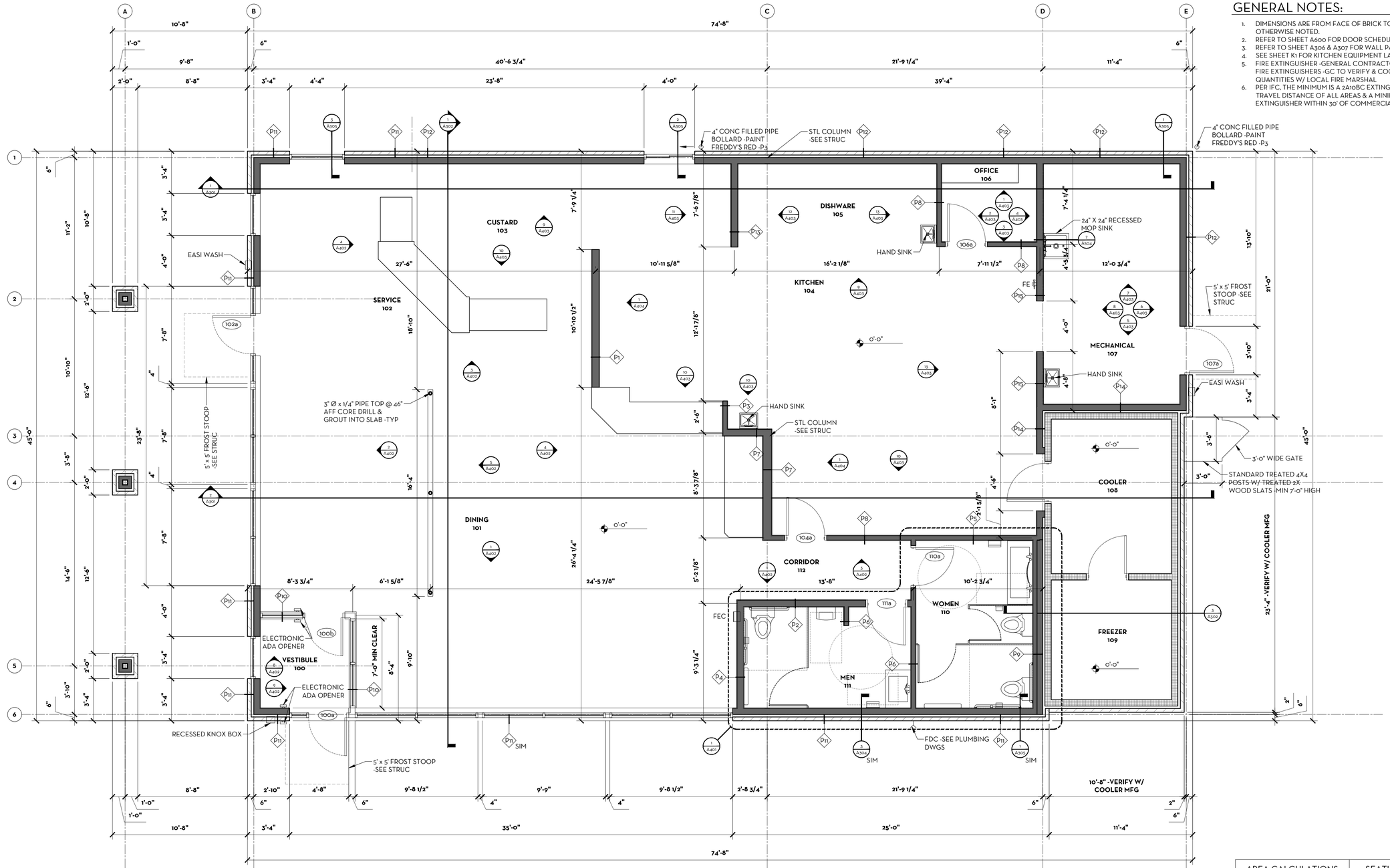
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
GENERAL ADA REQUIREMENTS & RESPONSIBILITIES

DRAWING
G002



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. DIMENSIONS ARE FROM FACE OF BRICK TO CENTER OF STUD UNLESS OTHERWISE NOTED.
2. REFER TO SHEET A600 FOR DOOR SCHEDULE & NOTES
3. REFER TO SHEET A306 & A307 FOR WALL PARTITIONS & NOTES
4. SEE SHEET K1 FOR KITCHEN EQUIPMENT LAYOUT PLAN & NOTES
5. FIRE EXTINGUISHER -GENERAL CONTRACTOR TO PROVIDE MIN OF (2) FIRE EXTINGUISHERS -GC TO VERIFY & COORDINATE LOCATIONS AND QUANTITIES W/ LOCAL FIRE MARSHAL
6. PER IFC, THE MINIMUM IS A 2A10BC EXTINGUISHER WITHIN 75' OF TRAVEL DISTANCE OF ALL AREAS & A MINIMUM RATED 4A8 FIRE EXTINGUISHER WITHIN 30' OF COMMERCIAL COOKING EQUIPMENT

AREA CALCULATIONS		SEATING CALCULATIONS	
ROOM NAME	ROOM SF	STORE SEATING	SEATS
DINING	1,213	(11) 4 SEAT TABLES	44
KITCHEN	762	(5) 6 SEAT BOOTHS	30
RESTROOMS	272	(6) 4 SEAT BOOTHS	24
OFFICE	58	TOTAL IN STORE DINING	98
CUSTARD	263		
DISHWASH	119	PATIO SEATING	
CORRIDOR	68	(7) 4 SEAT TABLES	28
VESTIBULE	62		
MECH/STORAGE	245	TOTAL W/ PATIO SEATING	126
COOLER/FREEZER	275		
FREDDY'S AREA	3,337		

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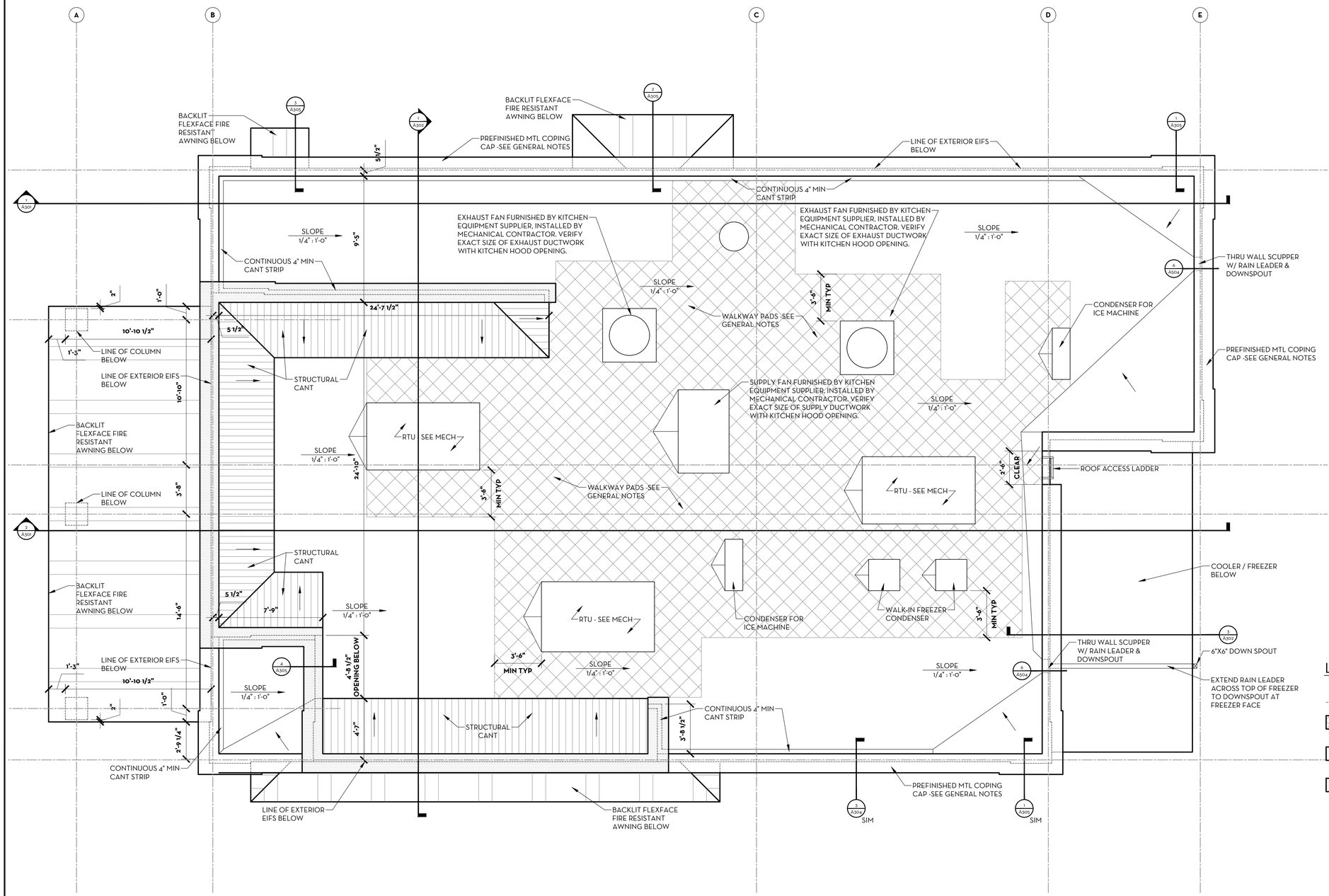
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
MAIN LEVEL FLOOR PLAN

DRAWING
A101



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

1. THE ROOF MEMBRANE IS A 50 MIL REINFORCED THERMOPLASTIC ROOFING MEMBRANE SYSTEM AS MANUFACTURED BY DURO-LAST ROOFING, INC -EXPOSED FACE COLOR :WHITE -NO EXCEPTIONS
2. ROOF SYSTEM SHALL BE MECHANICALLY FASTENED & FIELD SEAMS HEAT WELDED PER MANUFACTURERS SPECIFICATIONS
3. PROVIDE & INSTALL NEW FACTORY FORMED SLIP RESISTANT WALKWAY PADS MADE FROM ROOFING MEMBRANE MATERIAL ON ROOF FROM LADDER ACCESS AREA TO BETWEEN & AROUND ALL MECHANICAL & ELECTRICAL EQUIPMENT. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS, SOLIDLY SECURED TO ROOF
4. ROOF TO BE TESTED TO PROVIDE CONSISTING FLOW THRU ROOF DRAIN SYSTEM
5. VERIFY ALL DIMENSIONS, EQUIPMENT CONFIGURATIONS & LOCATIONS, EXISTING CONDITIONS & ALL INFORMATION GIVEN OR NOT GIVEN ON DRAWINGS. CONTRACTOR SHALL VERIFY CONDITIONS ON SITE & SHALL BE RESPONSIBLE FOR QUANTITIES, DIMENSIONS & EXISTING CONDITIONS RELATED TO THE WORK REQUIRED UNDER THIS CONTRACT. FAILURE TO DO SO WILL NOT BE CAUSE FOR ADDITIONAL FUNDS OR CHANGE ORDERS FOR ITEMS NOT INCLUDED IN CONTRACTORS BID
6. THE ASSEMBLY SHALL COMPLY WITH UL-1 90 AND FM CLASS "B" RATINGS INCLUDING BUT NOT LIMITED TO COPINGS, FLASHING, PARAPET WALL COVERINGS & ENTIRE ROOF SURFACE
7. COOLER / FREEZER CLOSURE PANEL PROVIDED BY COOLER MANUFACTURER
8. ALL ROOF CRICKETS ARE TO BE BUILT W/ TAPERED RIGID INSULATION & PROVIDE THE SLIP SHEET, PER MANUFACTURERS RECOMMENDATIONS. ROOFING TO POSITIVE 1/4" PER FOOT SLOPE TO THE ROOF DRAINS OR SCUPPERS. INSULATION SHALL BE APPROVED BY ROOFING MANUFACTURER AS COMPATIBLE W/ ROOFING ASSEMBLY
9. ALL MECHANICAL EQUIPMENT OPENINGS TO BE COORDINATED W/ MECHANICAL AND/OR ALL OTHER RELATED DRAWINGS
10. 5'-6" WIDE x 1'-0" HIGH OPENING AT PARAPET WALL FOR DRAINAGE. SEE DETAIL 4/A305
11. INSTALLER QUALIFICATIONS: A QUALIFIED INSTALLER, CERTIFIED AS A 'MASTER INSTALLER' BY THE ROOFING SYSTEM MANUFACTURER, APPROVED BY MANUFACTURER TO INSTALL MANUFACTURER'S PRODUCTS & IS ELIGIBLE TO RECEIVE MANUFACTURER'S WARRANTY
12. ALL CURB & EQUIPMENT FLASHING SHALL BE A PRODUCT OF DURO-LAST ROOFING INC. FLASHING & COPING CAP SHALL BE INSTALLED PER ROOFING MANUFACTURER'S CRITERIA TO PROVIDE FULL MANUFACTURE'S GUARANTEE OF COMPLETE ROOFING ASSEMBLY
13. THE ROOFING CONTRACTOR IS TO COORDINATE ALL ROOF PENETRATIONS W/ ALL OTHER TRADES TO PROVIDE PROPER FLASHING & COMPLETE, WEATHER-TIGHT ROOF
14. PROVIDE A COPING CAP W/ FRONT & BACK DRIP EDGES ALONG ENTIRE PARAPET WALL -SEE EXTERIOR ELEVATIONS & WALL SECTIONS ("PAC-CLAD" ALUMINUM CARDINAL RED)
15. THE ROOF STRUCTURE SHALL NOT BE USED FOR STOCK-PILING OF EQUIPMENT OR MATERIALS UNLESS APPROVED BY THE ARCHITECT, STRUCTURAL ENGINEER AND THE TRUSS MANUFACTURER
16. PROVIDE A 1" DIAMETER CONDUIT INTO PARAPET WALL TO PROVIDE POWER FOR SIGNS & LIGHTING -SEE ELECTRICAL DRAWINGS FOR LOCATION & DETAILS
17. PROVIDE A RIGID ROOF INSULATION COMPOSED OF EITHER A CLOSED CELL POLY-ISOCYANURATE OR EXPANDED POLYSTYRENE (EPS) FOAM CORE BONDED TO A MINIMUM 7/16" (11MM) APA RATED SHEATHING (OSB) ON ONE SIDE & A FIBER REINFORCED GLASS OR FELT FACER ON THE OTHER. MINIMUM R-VALUE OF 24.
FASTENERS :FACTORY COATED STEEL FASTENERS & METAL PLATES MEETING FMG 4470, DESIGNED FOR FASTENING SUBSTRATE PANELS TO SUBSTRATE & ACCEPTABLE TO ROOFING SYSTEM MANUFACTURER
18. DIMENSIONS AT HIGH ROOF ARE FROM OUTSIDE FACE OF FRAMING UNLESS NOTED OTHERWISE
19. FRONT & BACK SIDES OF PARAPET EXTENSIONS TO BE FINISHED W/ EXTERIOR INSULATED FINISH SYSTEM (EIFS) TO MATCH BUILDING WALLS
20. GENERAL CONTRACTOR TO VERIFY LOCATION OF RTU'S & ALL MECHANICAL EQUIPMENT OPENINGS TO BE COORDINATED W/ ALL OTHER TRADES
21. DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS OTHERWISE NOTED
22. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR ACCESS REQUIREMENTS FOR SIGNAGE

LINE LEGEND

- LINE OF EIFS BELOW
- INDICATES WALKWAY PAD -SEE GENERAL NOTE #3
- INDICATES STRUCTURAL CANT -SEE ARCHITECTURAL & STRUCTURAL WALL SECTIONS
- INDICATES HIGH WALL PARAPET -SEE WALL SECTIONS & EXTERIOR ELEVATIONS

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APPROVED:	SLE
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JOB NO:	17016

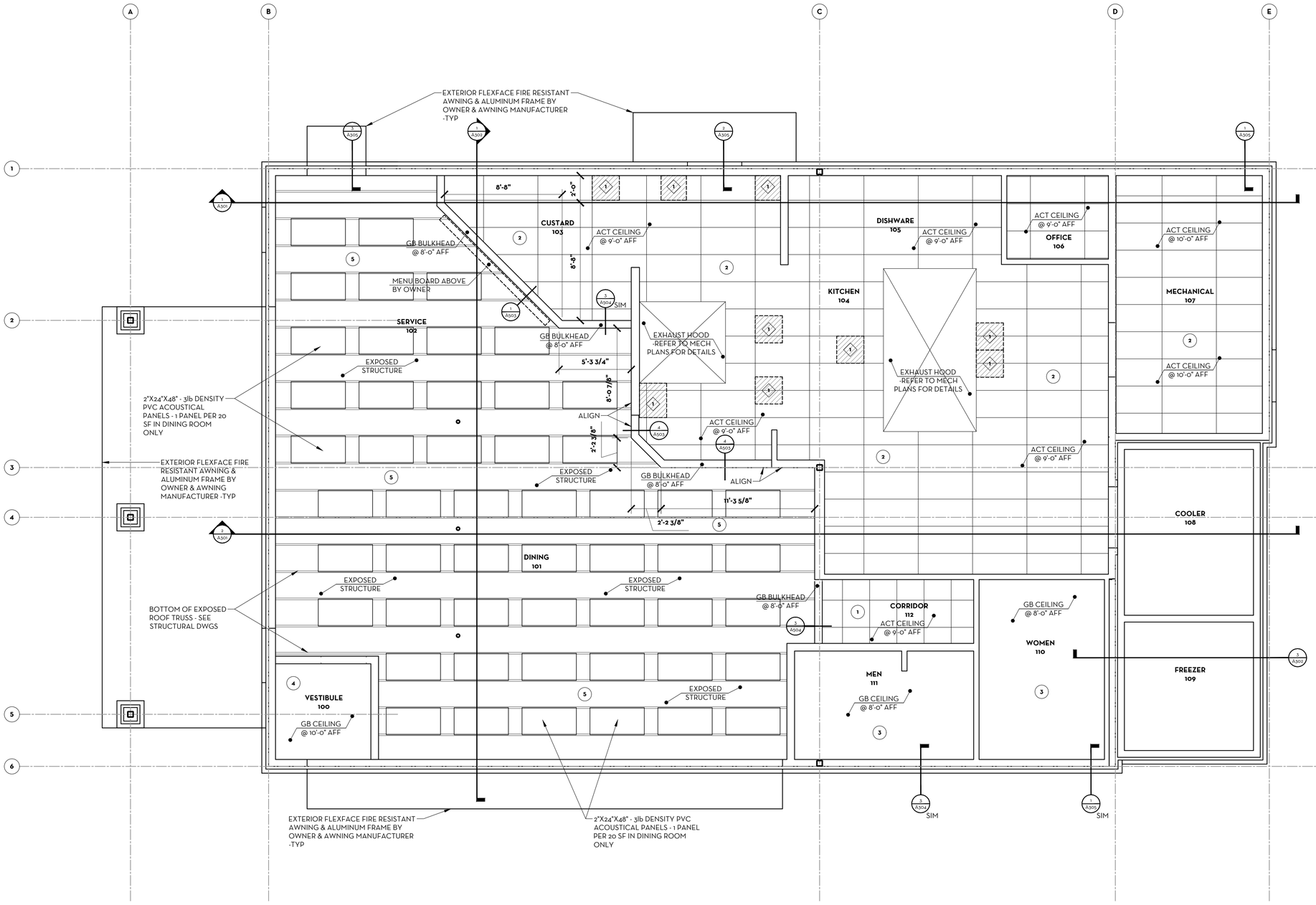
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
ROOF PLAN

DRAWING
A102

GENERAL NOTES:

1. GENERAL CONTRACTOR TO VERIFY ALL LIGHTING LOCATIONS W/ OWNER PRIOR TO INSTALLATION -SEE ELECTRICAL DRAWINGS
2. DIMENSIONS SHOWN ON PLAN FOR OVERHEAD BULKHEADS AT MENU BOARD & PICK-UP COUNTERS ARE FACE OF STUD -UNO
3. ALL DIFFUSERS IN DINING AREA ONLY ARE TO BE PAINTED (P3) -SEE FINISH SCHEDULE



KEY NOTES:

1. 24" x 24" x 3/4" PLYWOOD SHEET ABOVE CEILING GRID FOR MONITOR MOUNTING
2. 30 x 36 PREFABRICATED ALUMINUM ROOF ACCESS & LADDER

CEILING LEGEND:

1. 2'x2'x5/8" MANUFACTURERS STANDARD SQUARE EDGED LAY-IN W/ 15/16" PRE-FINISHED WHITE GRID TO MATCH
2. 2'x4'x1/2" GOLD BOND BRAND "GRIDSTONE", FIRE-SHIELD G (1 1/2 HR). DIRECTIONAL, WASHABLE LAY-IN VINYL FACED GYPSUM PANELS -PANEL COLOR: WHITE W/ PRE-FINISHED GRID TO MATCH
3. GYP BOARD CEILING TO BE PAINTED (P5)
4. GYP BOARD CEILING TO BE PAINTED (P2)
5. EXPOSED DECK & WOOD FRAMING, STIFF ELECTRICAL CONDUIT, SODA LINES, TO BE PAINTED (P2). HVAC DROPS TO BE PAINTED (P3)

1 MAIN LEVEL REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

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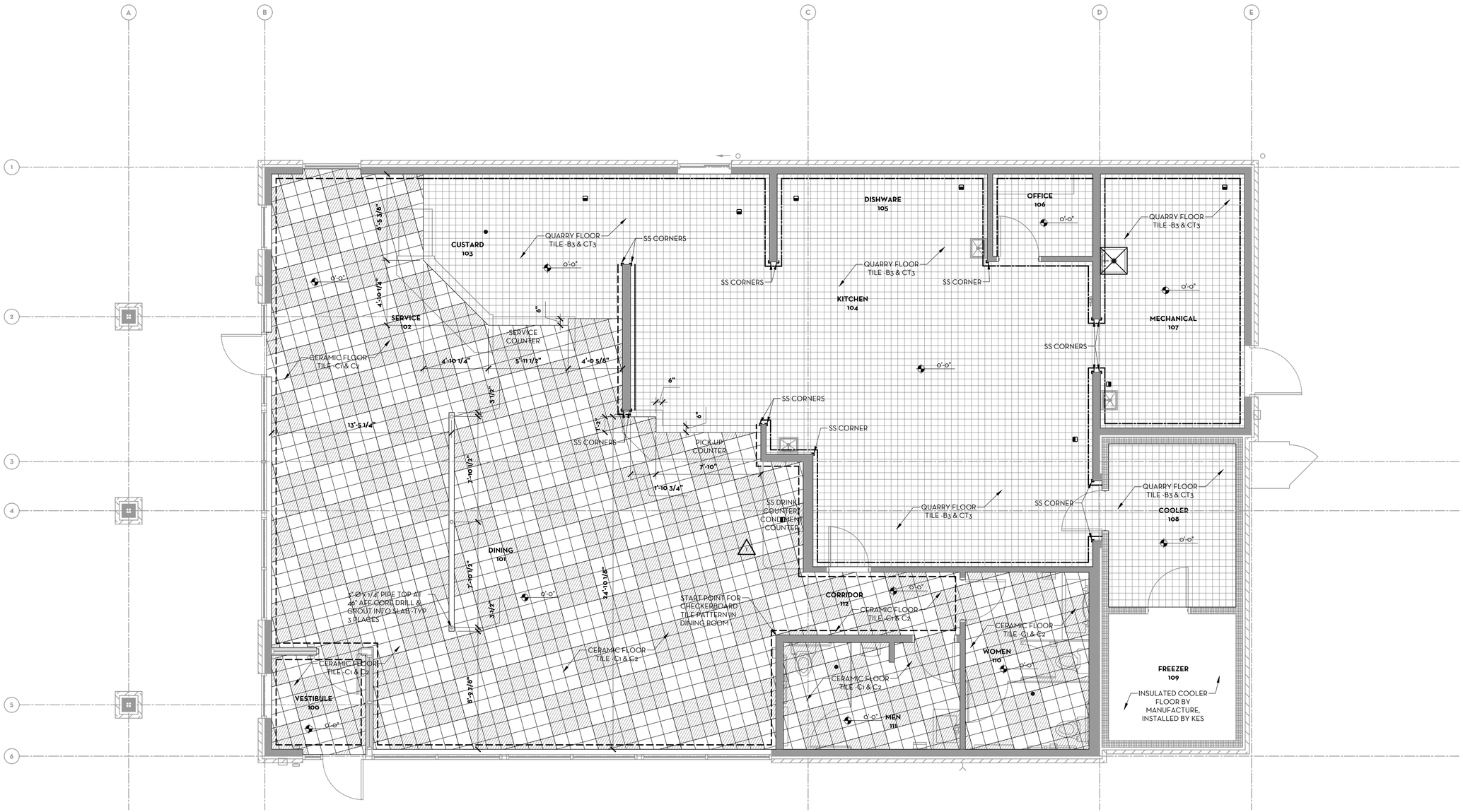
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

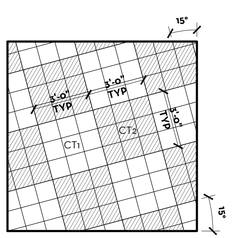
ARCHITECTURAL
MAIN LEVEL REFLECTED CEILING PLAN

DRAWING
A103



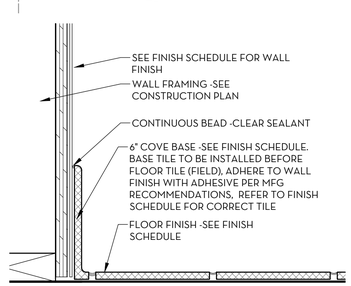
1 MAIN LEVEL FINISH FLOOR PLAN

SCALE: 1/4" = 1'-0"



2 CHECKERBOARD TILE LAYOUT

SCALE: NOT TO SCALE



3 CHECKERBOARD TILE LAYOUT

SCALE: 3" = 1'-0"

LINE LEGEND

- INDICATES 1/2" OSB IN LIEU OF GB BEHIND FRP FINISH
- INDICATES FIRE TREATED SHEATHING IN LIEU OF GB BEHIND 18 GA SS WALL FINISH
- INDICATES 5/8" OSB TO 4'-0" AFF IN LIEU OF GB BEHIND SCORED FRP PANELS

*SEE FINISH SCHEDULE AND INTERIOR ELEVATIONS

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0 1"

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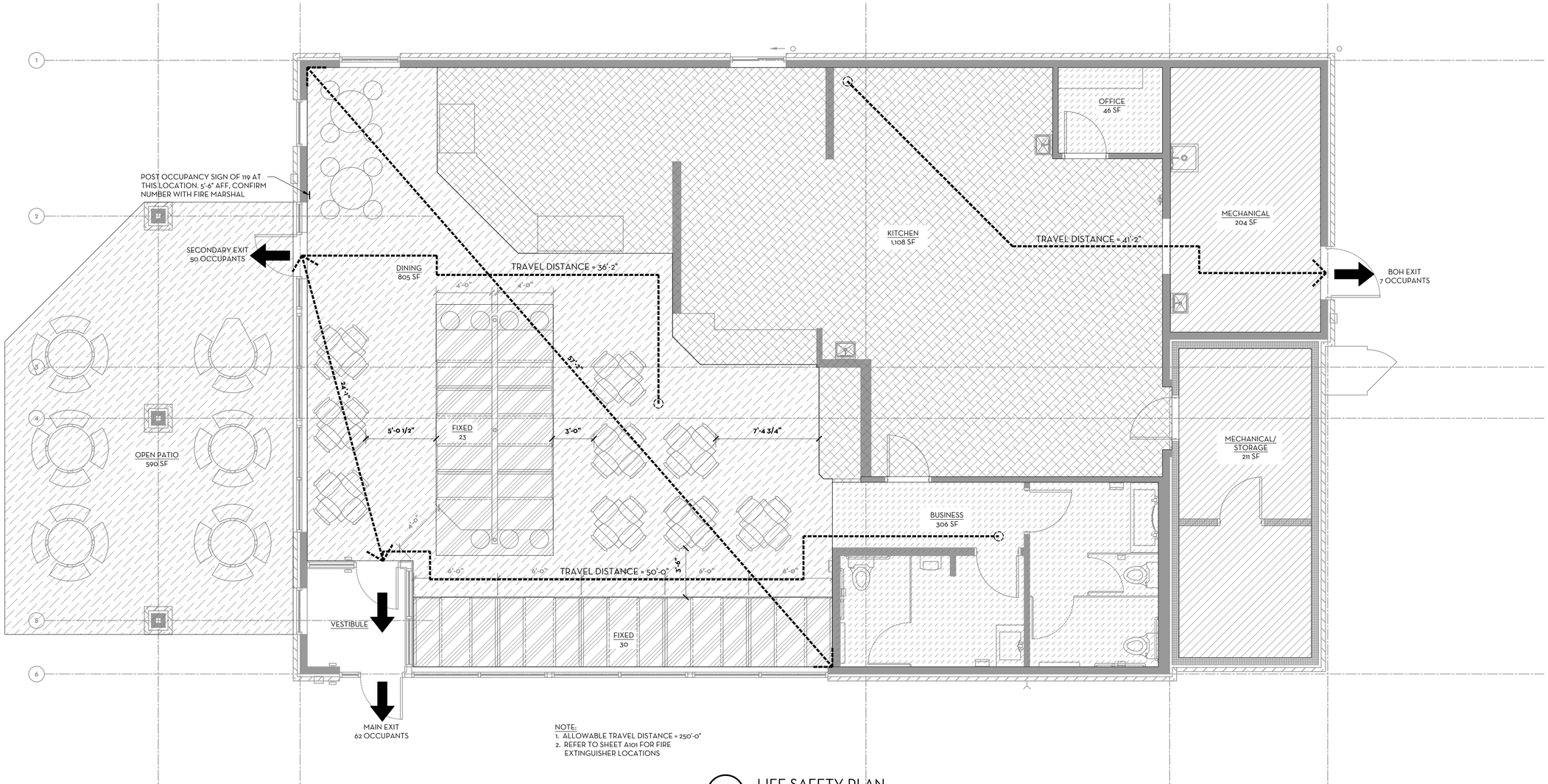
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
MAIN LEVEL FINISH FLOOR PLAN

DRAWING
A104



NOTE:
1. ALLOWABLE TRAVEL DISTANCE = 250'-0"
2. REFER TO SHEET A101 FOR FIRE EXTINGUISHER LOCATIONS

1 LIFE SAFETY PLAN
SCALE: 1/4" = 1'-0"

OCCUPANCY CALCULATIONS -BASED ON 2003 IBC

OCCUPANTS ARE CALCULATED IN EACH INDIVIDUAL SPACE, THEN ROUNDED UP

ASSEMBLY AREAS	TOTAL SQ FT	OCCUPANT COUNT
ASSEMBLY W/O FIXED SEATING(UNCONCENTRATED TABLES AND CHAIRS) 15 NET	953	64
ASSEMBLY W/ FIXED SEATING -1 PERSON FOR EACH 24 INCHES OF BOOTH SEAT LENGTH		54
KITCHENS (COMMERCIAL) -200 GROSS	1,108	6
MECHANICAL/STORAGE ROOMS -300 GROSS	415	1
BUSINESS AREAS -100 GROSS	352	4
BUILDING OCCUPANTS		129

PATIO

OCCUPANTS ARE CALCULATED IN EACH INDIVIDUAL SPACE, THEN ROUNDED UP

ASSEMBLY AREAS	TOTAL SQ FT	OCCUPANT COUNT
ASSEMBLY W/O FIXED SEATING(UNCONCENTRATED TABLES AND CHAIRS) 15 NET (PATIO)	590	39
PATIO OCCUPANTS		39
TOTAL OCCUPANTS		168

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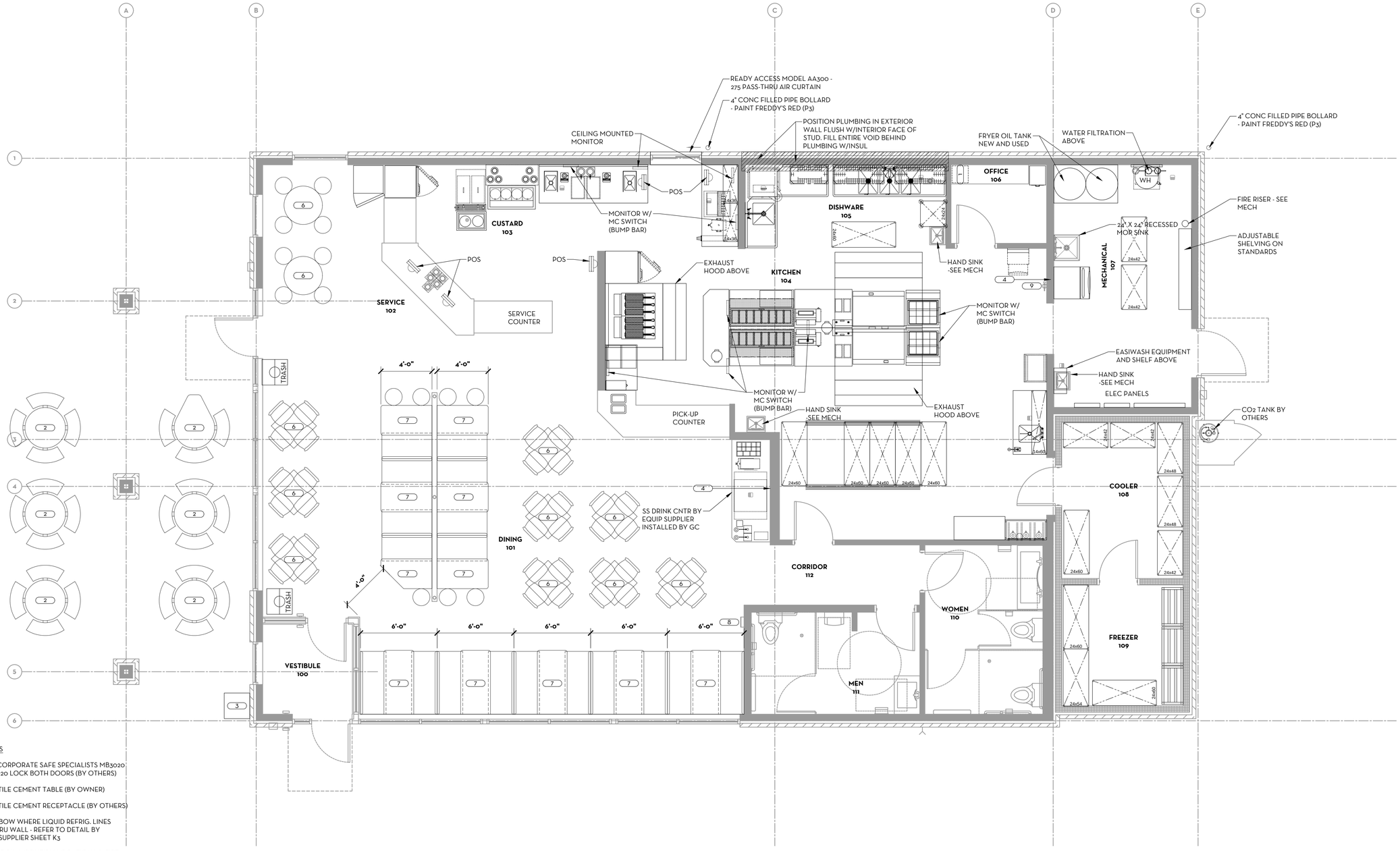
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
LIFE SAFETY PLAN

DRAWING
A105



KEYNOTES

1. SAFE BY CORPORATE SAFE SPECIALISTS MB3020 W/ S&G 6120 LOCK BOTH DOORS (BY OTHERS)
2. WASSAU TILE CEMENT TABLE (BY OWNER)
3. WASSAU TILE CEMENT RECEPTACLE (BY OTHERS)
4. 3" PVC ELBOW WHERE LIQUID REFRIG. LINES COME THRU WALL - REFER TO DETAIL BY KITCHEN SUPPLIER SHEET K3
5. HOOD FIRE PULL CONFIRM LOCATION W/ FIRE MARSHAL PRIOR TO INSTALLATION
6. FORMICA, FREDDY'S RED, SOLID SURFACE
7. FORMICA, FREDDY'S BLACK MATRIX 324, SOLID SURFACE
8. MIN TYPE 2A 10BC RECESSED FIRE EXTINGUISHER CABINET PROVIDED BY VENDOR AND INSTALLED BY GC. T.O. 60" AFF MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX
9. TYPE K WALL MOUNT FIRE EXTINGUISHER PROVIDED BY VENDOR AND INSTALLED BY GC. T.O. 2'-10" AFF MAX. PROTRUSION INTO PATH OF CIRCULATION 4" MAX.

1 MAIN LEVEL FURNITURE AND EQUIPMENT PLAN

SCALE: 1/4" = 1'-0"

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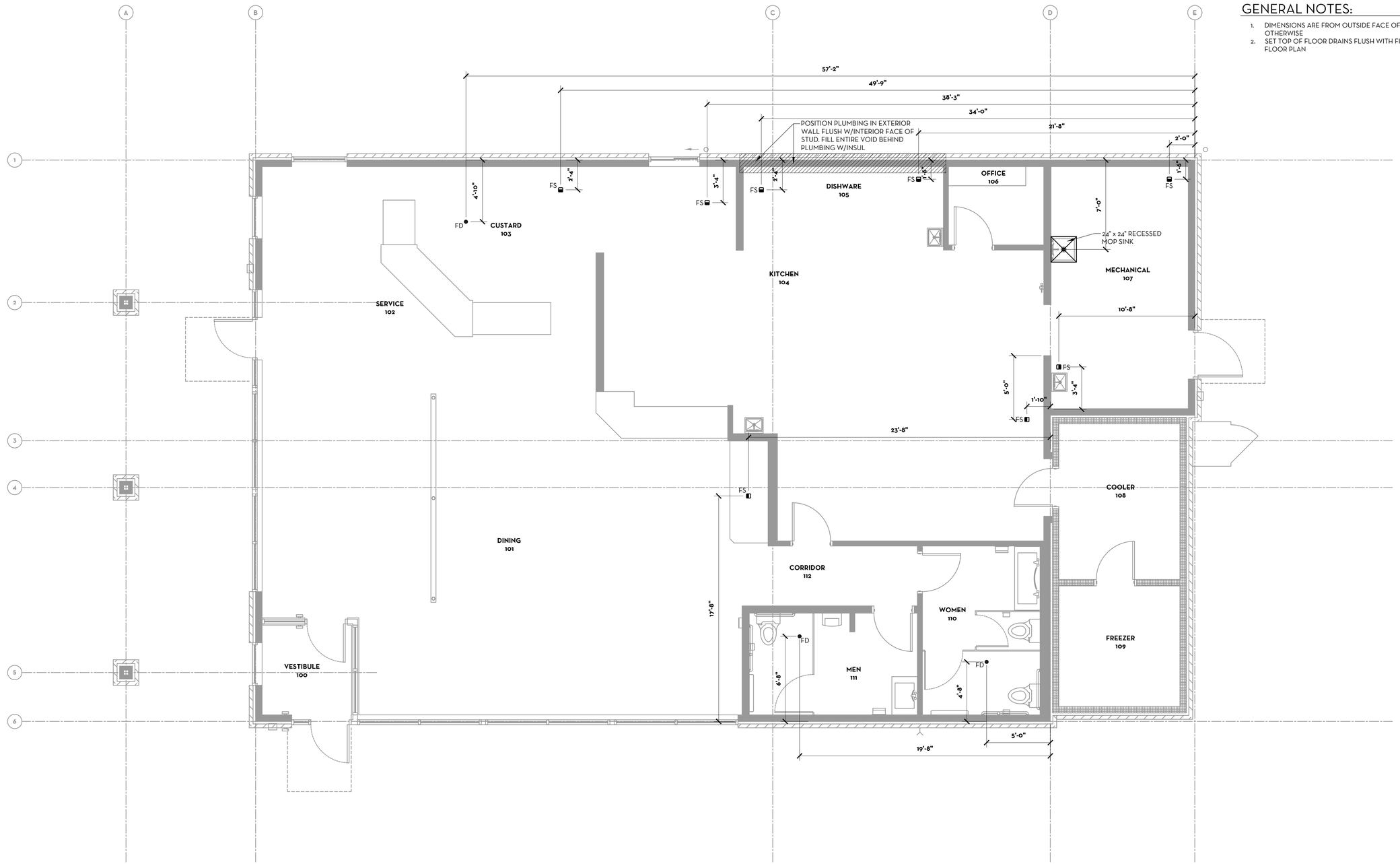
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
MAIN LEVEL FURNITURE AND EQUIPMENT PLAN

DRAWING
A110

GENERAL NOTES:

1. DIMENSIONS ARE FROM OUTSIDE FACE OF STUD UNLESS NOTED OTHERWISE
2. SET TOP OF FLOOR DRAINS FLUSH WITH FINISH FLOOR -SEE FINISH FLOOR PLAN



1 FLOOR DRAIN LOCATION PLAN
SCALE: 1/4" = 1'-0"

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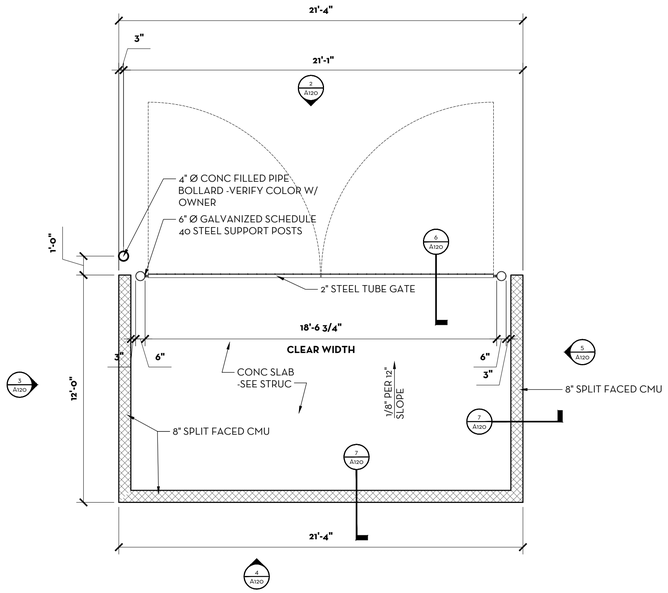
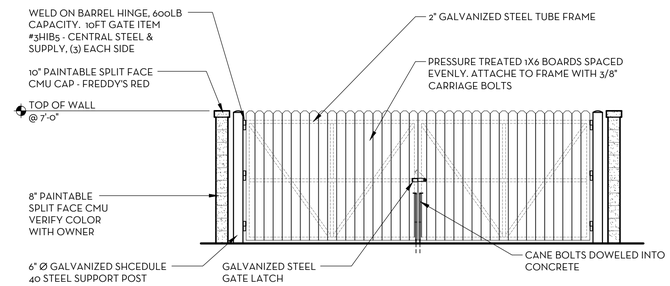
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
FLOOR DRAIN LOCATION PLAN

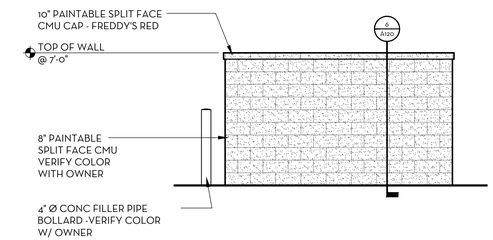
DRAWING
A111



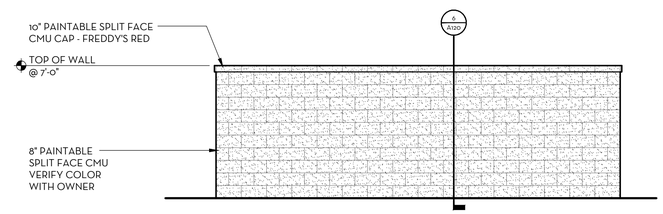
1 TRASH ENCLOSURE FLOOR PLAN
SCALE: 1/4" = 1'-0"



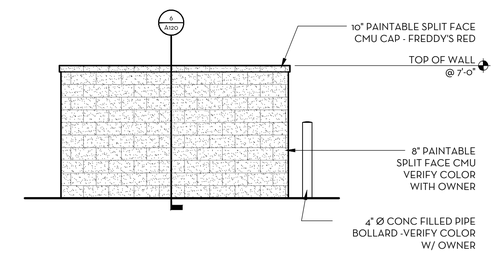
2 TRASH ENCLOSURE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



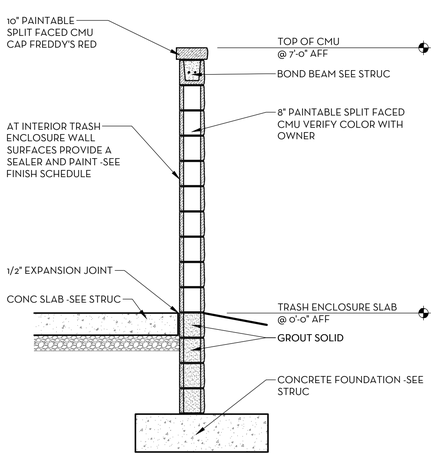
3 TRASH ENCLOSURE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



4 TRASH ENCLOSURE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



5 TRASH ENCLOSURE EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



6 TRASH ENCLOSURE WALL SECTION
SCALE: 1/2" = 1'-0"

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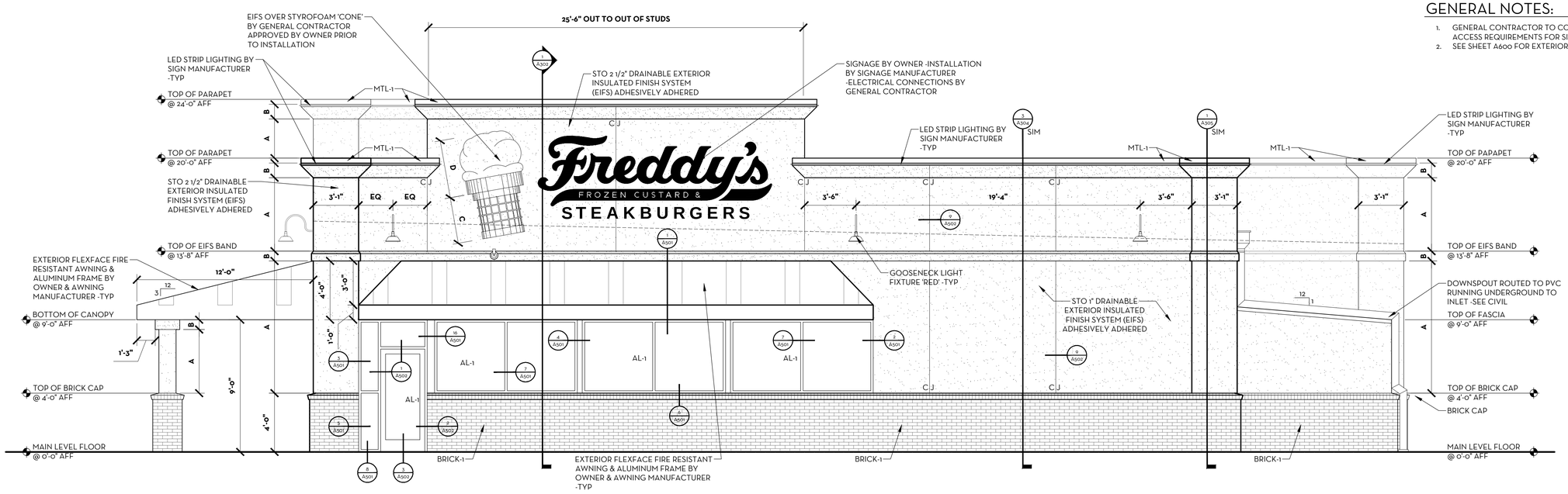
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
TRASH ENCLOSURE PLAN, EXTERIOR ELEVATIONS, SECTIONS, AND DETAILS

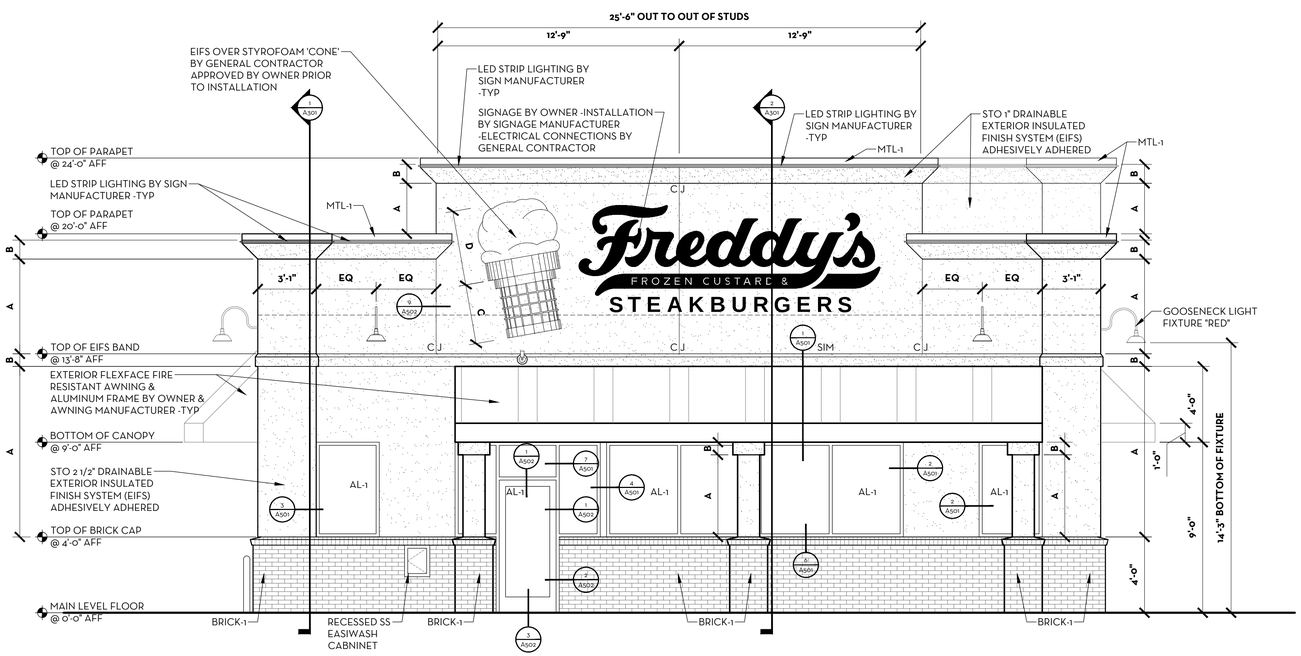
DRAWING
A120

GENERAL NOTES:

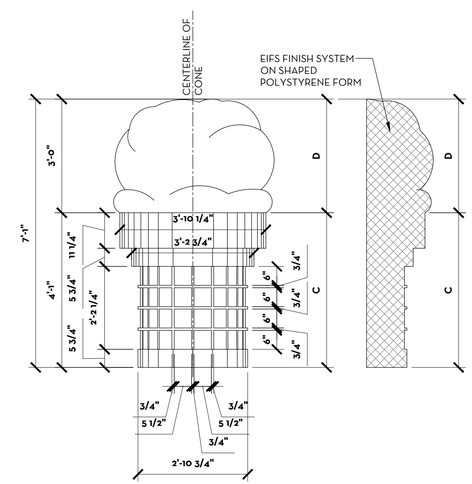
1. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR ACCESS REQUIREMENTS FOR SIGNAGE TRANSFORMERS
2. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



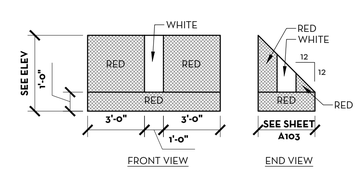
1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



3 "CUSTARD" ELEVATION & SECTION
SCALE: 1/2" = 1'-0"



NOTE TO AWNING MANUFACTURER & AWNING INSTALLER. AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE & DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS

4 AWNING COLOR KEY
SCALE: 1/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

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APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

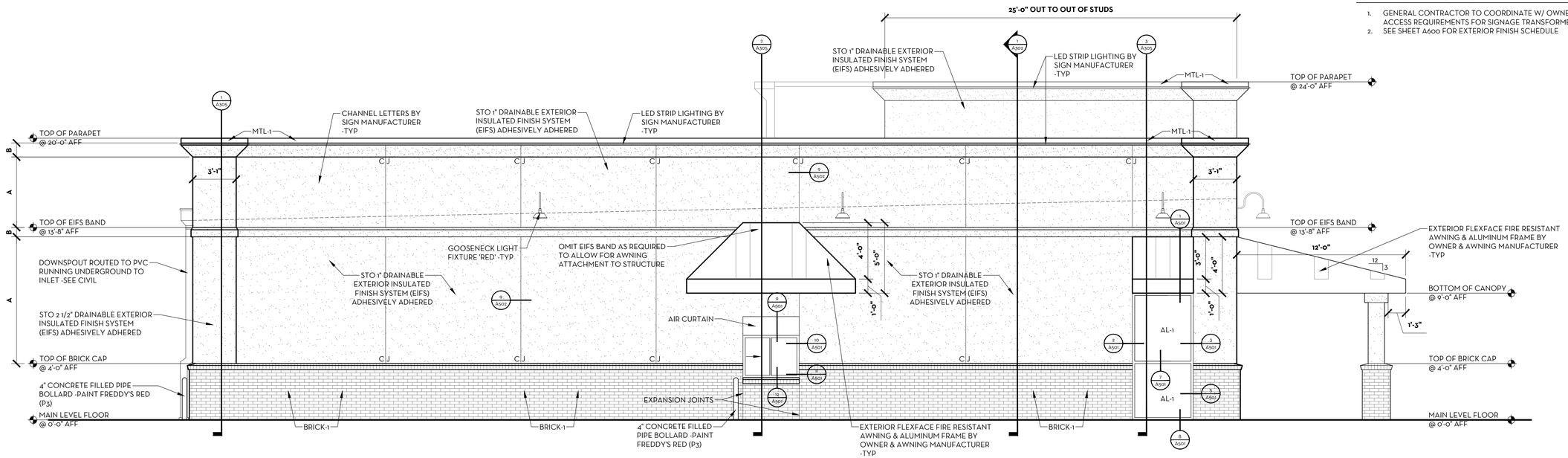
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
EXTERIOR ELEVATIONS

DRAWING
A201

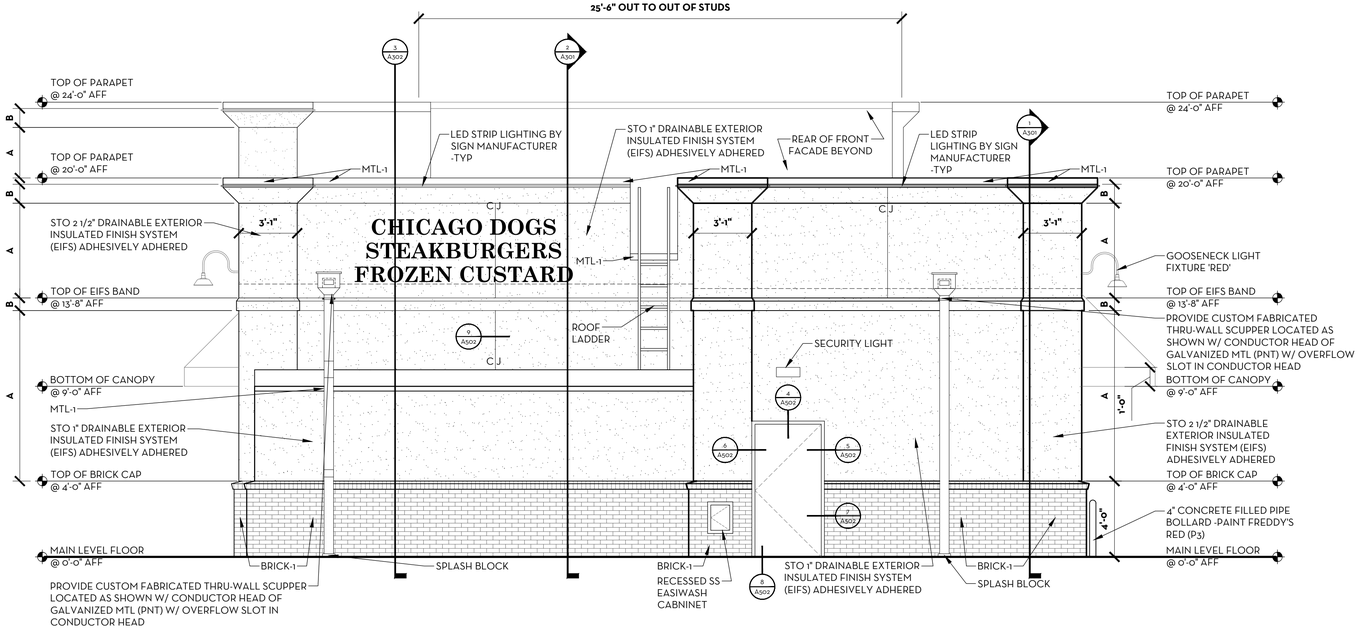
GENERAL NOTES:

1. GENERAL CONTRACTOR TO COORDINATE W/ OWNER'S SIGN VENDOR ACCESS REQUIREMENTS FOR SIGNAGE TRANSFORMERS
2. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



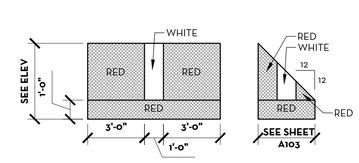
1 EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



2 EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"



NOTE TO AWNING MANUFACTURER & AWNING INSTALLER. AWNING FRAME TO BE ENGINEERED FOR APPROVAL BY LOCAL CODE & DESIGNED TO MISS ALL BUILDING PROTRUSIONS NOT SHOWN ON PLANS

3 AWNING COLOR KEY

SCALE: 1/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

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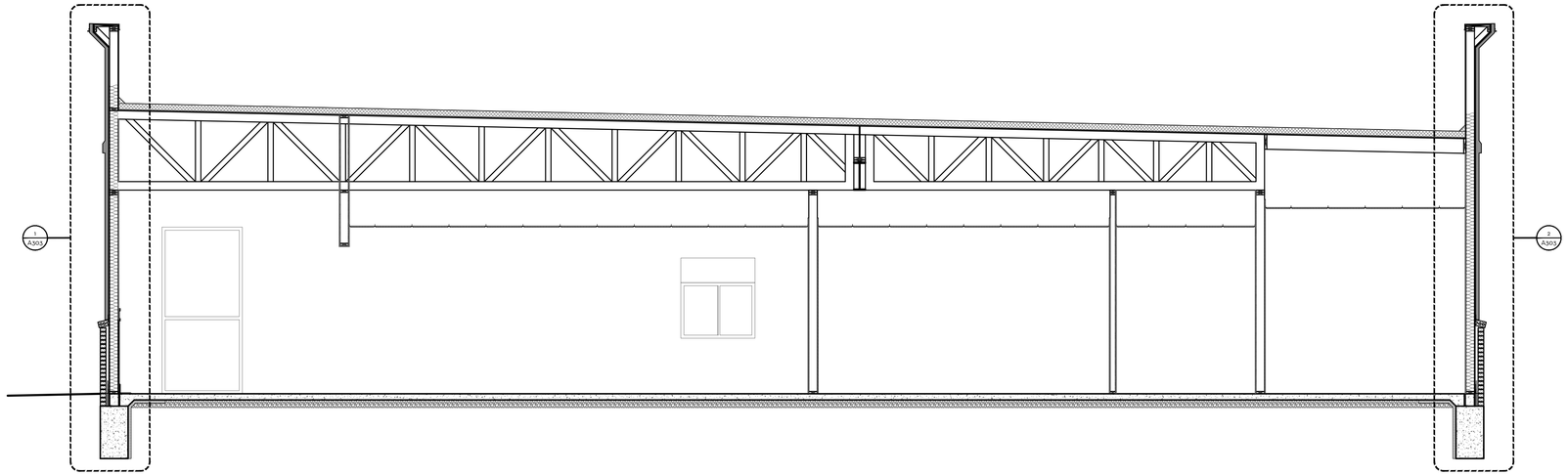
JOB NO:	17016

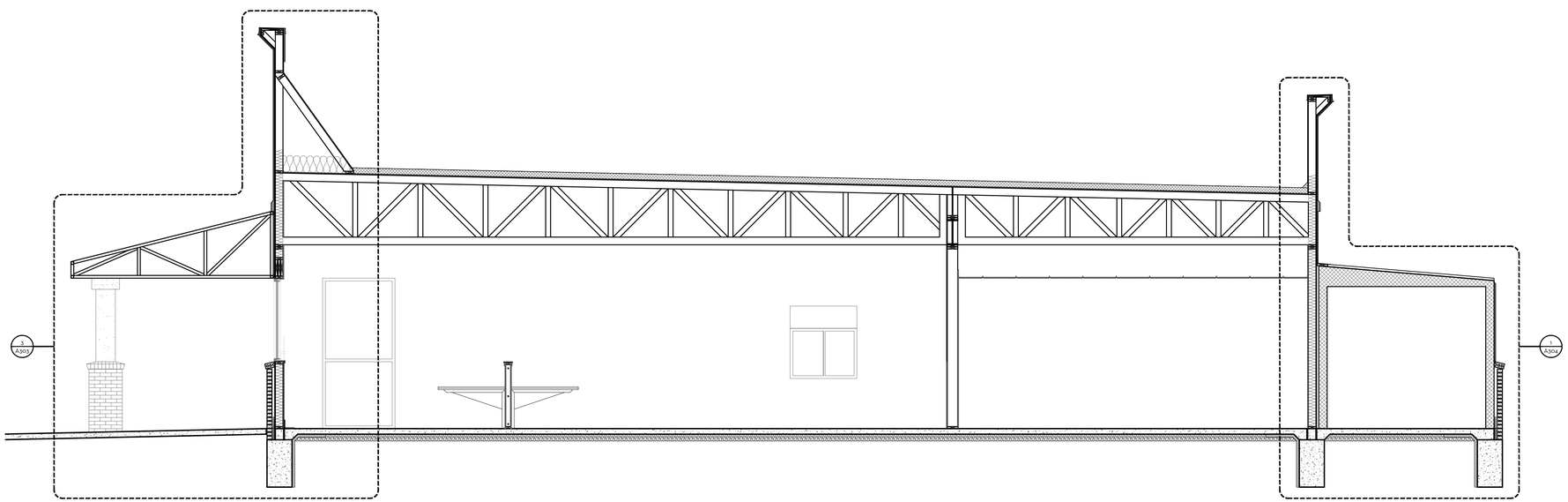
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
EXTERIOR ELEVATIONS

DRAWING
A202



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 BUILDING SECTION
SCALE: 1/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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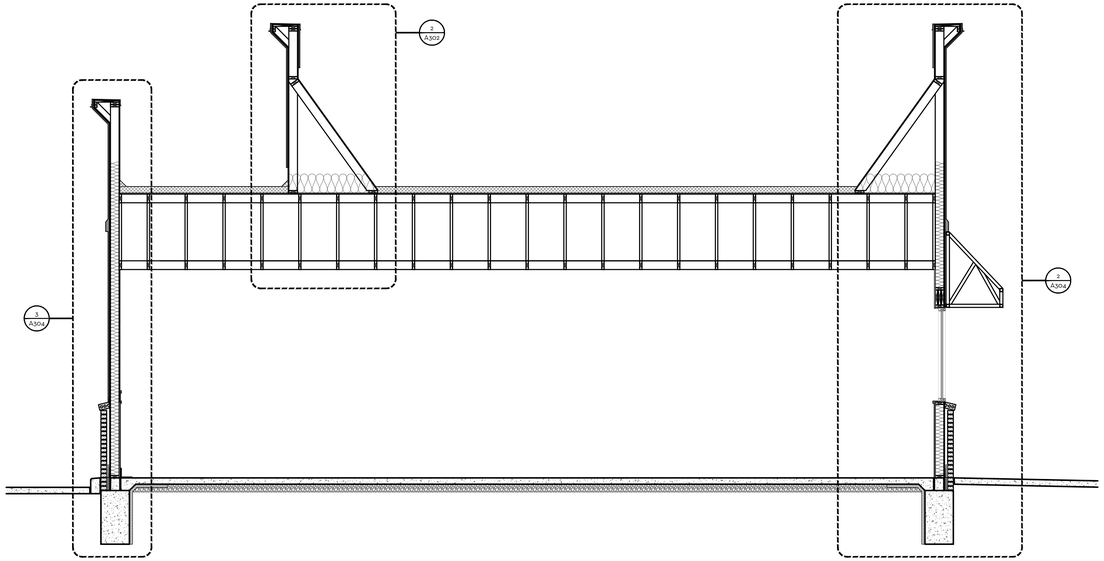
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
BUILDING SECTIONS

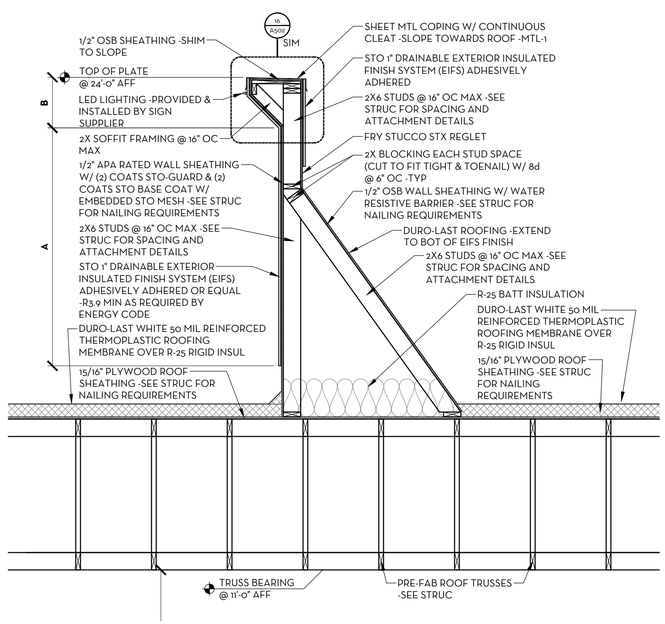
DRAWING
A301

GENERAL NOTES:

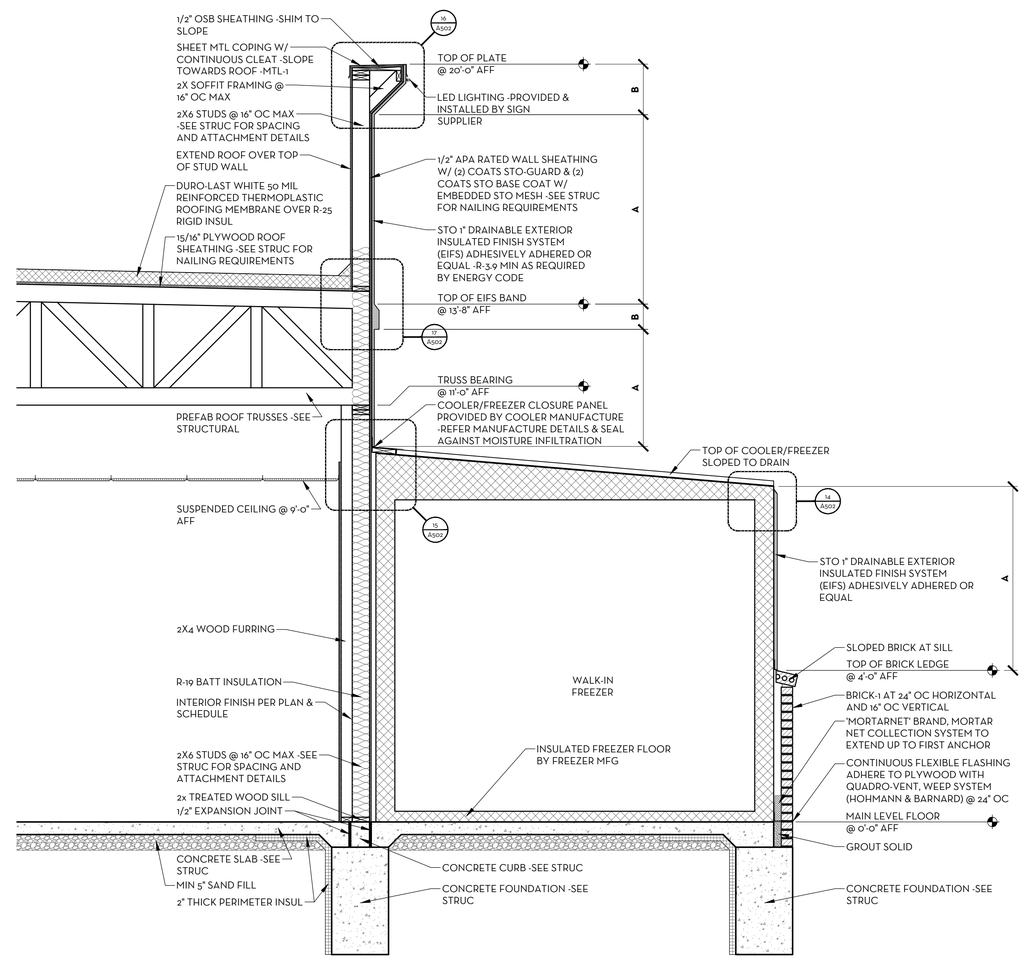
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



1 BUILDING SECTION
SCALE: 1/4" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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JOB NO:	17016

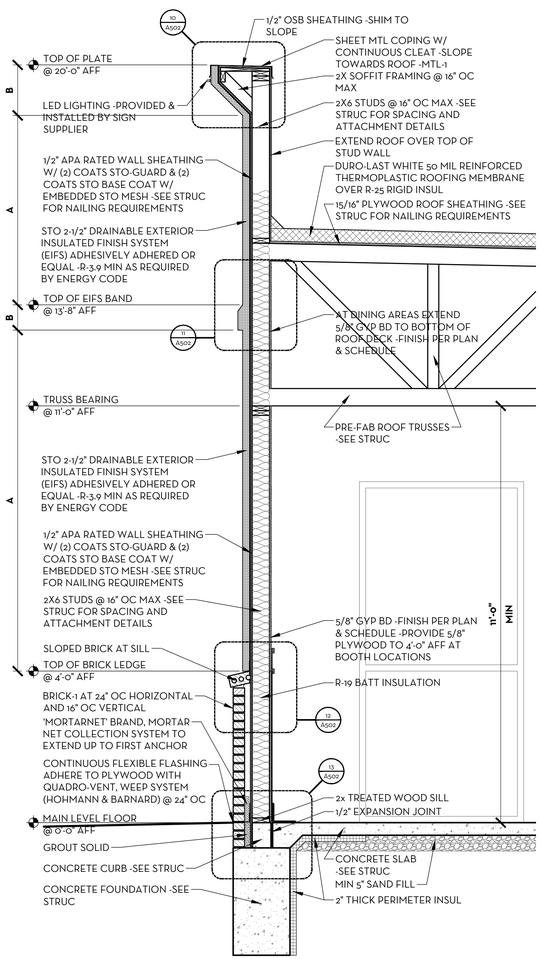
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
BUILDING & WALL SECTIONS

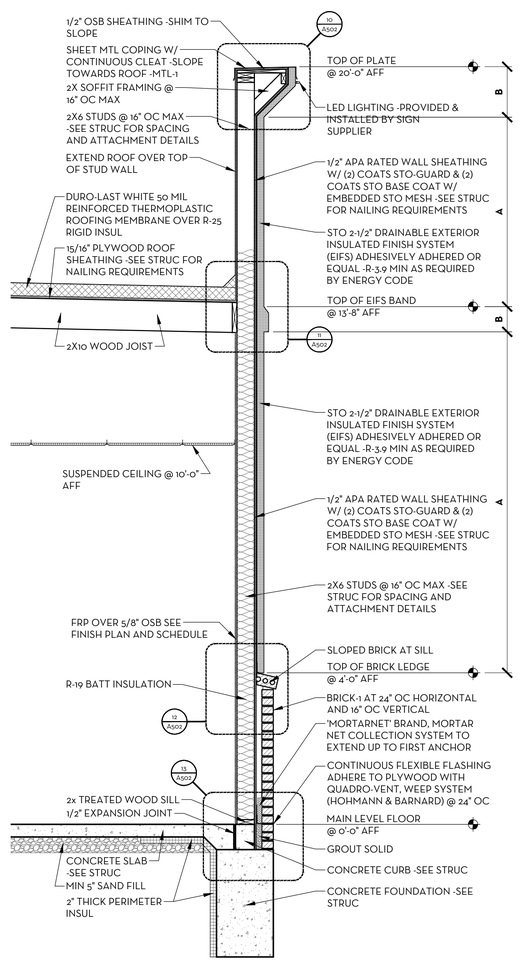
DRAWING
A302

GENERAL NOTES:

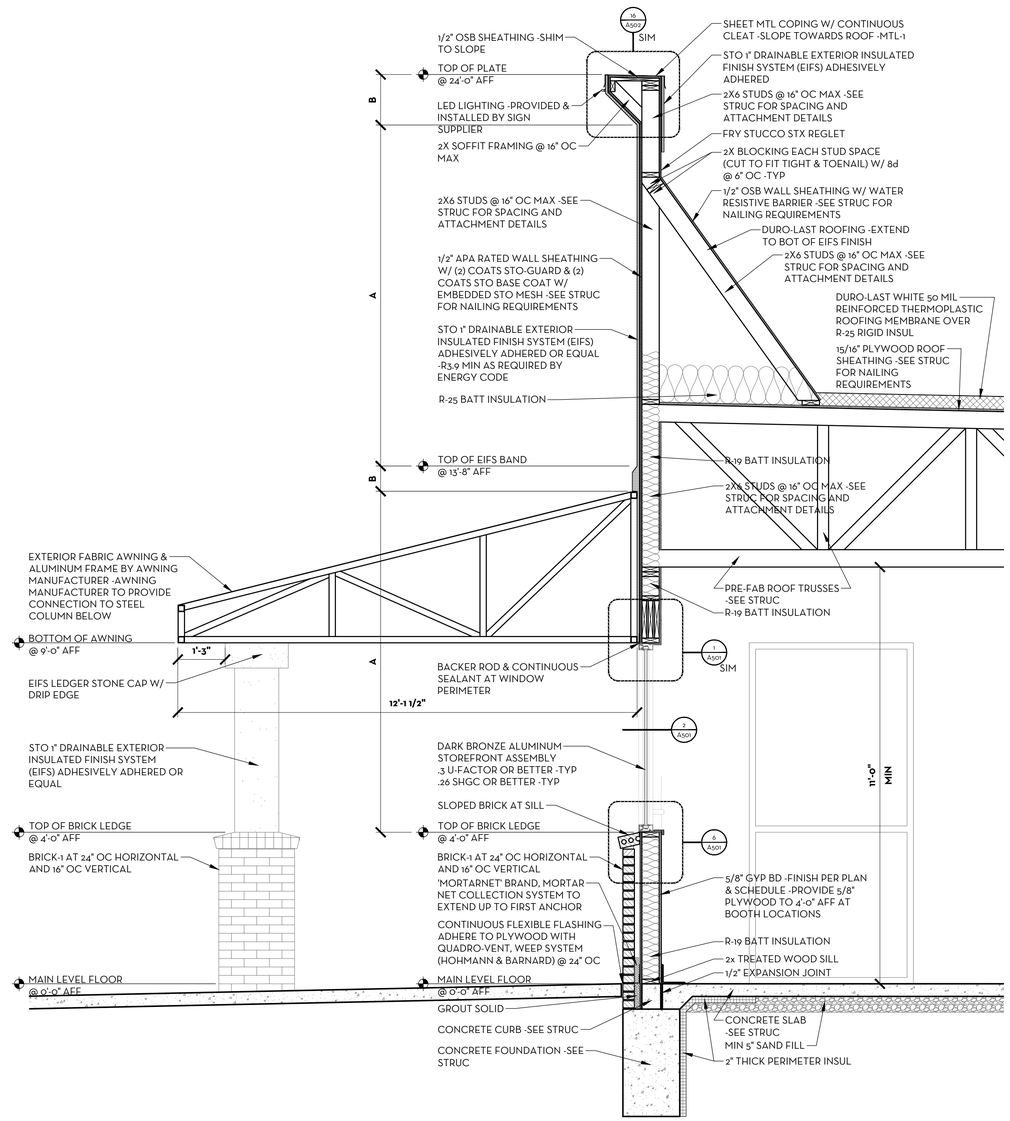
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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JOB NO:	17016

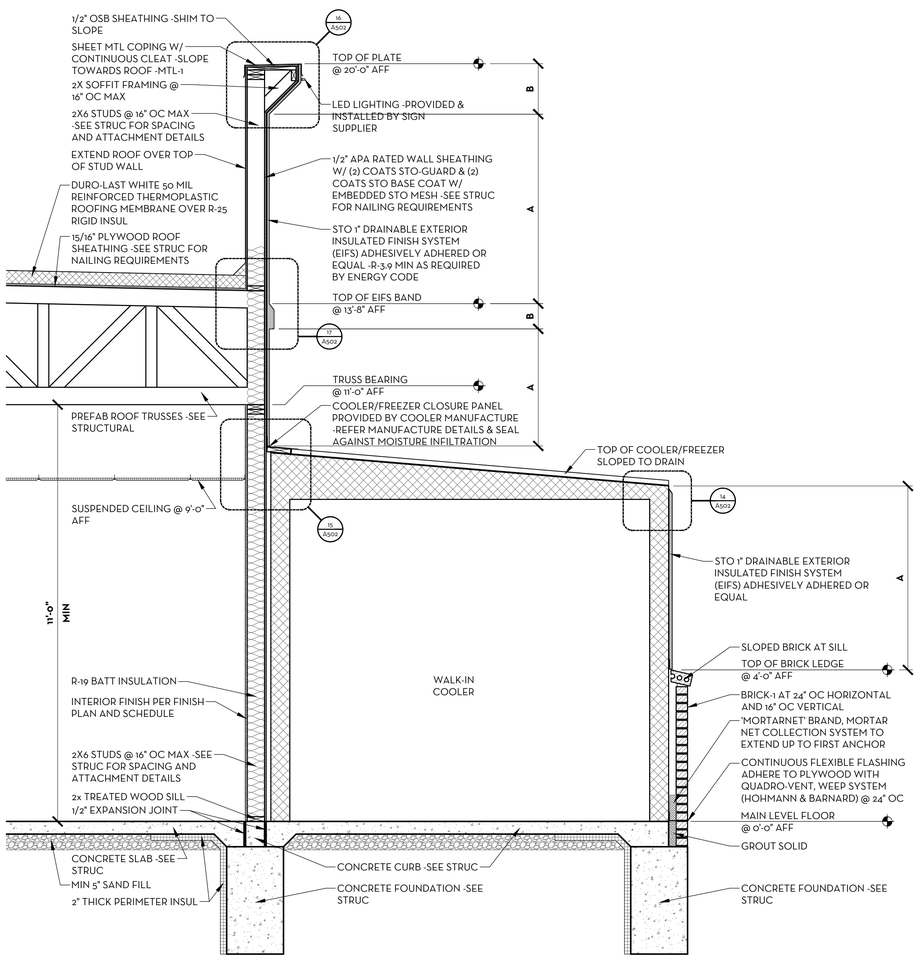
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WALL SECTIONS

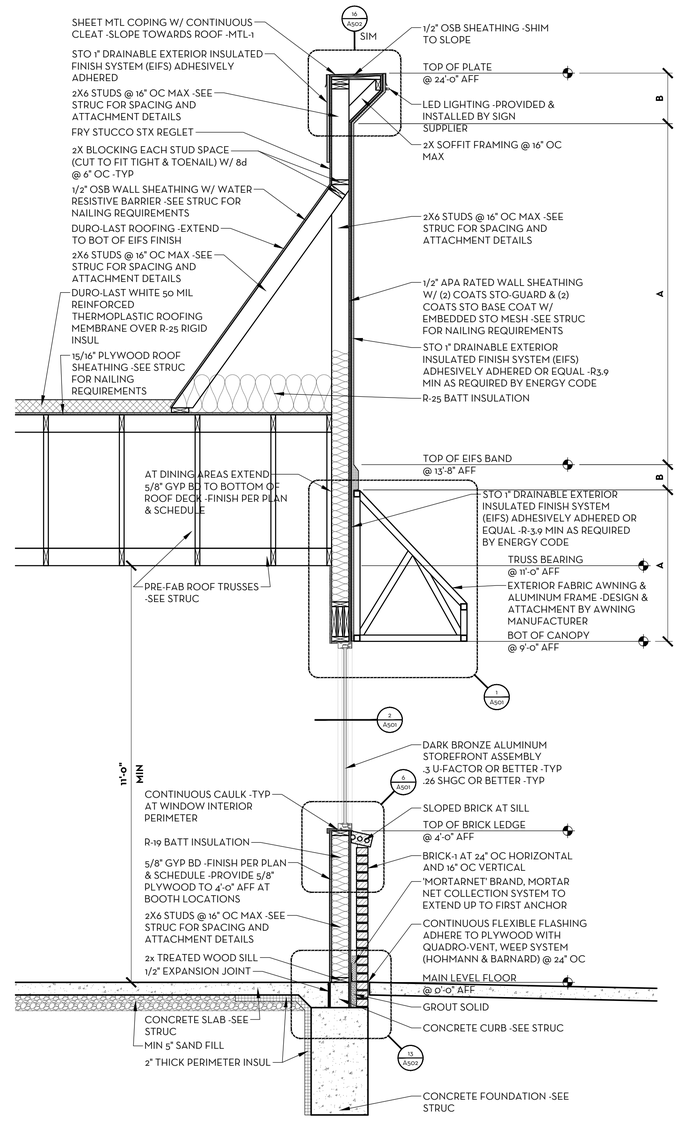
DRAWING
A303

GENERAL NOTES:

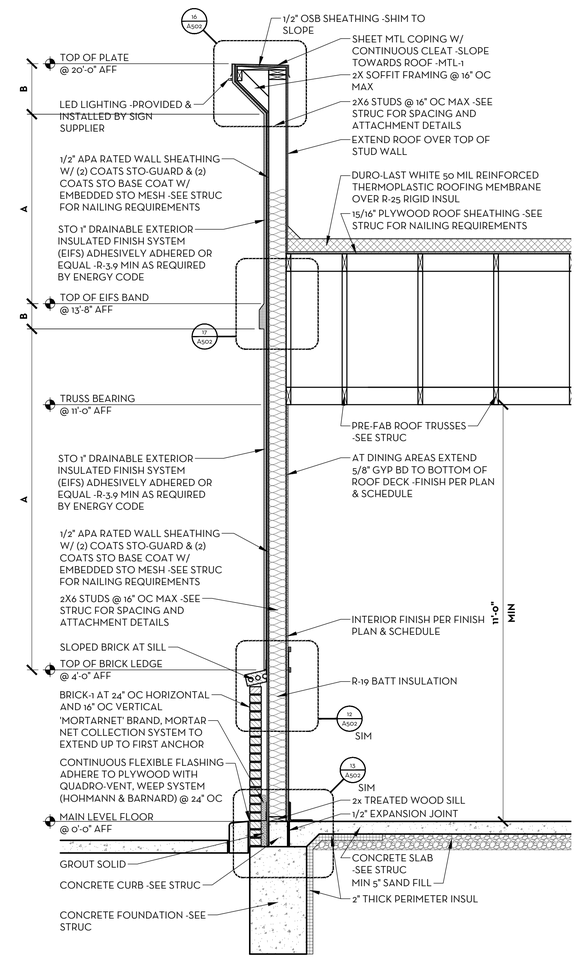
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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JOB NO:	17016

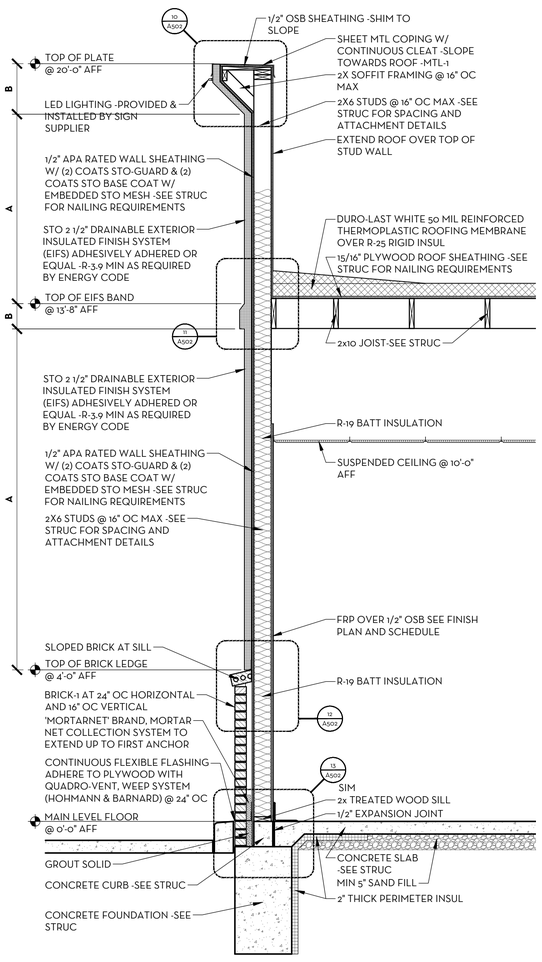
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WALL SECTIONS

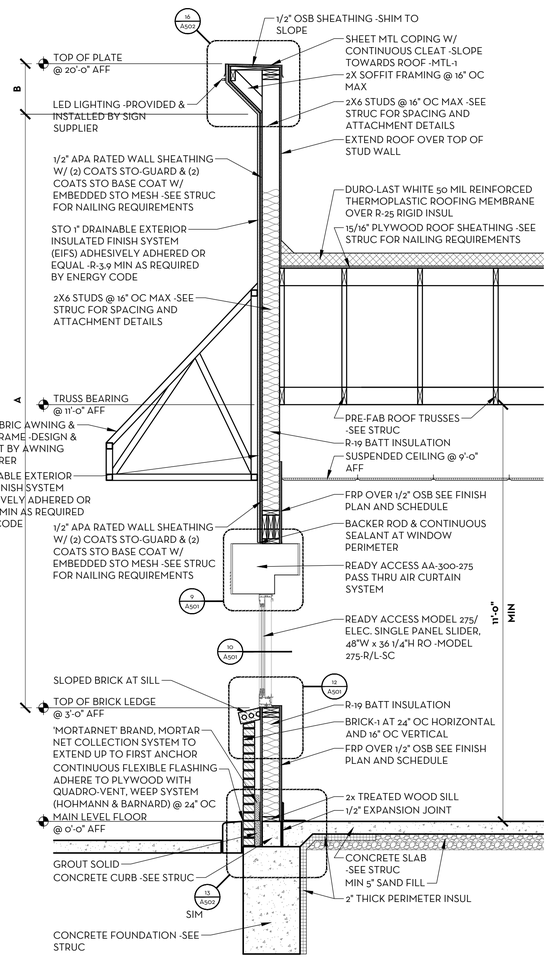
DRAWING
A304

GENERAL NOTES:

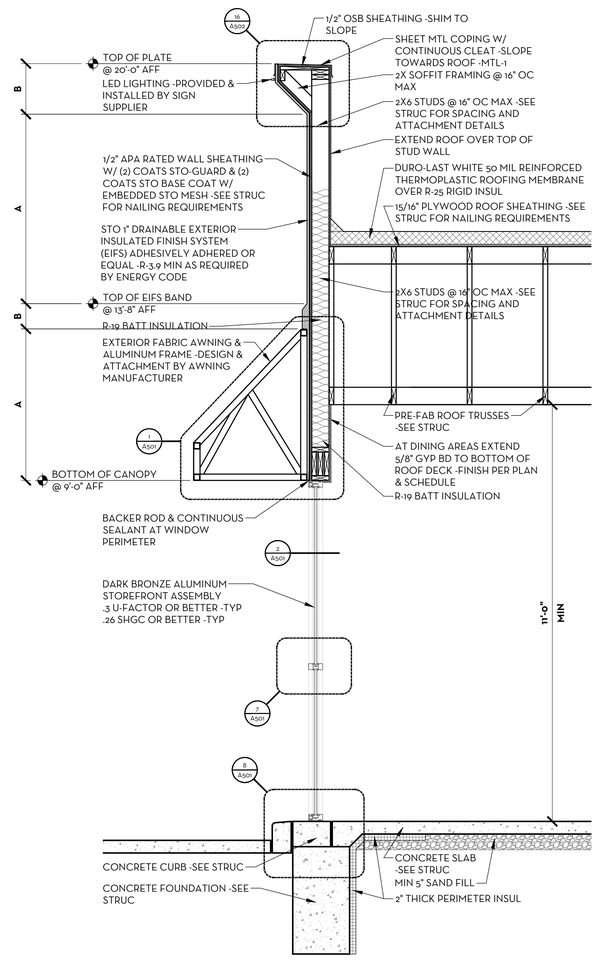
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



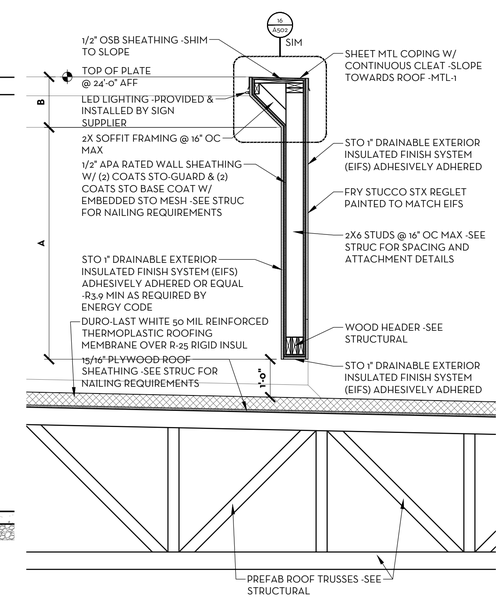
1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 WALL SECTION
SCALE: 1/2" = 1'-0"



3 WALL SECTION
SCALE: 1/2" = 1'-0"



4 WALL SECTION
SCALE: 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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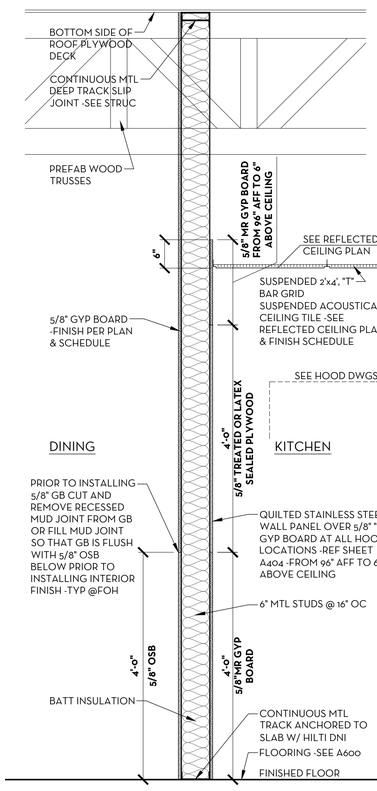
JOB NO:	17016

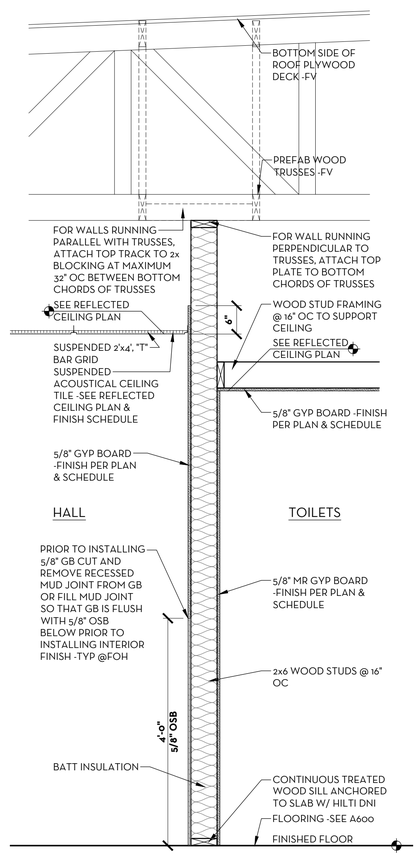
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WALL SECTIONS

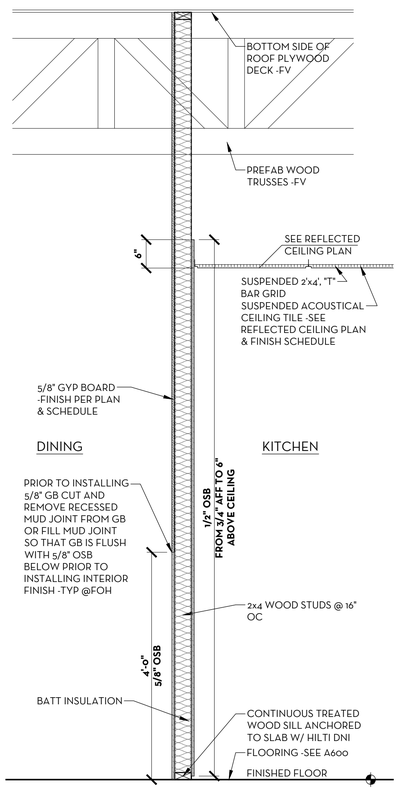
DRAWING
A305



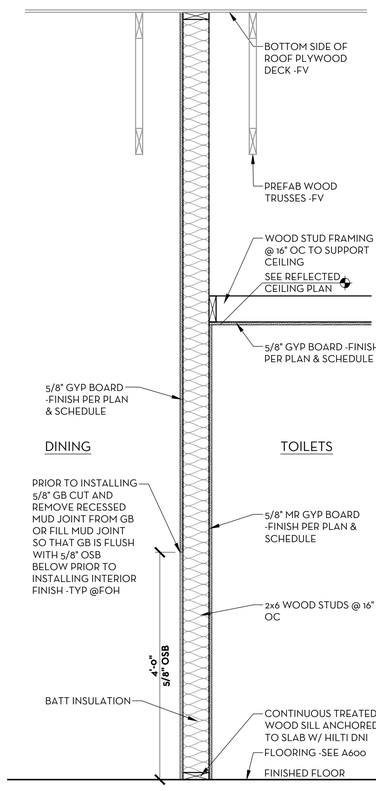
P1 WALL PARTITION
SCALE: 3/4" = 1'-0"



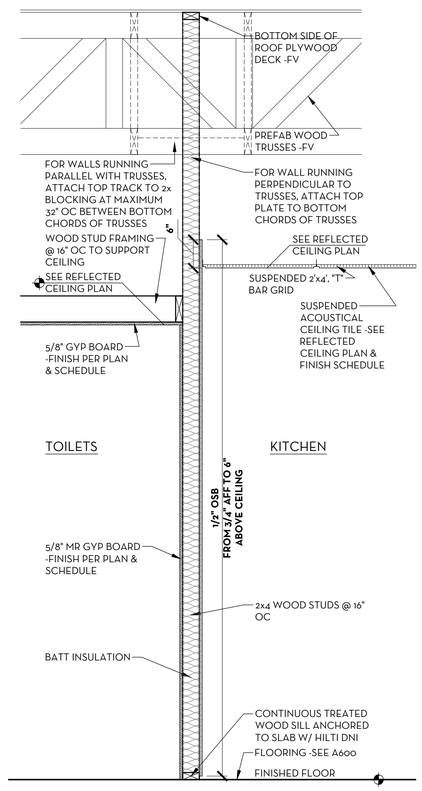
P2 WALL PARTITION
SCALE: 3/4" = 1'-0"



P3 WALL PARTITION
SCALE: 3/4" = 1'-0"



P4 WALL PARTITION
SCALE: 3/4" = 1'-0"



P5 WALL PARTITION
SCALE: 3/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

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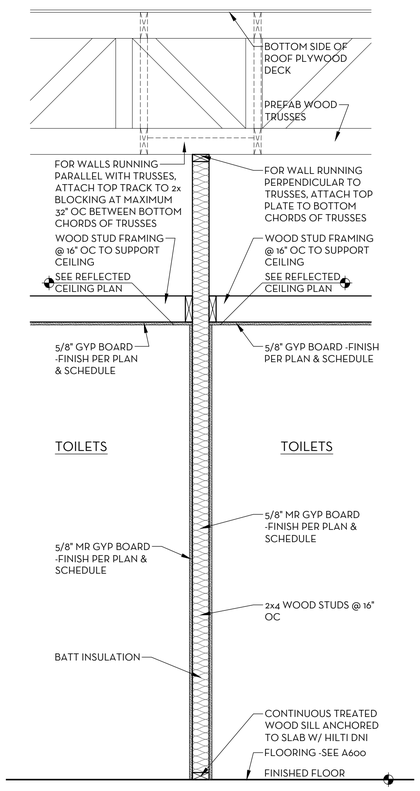
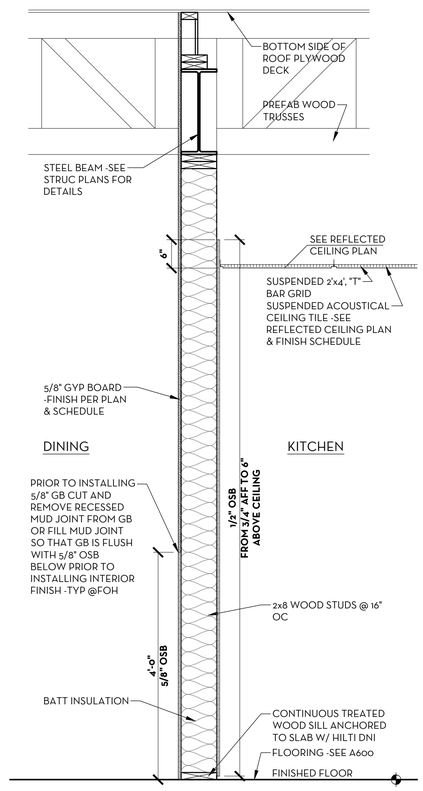
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WALL PARTITIONS

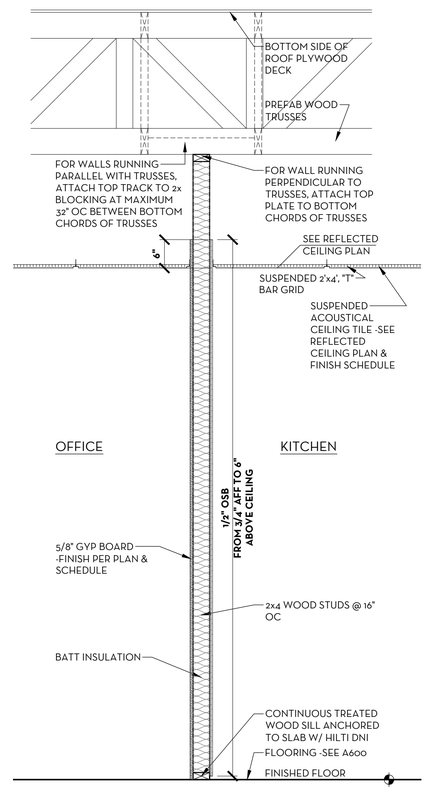
DRAWING
A306



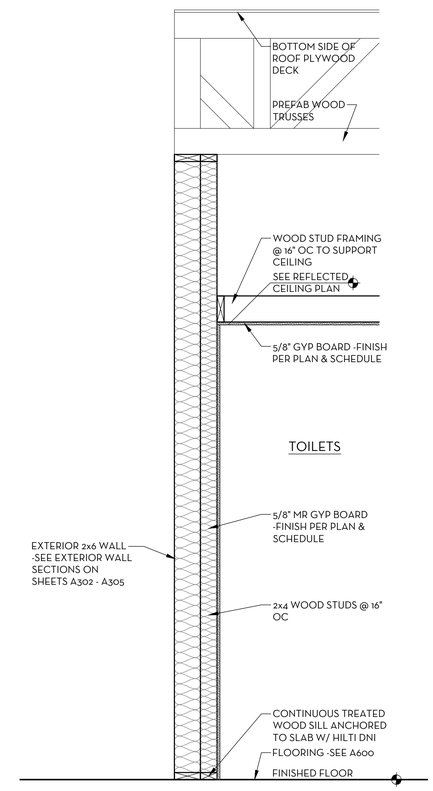
P6 WALL PARTITION
SCALE: 3/4" = 1'-0"



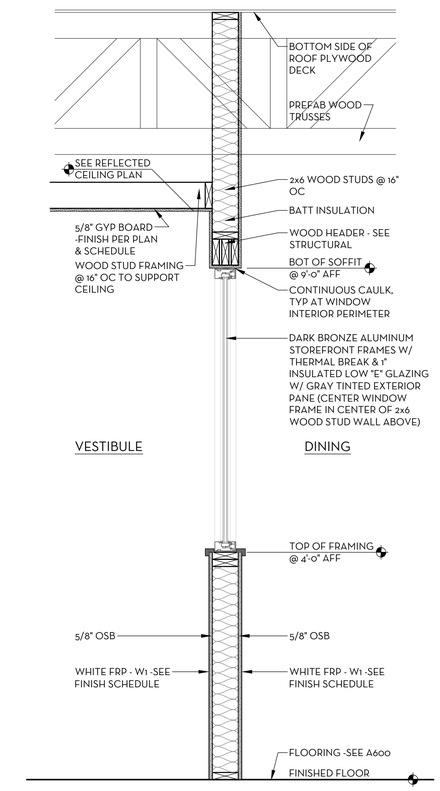
P7 WALL PARTITION
SCALE: 3/4" = 1'-0"



P8 WALL PARTITION
SCALE: 3/4" = 1'-0"



P9 WALL PARTITION
SCALE: 3/4" = 1'-0"



P10 WALL PARTITION
SCALE: 3/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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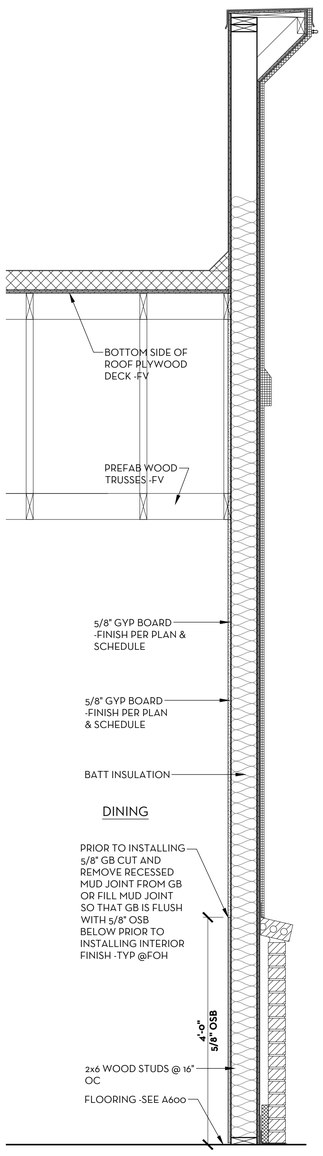
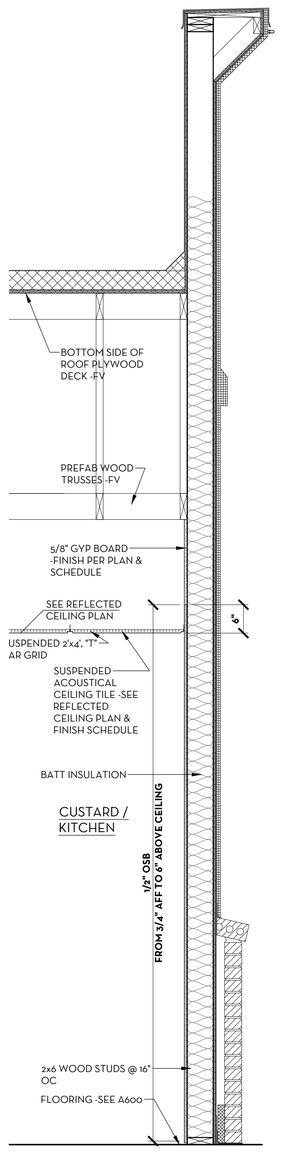
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WALL PARTITIONS

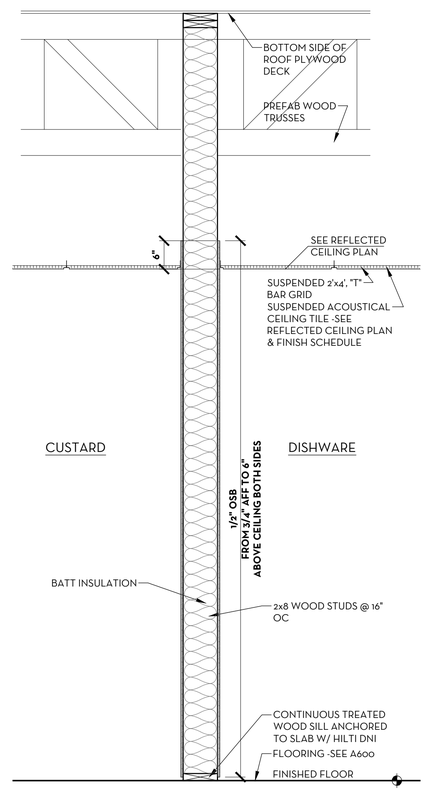
DRAWING
A307



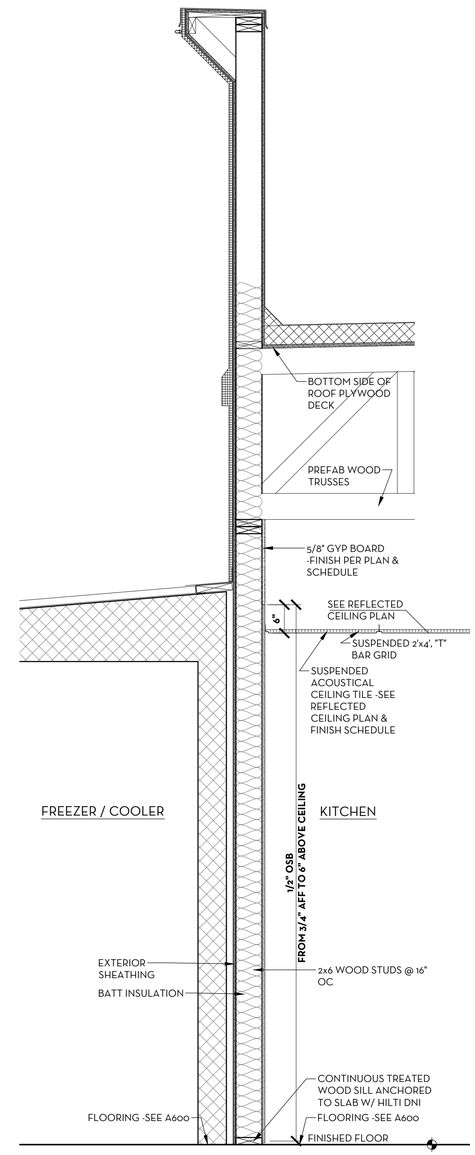
P11 WALL PARTITION
SCALE: 3/4" = 1'-0"



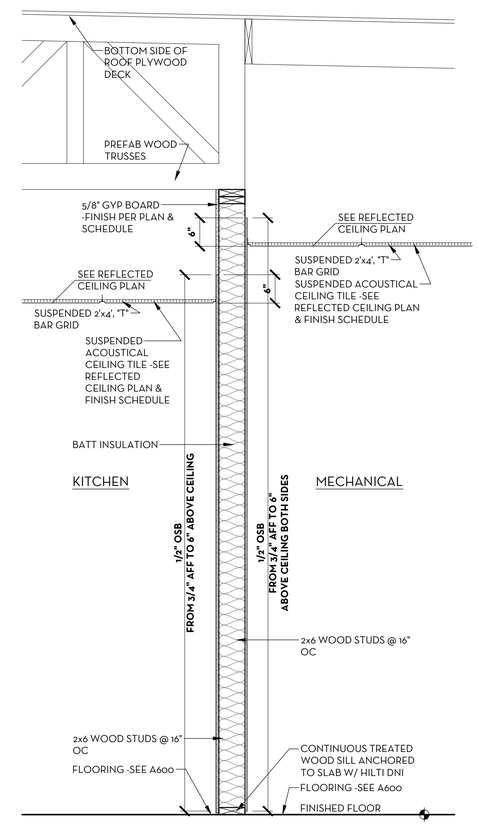
P12 WALL PARTITION
SCALE: 3/4" = 1'-0"



P13 WALL PARTITION
SCALE: 3/4" = 1'-0"



P14 WALL PARTITION
SCALE: 3/4" = 1'-0"



P15 WALL PARTITION
SCALE: 3/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
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APPROVED:	SLE
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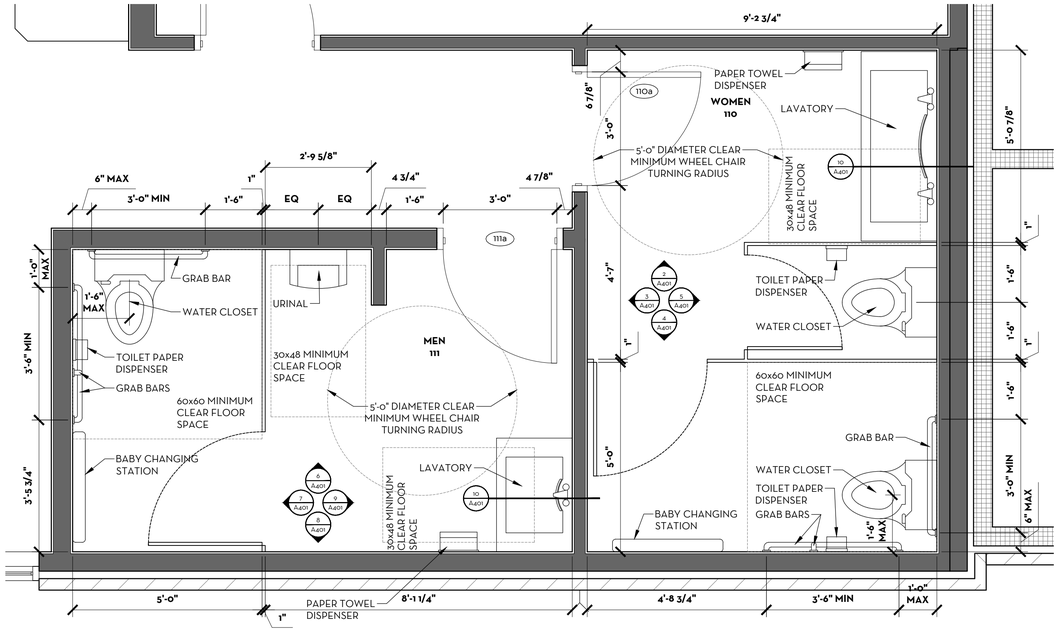
JOB NO:	17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WALL PARTITIONS

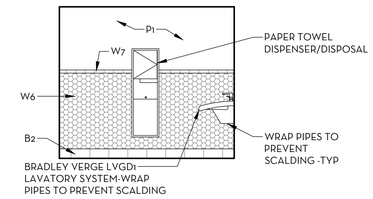
DRAWING
A308



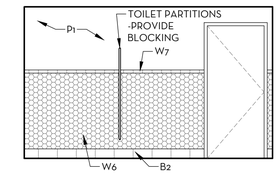
1 ENLARGED RESTROOM PLAN
SCALE: 1/2" = 1'-0"

GENERAL NOTES:

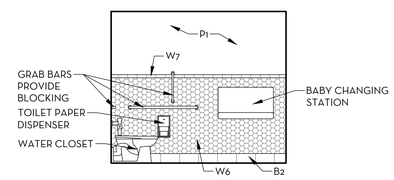
1. TOILET PARTITIONS TO BE 'METPAR TYPE FP-500' BRAND OR EQUAL -OVERHEAD BRACED, BONDERIZED, GALVANIZED TEXTURED STEEL WITH 5SM DIAMOND PATTERN -INCLUDE ALL LATCHES, COAT HOOKS, & DOOR BUMPERS & OTHER NECESSARY HARDWARE FOR A COMPLETE INSTALLATION. HARDWARE FINISH TO BE POLISHED CHROME PLATED
2. ALL TOILET PAPER DISPENSERS, PAPER TOWEL DISPENSERS, SOAP DISPENSERS ARE FURNISHED BY OWNER & INSTALLED BY GENERAL CONTRACTOR. TRASH RECEPTACLE TO BE FURNISHED BY GENERAL CONTRACTOR & INSTALLED BY GENERAL CONTRACTOR
3. ALL TOILET ROOM MIRRORS TO BE 1/4" POLISHED PLATE MIRROR W/ A STAINLESS STEEL FRAME
4. SEE SHEET G001 FOR RESTROOM ACCESSORIES MOUNTING HEIGHTS & CLEARANCES
5. SEE SHEET A600 FOR FINISH SCHEDULE



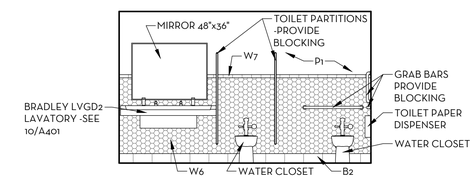
2 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



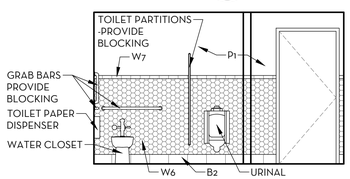
3 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



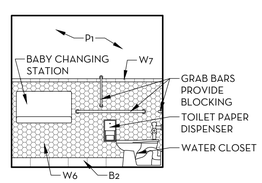
4 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



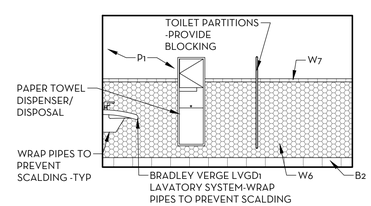
5 INTERIOR ELEVATION -WOMEN 110
SCALE: 1/4" = 1'-0"



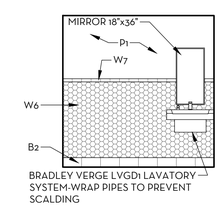
6 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



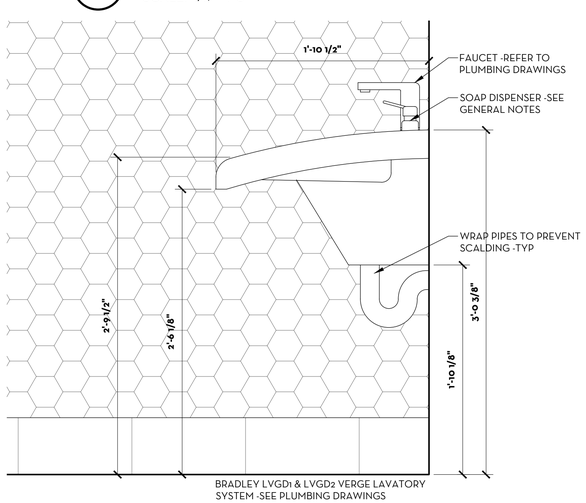
7 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



8 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



9 INTERIOR ELEVATION -MEN 111
SCALE: 1/4" = 1'-0"



10 VANITY DETAIL
SCALE: 1 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

ASPECT architecture:design

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DRAWN BY:	JAS
APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

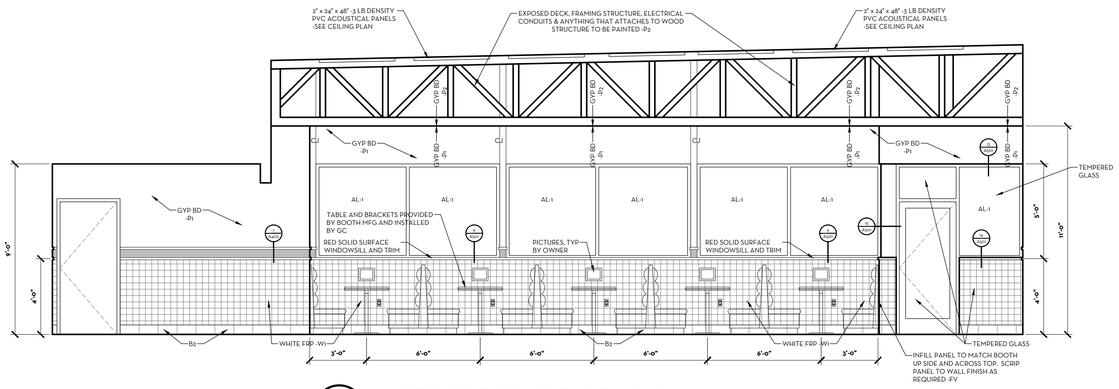
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
ENLARGED RESTROOM PLAN & ELEVATIONS

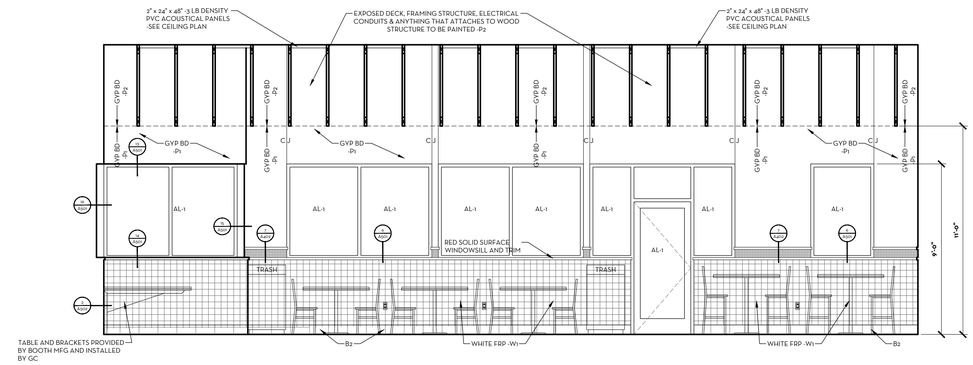
DRAWING
A401

GENERAL NOTES:

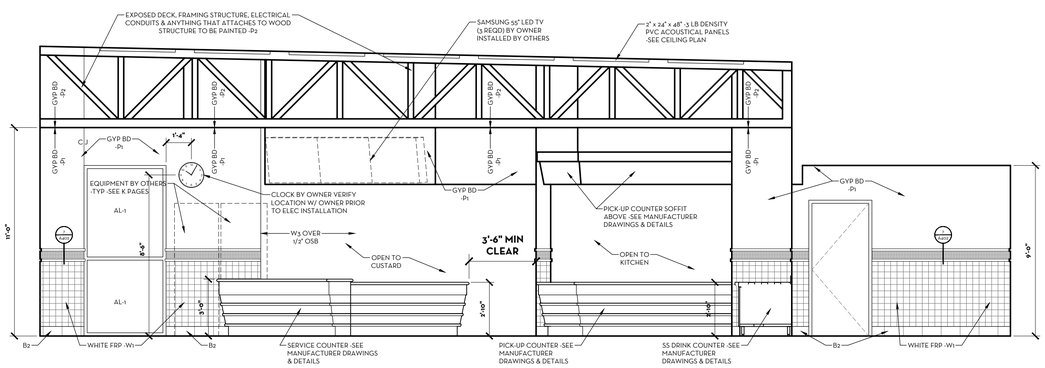
1. CONTINUOUS BEAD OF WHITE CAULK AT ALL FRP JOINTS. CONTINUOUS BEAD OF WHITE CAULK ALONG BASE OF ALL FRP
2. INSTALL TOP OF LIGHT SWITCHES & ELECTRICAL RECEPTACLES 1" BELOW BOTTOM OF 1x2 WOOD TRIM
3. SEE SHEETS K1, K2 & E1 FOR ALL EQUIPMENT ELECTRICAL OUTLET LOCATIONS & HEIGHTS ABOVE FINISH FLOOR
4. EXPOSED DECK, FRAMING STRUCTURE, STIFF ELECTRICAL CONDUITS & ANYTHING THAT ATTACHES TO WOOD STRUCTURE TO BE PAINTED
5. SERVE / PICK-UP / DRINK COUNTER SUPPLIED & INSTALLED BY WOOTEN. CABINET SUPPLIER TO COORDINATE DIMENSIONS & SCHEDULE W/ GENERAL CONTRACTOR
6. SEE SHEET A600 FOR FINISH SCHEDULE



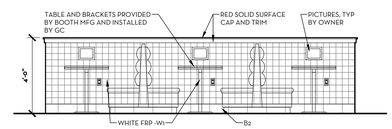
1 INTERIOR ELEVATION -DINING
SCALE: 1/4" = 1'-0"



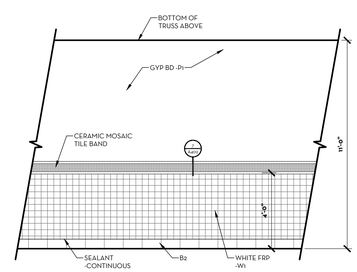
2 INTERIOR ELEVATION -DINING
SCALE: 1/4" = 1'-0"



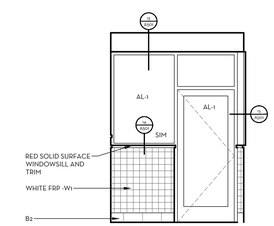
3 INTERIOR ELEVATION -SERVICE/PICK-UP/DRINK COUNTER
SCALE: 1/4" = 1'-0"



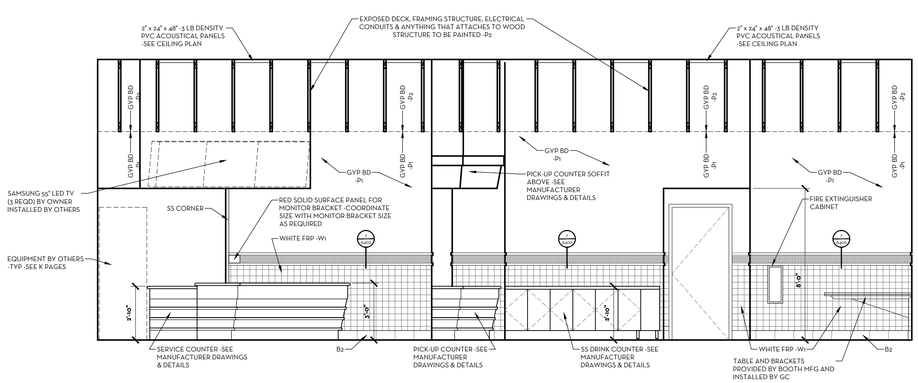
5 INTERIOR ELEVATION -DINING
SCALE: 1/4" = 1'-0"



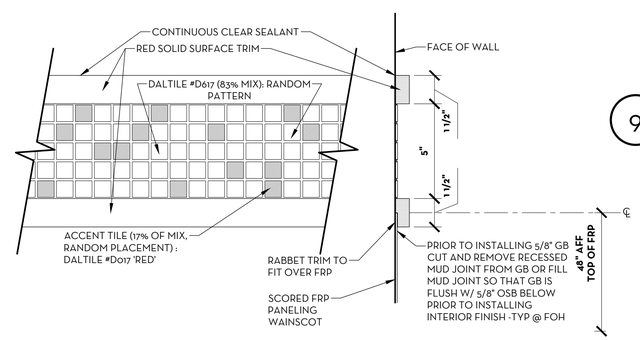
6 TYPICAL DINING ROOM WALL
SCALE: 1/4" = 1'-0"



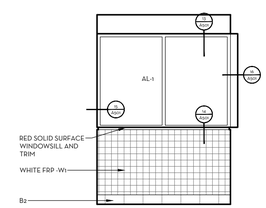
8 INTERIOR ELEVATION -VESTIBULE 100
SCALE: 1/4" = 1'-0"



4 INTERIOR ELEVATION -SERVICE/PICK-UP/DRINK COUNTER
SCALE: 1/4" = 1'-0"



7 TILE BAND DETAIL
SCALE: 3" = 1'-0"



9 INTERIOR ELEVATION -VESTIBULE 100
SCALE: 1/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

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APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

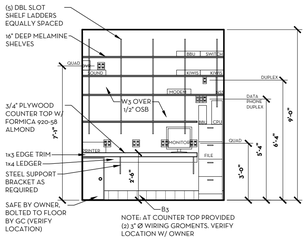
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
INTERIOR ELEVATIONS

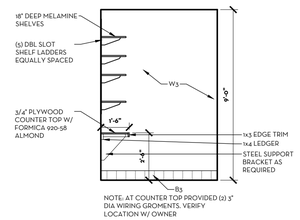
DRAWING
A402

GENERAL NOTES:

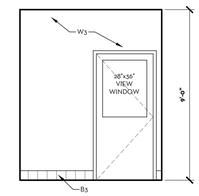
1. SEE SHEET A600 FOR EXTERIOR FINISH SCHEDULE



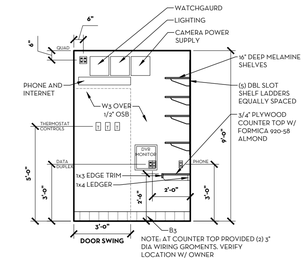
1 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



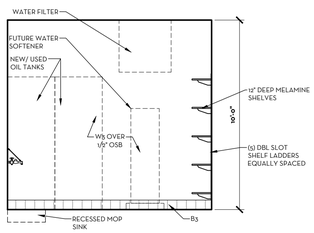
2 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



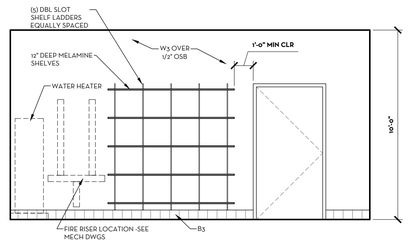
3 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



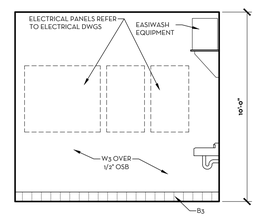
4 INTERIOR ELEVATION -OFFICE
SCALE: 1/4" = 1'-0"



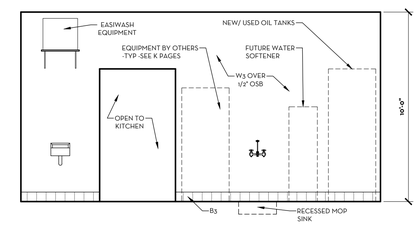
5 INTERIOR ELEVATION -MECHANICAL
SCALE: 1/4" = 1'-0"



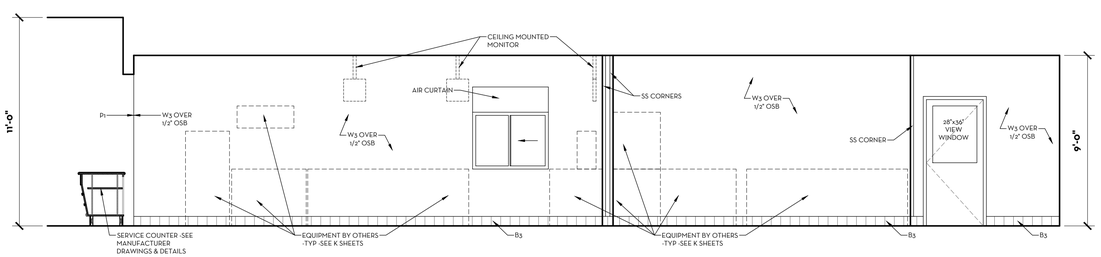
6 INTERIOR ELEVATION -MECHANICAL
SCALE: 1/4" = 1'-0"



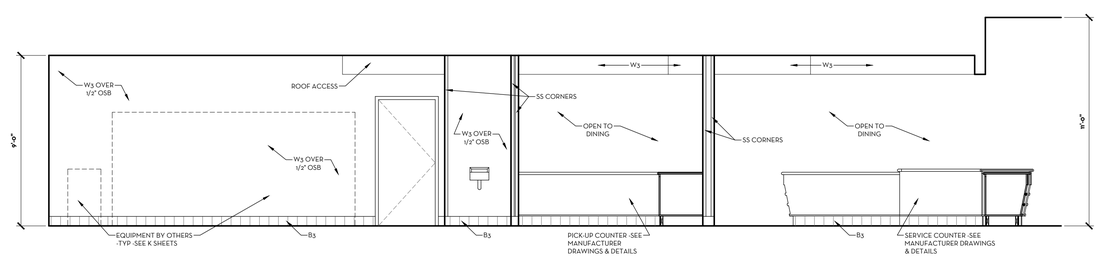
7 INTERIOR ELEVATION -MECHNAICAL
SCALE: 1/4" = 1'-0"



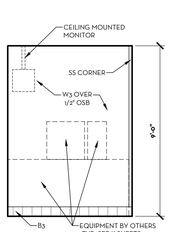
8 INTERIOR ELEVATION -MECHNICAL
SCALE: 1/4" = 1'-0"



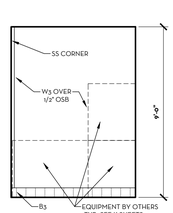
9 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



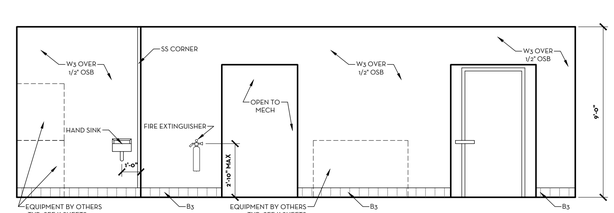
10 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



11 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



12 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"



13 INTERIOR ELEVATION -KITCHEN
SCALE: 1/4" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY

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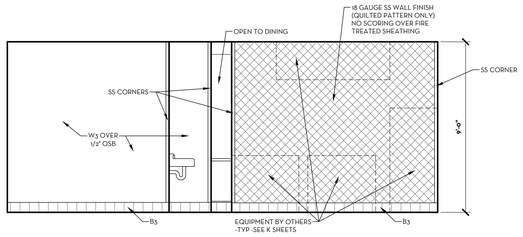
APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

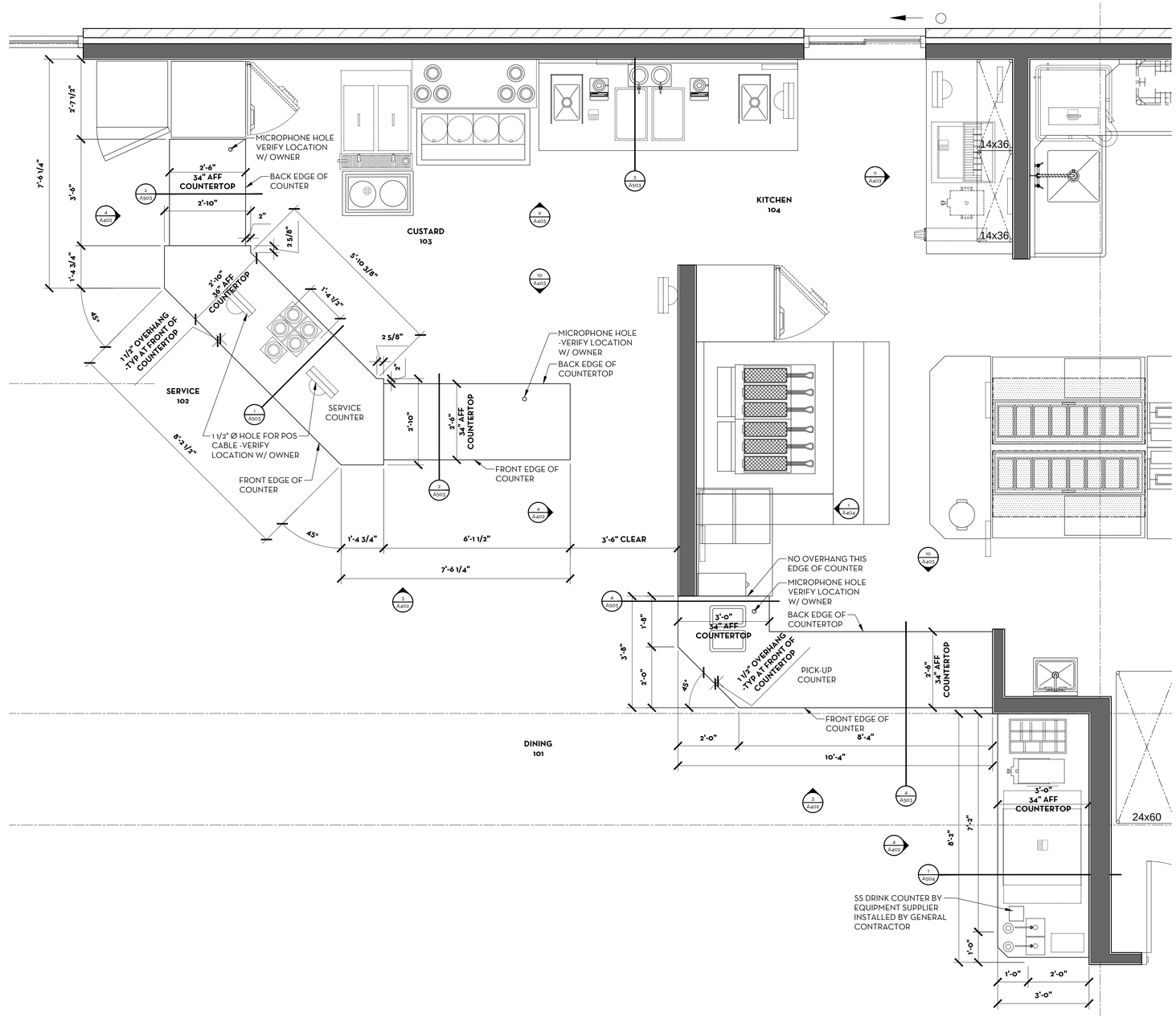
ARCHITECTURAL
INTERIOR ELEVATIONS

DRAWING
A403



1 INTERIOR ELEVATION -KITCHEN

SCALE: 1/4" = 1'-0"



2 ENLARGED CABINET PLAN

SCALE: 1/2" = 1'-0"

BAR IS ONE INCH ON
OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH
ADJUST SCALE ACCORDINGLY

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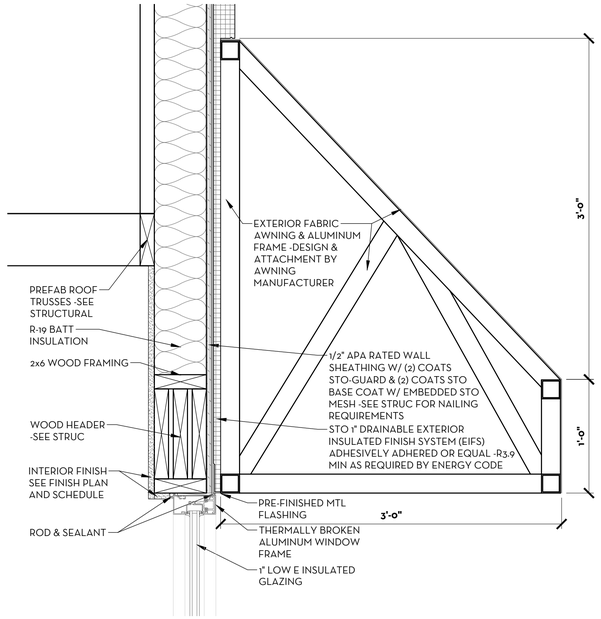
APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

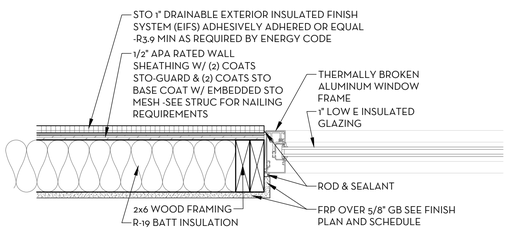
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
INTERIOR ELEVATIONS & ENLARGED PLAN

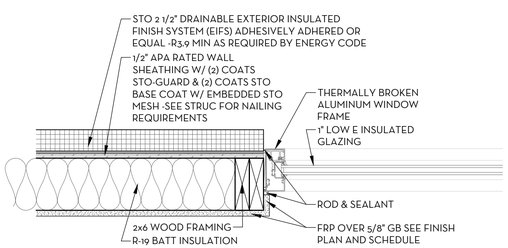
DRAWING
A404



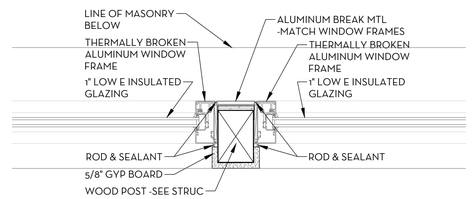
1 ALUMINUM WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



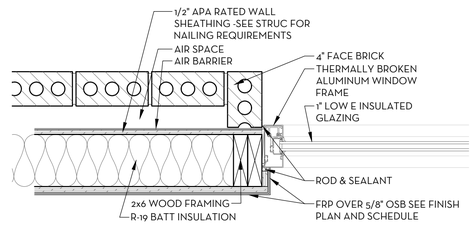
2 ALUMINUM WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



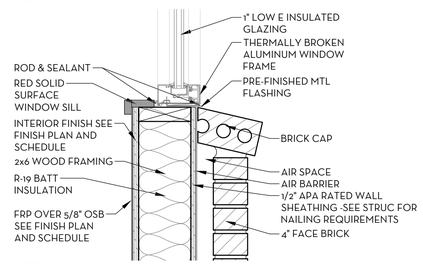
3 ALUMINUM WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



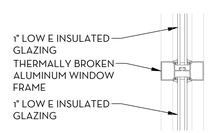
4 ALUMINUM WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



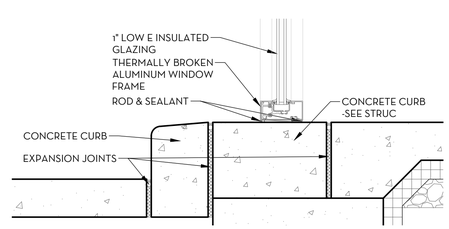
5 ALUMINUM WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



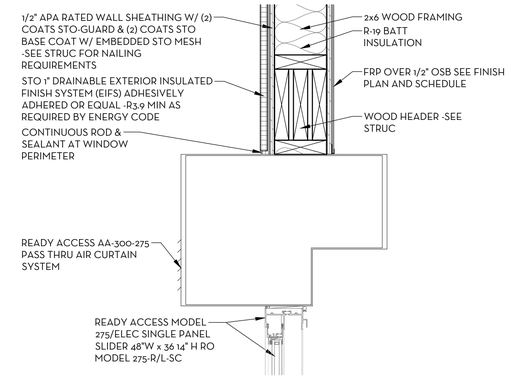
6 ALUMINUM WINDOW SILL DETAIL
SCALE: 1 1/2" = 1'-0"



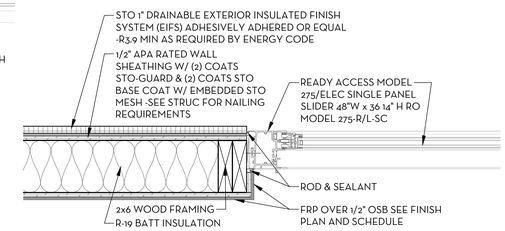
7 ALUMINUM WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



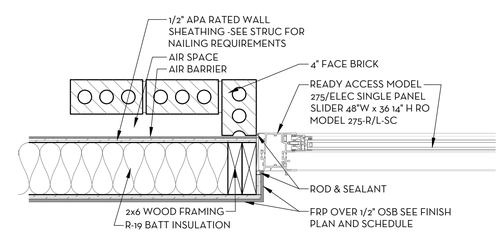
8 ALUMINUM WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



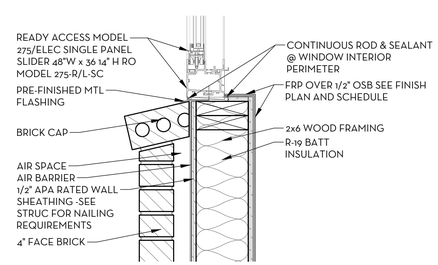
9 DRIVE-THRU WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



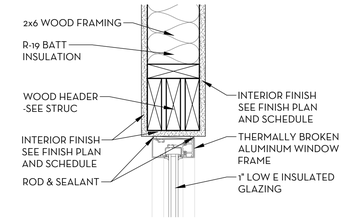
10 DRIVE-THRU WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



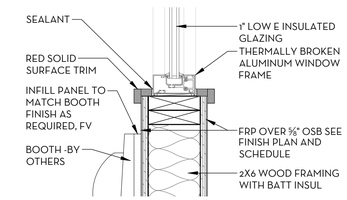
11 DRIVE-THRU WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



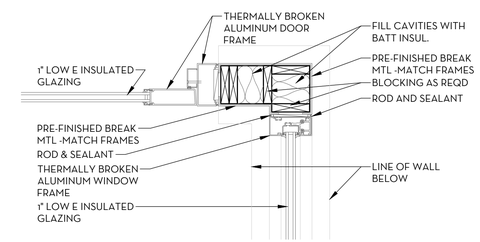
12 DRIVE-THRU WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



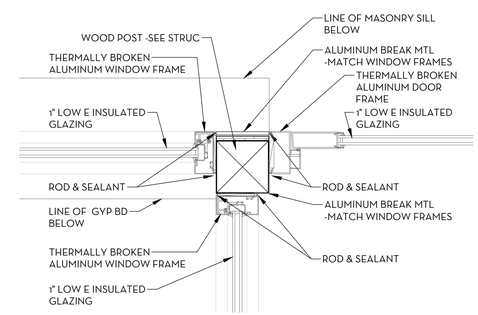
13 VESTIBULE WINDOW HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



14 VESTIBULE WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



15 VESTIBULE WINDOW JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



16 ALUMINUM WINDOW AND DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

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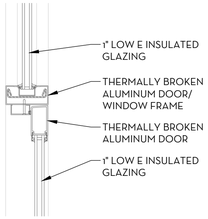
APPROVED:	SLE
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

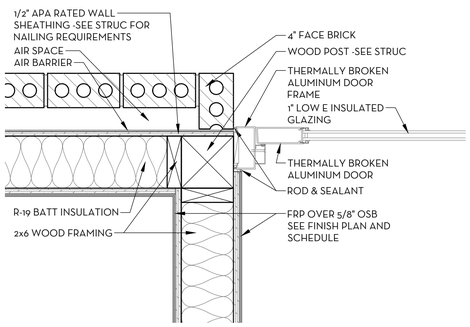
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
WINDOW DETAILS

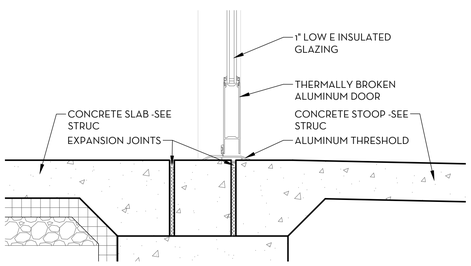
DRAWING
A501



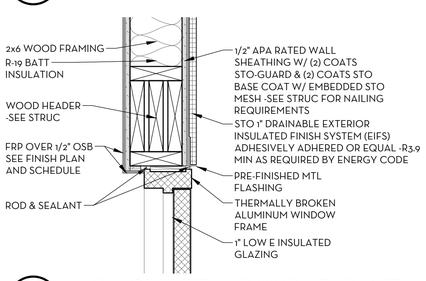
1 ALUMINUM DOOR/WINDOW MULLION DETAIL
SCALE: 1 1/2" = 1'-0"



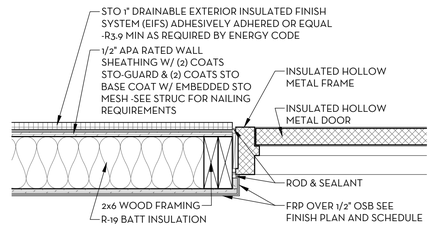
2 ALUMINUM DOOR AND WINDOWJAMB DETAIL
SCALE: 1 1/2" = 1'-0"



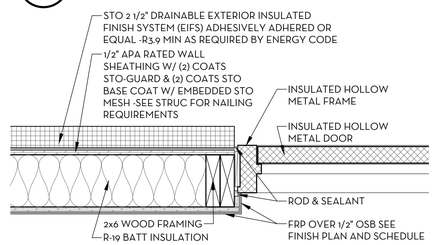
3 ALUMINUM DOOR SILL DETAIL
SCALE: 1 1/2" = 1'-0"



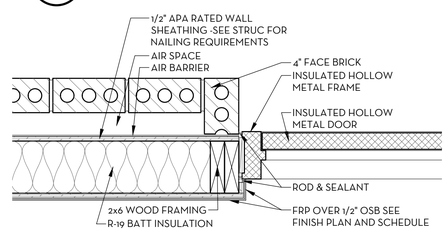
4 HOLLOW METAL DOOR HEAD DETAIL
SCALE: 1 1/2" = 1'-0"



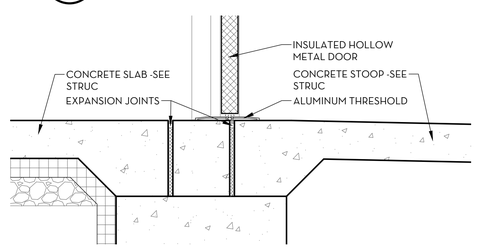
5 HOLLOW METAL DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



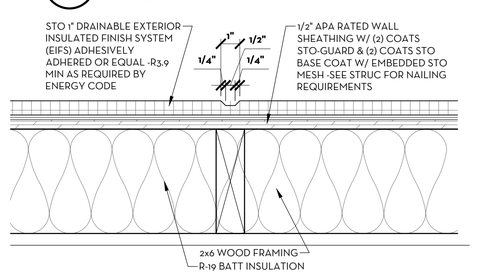
6 HOLLOW METAL DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



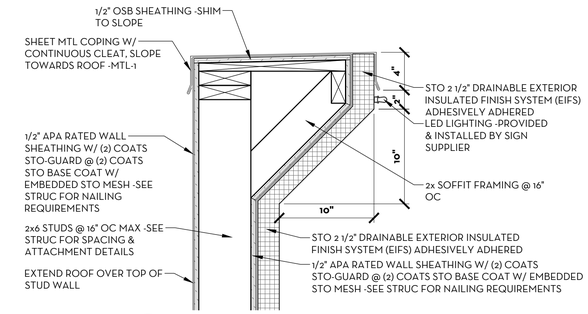
7 HOLLOW METAL DOOR JAMB DETAIL
SCALE: 1 1/2" = 1'-0"



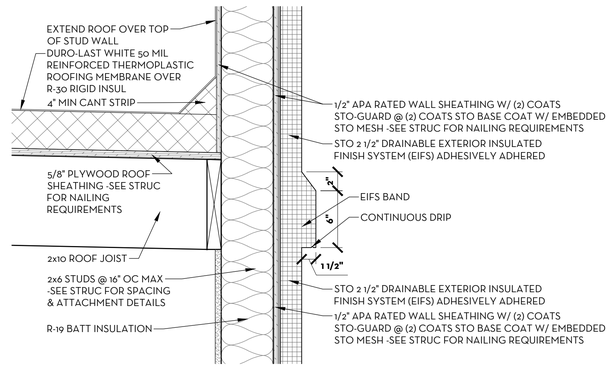
8 HOLLOW METAL DOOR SILL DETAIL
SCALE: 1 1/2" = 1'-0"



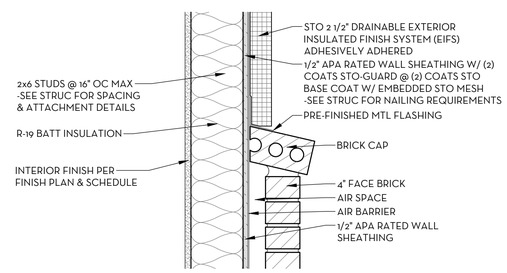
9 EIFS CONTROL JOINT
SCALE: 3" = 1'-0"



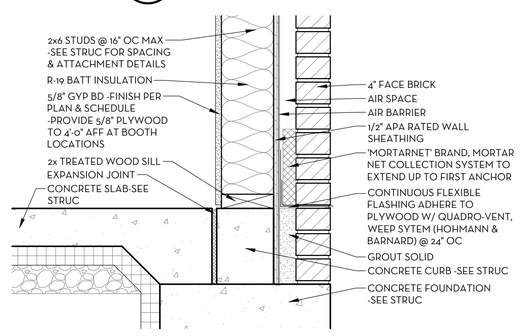
10 PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



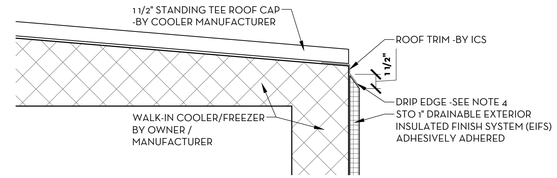
11 EIFS BAND DETAIL
SCALE: 1 1/2" = 1'-0"



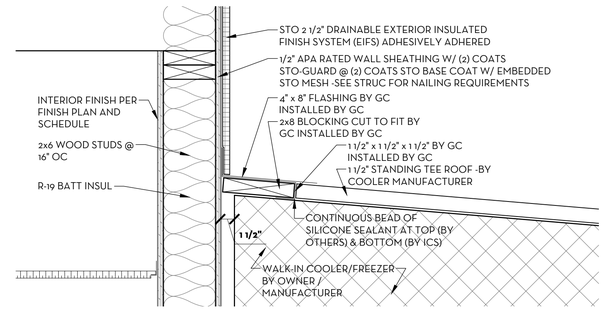
12 BRICK CAP DETAIL
SCALE: 1 1/2" = 1'-0"



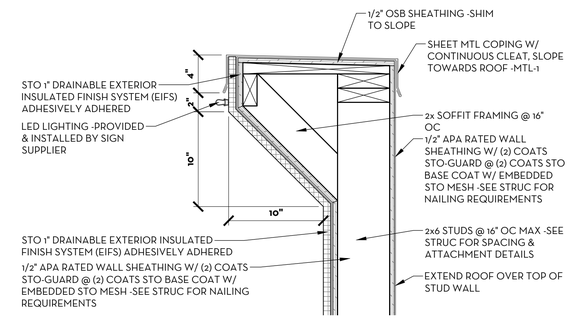
13 BRICK DETAIL
SCALE: 1 1/2" = 1'-0"



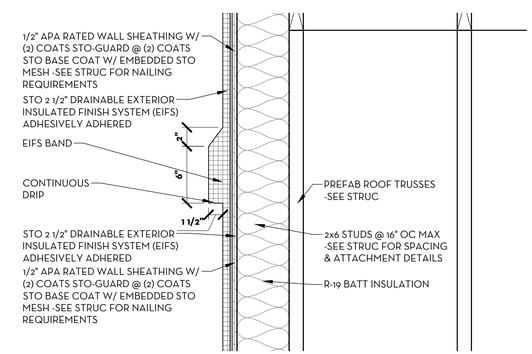
14 COOLER DETAIL
SCALE: 1 1/2" = 1'-0"



15 COOLER DETAIL
SCALE: 1 1/2" = 1'-0"



16 PARAPET DETAIL
SCALE: 1 1/2" = 1'-0"



17 EIFS BAND DETAIL
SCALE: 1 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
0 1"
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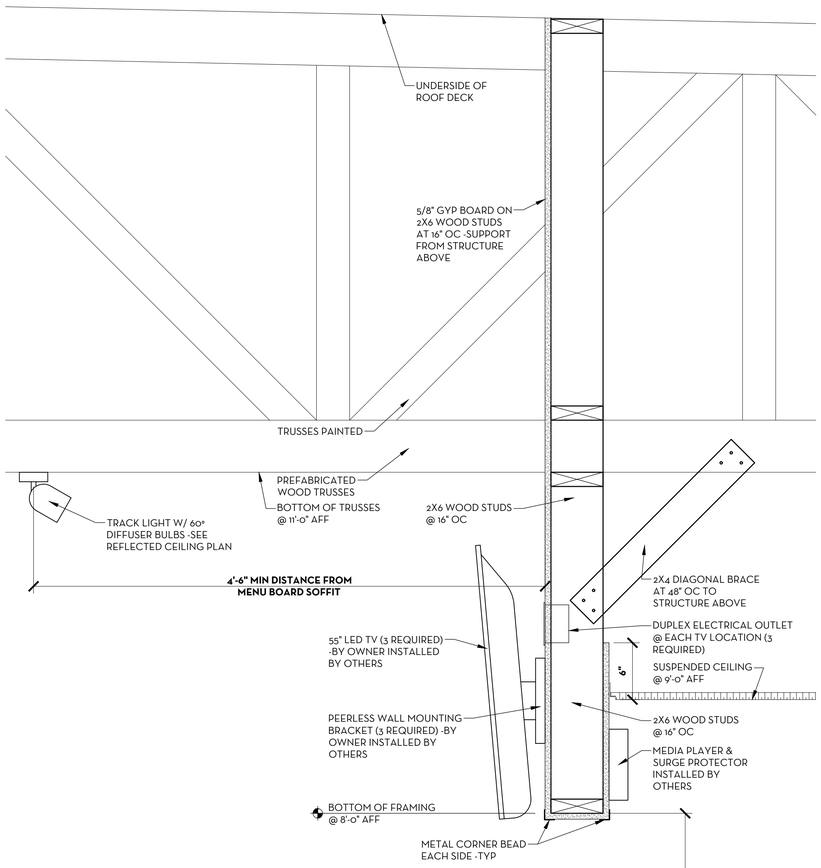
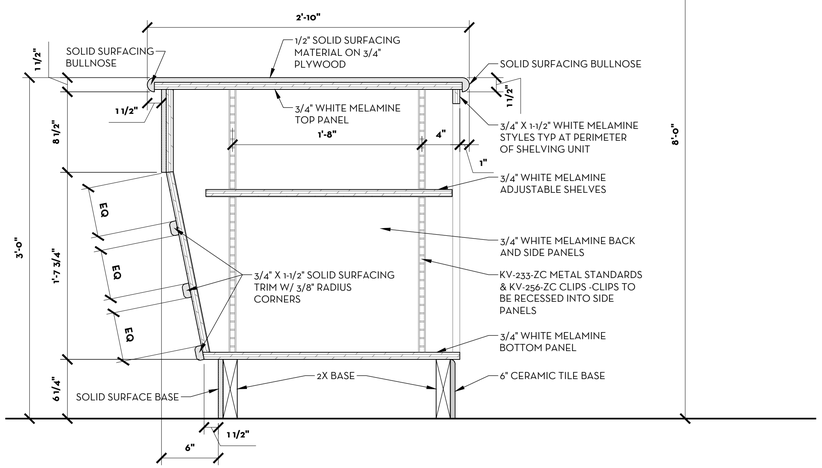
JOB DATE:	JUNE 30, 2017
JOB NO:	17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

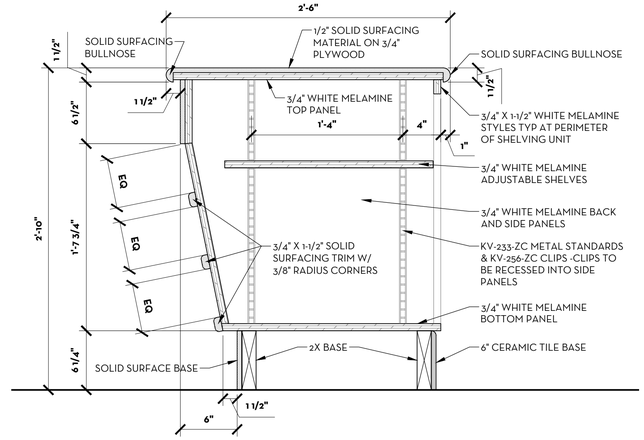
ARCHITECTURAL DETAILS

DRAWING
A502

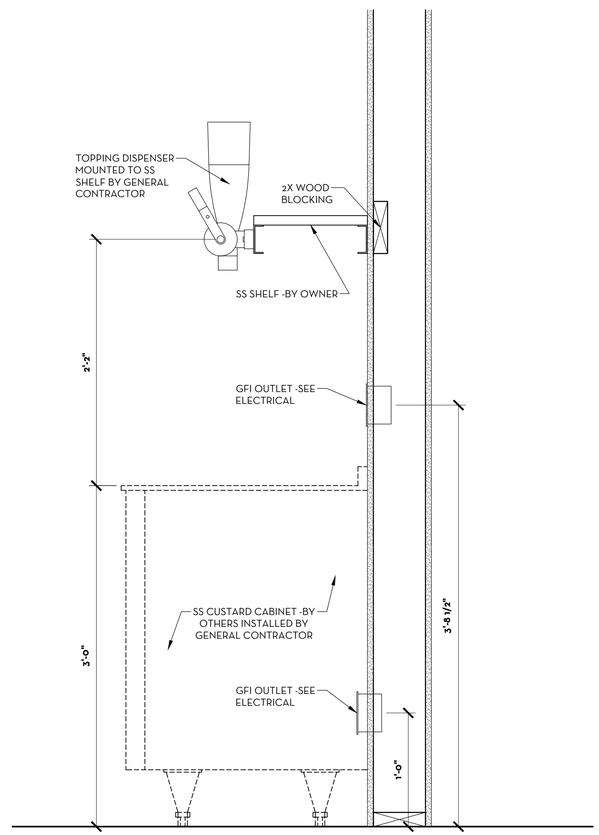




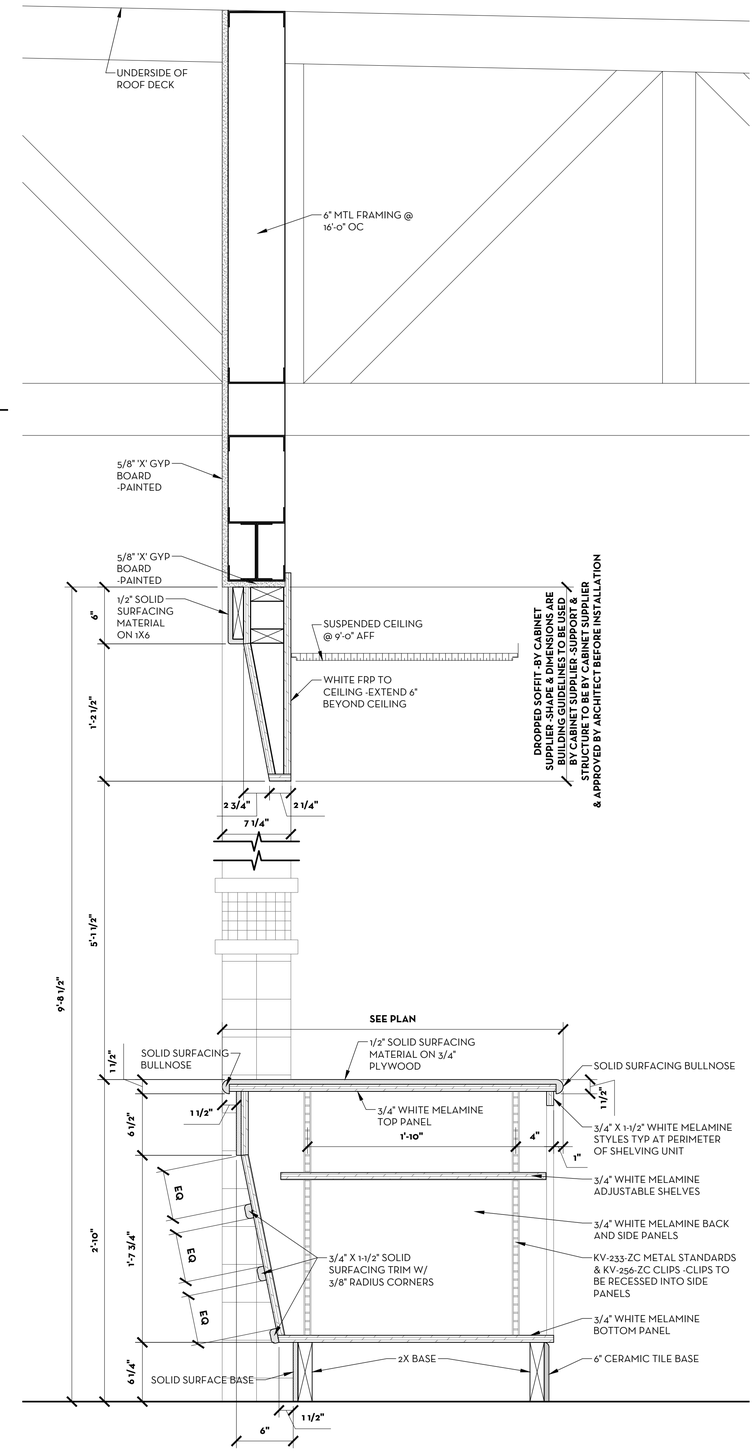
1 FRONT COUNTER DETAIL
SCALE: 1 1/2" = 1'-0"



2 FRONT COUNTER DETAIL
SCALE: 1 1/2" = 1'-0"



3 CUSTARD COUNTER DETAIL
SCALE: 1 1/2" = 1'-0"



4 PICK-UP COUNTER DETAIL
SCALE: 1 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
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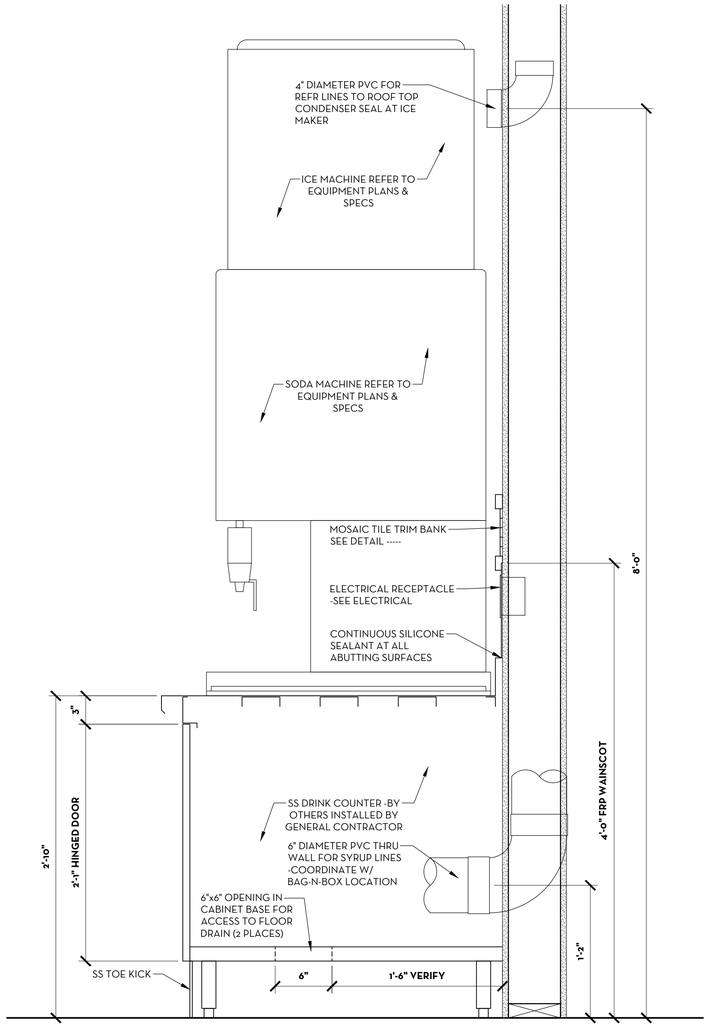
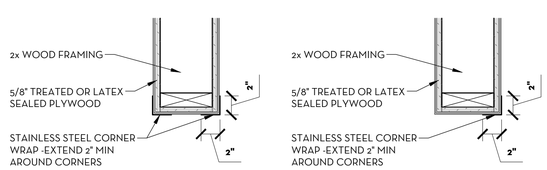
FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
COUNTER DETAILS

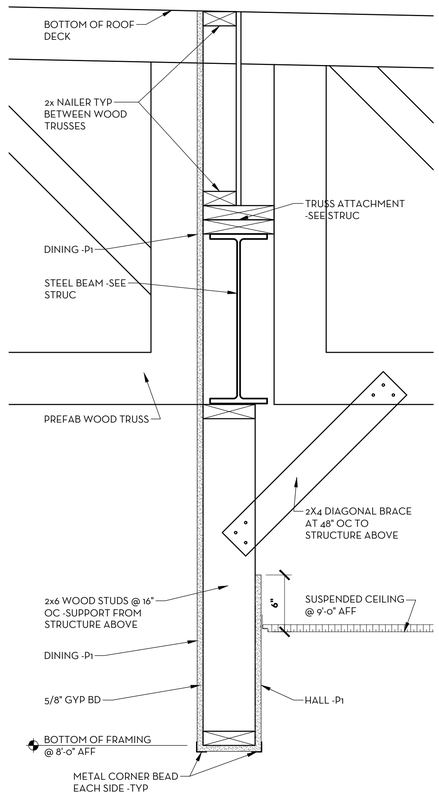
DRAWING
A503



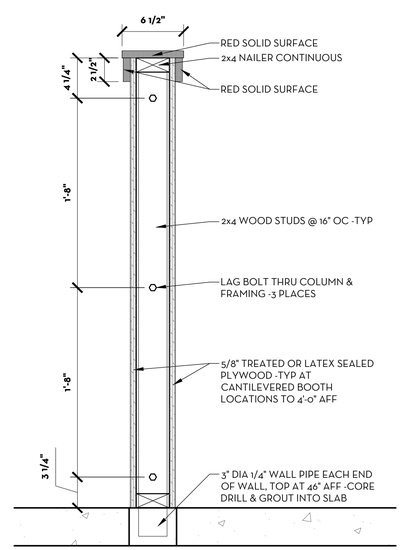
1 DRINK COUNTER DETAIL
SCALE: 1 1/2" = 1'-0"



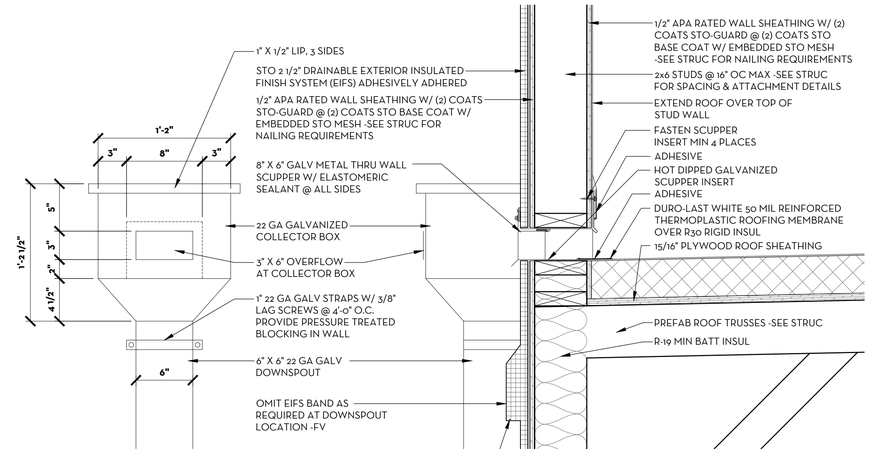
2 CORNER EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



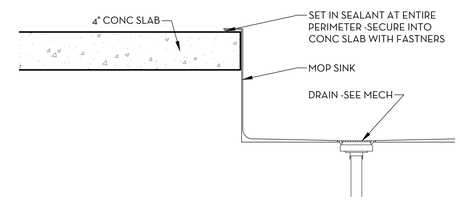
3 CORNER EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



4 HALF HEIGHT WALL DETAIL
SCALE: 1 1/2" = 1'-0"



5 HALF HEIGHT WALL DETAIL
SCALE: 1 1/2" = 1'-0"



6 RECESSED MOP SINK DETAIL
SCALE: 1 1/2" = 1'-0"

BAR IS ONE INCH ON OFFICIAL DRAWINGS
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JOB DATE:	JUNE 30, 2017
JOB NO:	17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
DETAILS

DRAWING
A504

DOOR SCHEDULE

DOOR NUMBER	DOOR SIZE	DOOR THICKNESS	DOOR MATERIAL	DOOR FINISH	DOOR ELEVATION	FRAME MATERIAL	FRAME FINISH	FRAME ELEVATION	HARDWARE SET	NOTES
100a	3'-0" x 7'-0"	1-3/4"	ALUMINUM/INSUL GLASS	ANODIZED	---	ALUMINUM	ANODIZED	---	H-1	1" INSULATED, TEMPERED SOLARBAN 60 GLAZING
100b	3'-0" x 7'-0"	1-3/4"	ALUMINUM/INSUL GLASS	ANODIZED	---	ALUMINUM	ANODIZED	---	H-2	1" INSULATED, TEMPERED SOLARBAN 60 GLAZING
102a	3'-0" x 7'-0"	1-3/4"	ALUMINUM/INSUL GLASS	ANODIZED	---	ALUMINUM	ANODIZED	---	H-2	1" INSULATED, TEMPERED SOLARBAN 60 GLAZING
104a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-4	- - - -
106a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-6	28"x36" HORIZONTAL WINDOW CENTERED IN DOOR WIDTH 60" AFF
107a	3'-6" x 7'-0"	1-3/4"	INSUL HOLLOW METAL	PAINT	---	INSUL HOLLOW METAL	PAINT	---	H-3	PEEP HOLE @ 60" AFF DOOR BUZZER W/ SPEAKER IN STORAGE W/ MANUAL SHUTOFF
110a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-7	- - - -
111a	3'-0" x 6'-8"	1-3/4"	SOLID CORE WOOD	PAINT	---	HOLLOW METAL	PAINT	---	H-7	- - - -

DOOR/FRAME FINISH SCHEDULE

DOOR NUMBER	FINISH	FRAME
110a & 111a	PAINT BOTH SIDES W/ (2) COATS WILKO 944.17 FREDDY'S RED	PAINT FRAME -WILKO 946.17 FREDDY'S JET BLACK

HARDWARE SCHEDULE

QUANTITY	DESCRIPTION	MANUFACTURER	NUMBER	REMARKS
HARDWARE SET H-1 (ENTRY DOORS)				
1 EACH	CYLINDER	YALE	AS REQUIRED	NO THUMB LATCHES PERMITTED AT THIS DOOR
ALL HARDWARE BY DOOR MANUFACTURER				
HARDWARE SET H-2 (ENTRY DOORS)				
ALL HARDWARE BY DOOR MANUFACTURER INCLUDING PANIC HARDWARE PER IBC 1008.1.9				
HARDWARE SET H-3 (REAR DOOR)				
3 EACH	BUTTS	STANLEY	FBB191-32D-NRP -4 1/2" x 4 1/2"	
1 EACH	EXIT DEVICE	FALCON	25-R	
1 EACH	PUSHBUTTON LOCK	KABA	LP1000	SATIN CHROME 26D
1 EACH	CLOSER	NORTON	CLP8501-689	
1 EACH	KICKPLATE	ROCKWOOD	10 x 40-32D	
1 EACH	DOOR VIEWER	DORESCOPE	DS2000 MG (GRAY)	INSTALL AT 60" AFF
1 EACH	THRESHOLD	PEMKO	171A	
1 EACH	SWEEP	PEMKO	315CN	
1 SET	WEATHERSTRIP	PEMKO	228.00	
HARDWARE SET H-4 (KITCHEN DOOR)				
1 SET	BUTTS	STANELY	FBB179-26D -4 1/2" x 4 1/2"	
2 EACH	PUSH PLATE	ROCKWOOD	4 x 16-32D	
1 EACH	KICKPLATE	ROCKWOOD	36 x 34-32D	INSTALL ON KITCHEN SIDE OF DOOR
HARDWARE SET H-6 (OFFICE DOOR)				
3 EACH	BUTTS	STANLEY	FBB179-26D -4 1/2" x 4 1/2"	
1 EACH	PUSHBUTTON LOCK	SCHLAGE	FE595 x 16207 10-025 26D CAMELOT x ACCENT -VERIFY W/ OWNER	SATIN CHROME
1 EACH	CLOSER	NORTON	CLP8501-689	
1 EACH	DOOR STOP	ROCKWOOD	409-32D	
3 EACH	SILENCERS	ROCKWOOD	608	
1 EACH	KICKPLATE	ROCKWOOD	10 x 34-32D	
HARDWARE SET H-7 (TOILET DOORS)				
3 EACH	BUTTS	STANLEY	FBB179-26D -4 1/2" x 4 1/2"	
1 EACH	PUSH PULL	ROCKWOOD	70C x 107 x 70C-32D	
1 EACH	CLOSER	NORTON	CLP8501-689	
1 EACH	KICKPLATE	ROCKWOOD	10 x 34-32D	
1 EACH	DOOR STOP	ROCKWOOD	409-32D	
3 EACH	SILENCERS	ROCKWOOD	608	

NOTES:

1. ALL DOOR HARDWARE TO CONFORM TO FEDERAL ADA ACCESSIBILITY GUIDELINES, INCLUDING BUT NOT LIMITED TO MOUNTING HEIGHTS, OPERATING FORCE AND GRIP REQUIREMENTS.
2. VERIFY HARDWARE FINISH (SATIN CHROMIUM US26D) WITH OWNER
3. RESTROOM DOOR SIGNS -ALL DOOR SIGNS ARE PROVIDED BY AND INSTALLED BY THE GENERAL CONTRACTOR. DOOR SIGNAGE SHALL COMPLY WITH SECTION 4.30 OF THE ADA INCLUDING CHARACTER HEIGHT AND PROPORTION, BRAILED CHARACTERS, FINISH AND CONTRAST, INTERNATIONAL SYMBOL OF ACCESSIBILITY AND MOUNTING HEIGHT. LOCATIONS -WALL ADJACENT TO THE LATCH SIDE OF THE DOOR OR SIGNS SHALL BE INSTALLED ON THE NEAREST ADJACENT WALL. MOUNTING HEIGHT SHALL BE 60" AFF TO THE CENTER OF THE SIGN.
4. THUMB LATCHES ARE NOT PERMITTED AT EXIT DOORS.

FINISH SCHEDULE

INTERIOR PAINT	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
INTERIOR WALLS	PRIMER	P1	WILKO	#907.37	---	---	PRIME WALLS WITH ONE COAT WILKO HIGH HIDE TONE ACRYLIC LATEX PRIMER, PAINT WITH TWO COATS OF WILKO HIGH HIDE LATEX INTERIOR EGGSHELL
	PAINT			#937.17	FREDDY'S GOLD		
DINING CEILING	PRIMER	P2	WILKO	#902.47	---	---	PRIME CEILING WITH ONE COAT WILKO HIGH HIDE TONE ACRYLIC LATEX PRIMER, PAINT WITH TWO COATS WILKO HIGH HIDE LATEX FLAT WILKO TONE FREDDY'S GRAY
	PAINT			#932.47	FREDDY'S GRAY		
EXPOSED DUCTWORK & DIFFUSERS DINING ROOM	PAINT	P3	WILKO	#944.17	FREDDY'S RED	---	PAINT WITH TWO COATS WILKO HIGH HIDE TONE HIGH GLOSS WOOD & METAL LATEX
RESTROOM DOORS	PAINT	P3	WILKO	#944.17	FREDDY'S RED	---	PAINT WITH TWO COATS WILKO HIGH HIDE TONE HIGH GLOSS WOOD & METAL LATEX
INTERIOR HM DOOR FRAMES	PAINT	P4	WILKO	#946.17	FREDDY'S JET BLACK	---	PAINT WITH TOW COATS WILKO HIGH HIDE TONE HIGH GLOSS WOOD & METAL LATEX
GYP BD CEILINGS RESTROOM	PAINT	P5	WILKO	#931.02	FREDDY'S WHITE	---	PAINT WITH WILKO HIGH HIDE INTERIOR ACRYLIC LATEX WHITE
EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
BUILDING WALLS	PAINT	A	WILKO	#937.97	FREDDY'S BEIGE	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAINT
BUILDING TRIM	PAINT	B	WILKO	#933.37	FREDDY'S PEARL	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CONE	PAINT	C	WILKO	#937.37	BISKET BEIGE	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CUSTARD	PAINT	D	WILKO	#931.17	ICE WHITE	---	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
TILE	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	GROUT COLOR	REMARKS
MOSAIC TILE BAND	KEYSTONES	---	DALTILE	N2091BLDMS1P	---	WHITE	RANDOM PATTERN (1" x 1"), 12x24 SHEETS (CUT TO 6x12 ON SITE), COMES PRE-MADE WITH 17% RED.
RR WALL TILE	---	W6	DALTILE	65012OCT01MS1P2	---	WHITE	DB OCTAGON/DOT MATTE WHITE WITH MATTE WHITE DOT
RR WALL TRIM TILE	PERMABRITES	W7	DALTILE	64215886MS1P2	BLACK	WHITE	DB PERMABRITES S86 MS BULLNOSE 6421 GLS BLK/SABLE STD
DINING, HALL & RR FLOOR	CMC -BRAZIL NATAL CMC -BRAZIL VITORIA	CT1 CT2	CREATIVE MATERIALS CORPORATION	---	---	BLACK	12" x 12" BLACK SPECKLE 12" x 12" ARTIC WHITE SPECKLE
	COVE BASE: CMC -BRAZIL NATAL	B2	---	---	---		6" x 12" BLACK SPECKLE
BOH FLOOR TILE	CMC -METRO TREAD	CT3	CREATIVE MATERIALS CORPORATION	---	---	---	---
	COVE BASE: DALTILE	B3	DALTILE	OQ76	GRAY	GRAY	6" QUARRY SMOOTH SURFACE P-3665
WALL FINISH	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	TYPE	REMARKS
DINING WAINSCOT	4" x 4" SCORED MARLITE	W1	MARLITE	C 100-G44	WHITE	---	
BOH WALLS	FRP	W3	VARIOUS	---	WHITE	---	
KITCHEN	18 GAUGE SS	W4	VARIOUS	---	---	---	REFERENCE FINISH PLAN AND INTERIOR ELEVATIONS FOR LOCATION(S)
KITCHEN	18 GAUGE QUILTED	W4Q	VARIOUS	---	---	---	4" x 4" QUILTED (NOT SCORED) REFERENCE FINISH PLAN AND INTERIOR ELEVATIONS FOR LOCATION(S)

EXTERIOR FINISH SCHEDULE

EXTERIOR PAINT	DESCRIPTION	FINISH NO.	MANUFACTURER	MANUFACTURER NO.	COLOR	REMARKS
BUILDING WALLS	PAINT	A	WILKO	#937.97	FREDDY'S BEIGE	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAINT
BUILDING TRIM	PAINT	B	WILKO	#933.37	FREDDY'S PEARL	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CONE	PAINT	C	WILKO	#937.37	BISKET BEIGE	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
CUSTARD	PAINT	D	WILKO	#931.17	ICE WHITE	PAINT WITH TWO COATS WILKO EXTERIOR LOW LUSTER LATEX HOUSE PAIN
EXTERIOR BRICK	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING BRICK	BRICK	BRICK-1	ACME		RED COLORADO "M" W/ NO BLACK	
METAL COPING	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING COPING	COPING	MTL-1	PAC-CLAD		CARDINAL RED	
ALUMINUM WINDOWS	DESCRIPTION	FINISH NO.			COLOR	REMARKS
BUILDING WINDOWS	STOREFRONT WINDOWS	AL-1			DARK BRONZE -VERIFY W/OWNER	ANODIZED ALUMINUM STOREFRONT FRAMES W/ THERMAL BREAK & 1" INSULATED, SOLARBAN 60 CLEAR INSULATED LOW E TEMPERED GLAZING

BAR IS ONE INCH ON OFFICIAL DRAWINGS

0 1"

IF NOT ONE INCH ADJUST SCALE ACCORDINGLY

ASPECT architecture·design

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DRAWN BY: JAS
APPROVED: SLE
JOB DATE: JUNE 30, 2017
JOB NO: 17016

FREDDY'S FROZEN CUSTARD
902 W. KIMBERLY ROAD
DAVENPORT, IA

ARCHITECTURAL
DOOR & FINISH SCHEDULES

DRAWING
A600

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
1. Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:
   a. Rogalski Drive from the former Ripley Street to the west line of Harrison Street,
   b. West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
   c. Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;

and three alleys:
   a. the east west alley north of Locust Street between Ripley and Harrison Streets,
   b. the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and
   c. the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

ATTACHMENTS:

Type	Description
Backup Material	ROW17-04 SR packet

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:30 PM

City of Davenport
Community Planning & Economic Development Department
STAFF REPORT

Meeting Date: August 01, 2017
Request: Right-of-way vacation (abandonment) of 1.29 acres, more or less of streets and alleys.
Location: Case No. ROW17-04: Request of St. Ambrose University for the rights-of-way vacation (abandonment) of portions of three streets:

1) Rogalski Drive from the former Ripley Street to the west line of Harrison Street,
2) West Pleasant Street from the former Ripley Street to the west line of Harrison Street, and
3) Ripley Street from the north line of Locust Street to the north line of the east-west alley north of Locust Street;

and three alleys:

1) the east west alley north of Locust Street between Ripley and Harrison Streets,
2) the north-south alley west of Harrison Street between the north line of the east-west alley north of Locust Street and the south line of Pleasant Street, and
3) the north-south alley west of Harrison Street between the north line of Pleasant Street and the south line of Rogalski Drive.

Case No.: ROW17-04
Applicant: St. Ambrose University

Recommendation:

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. ROW17-04 to the City Council for approval subject to the listed conditions.

Introduction:

St. Ambrose University is seeking to vacate streets and alley to allow for control and maintenance of infrastructure within its campus. The request is being handled in one request since the rights-of-way are interconnected as shown in the location plat.

LOCATION:

Subject Property

N

<u>Background:</u>

Comprehensive Plan:

Within Existing Urban Service Area: Yes

Within Urban Service Area 2035: Yes

Zoning:

The adjacent properties are zoned "PID" Planned Institutional District, "C-2" General Commercial District and "R-4" Moderate Density Dwelling District.

Technical Review:

<u>Streets</u>. All of the streets and alleys proposed for being vacated were within the boundaries of the PID. The northerly portion of Ripley Street up to Lombard Street was previously vacated and incorporated into the campus where it still functions as both vehicle and pedestrian access. Various alleys and portions of the east-west Streets as well as Scott Street were also vacated earlier. The current street and alley configuration provides access to various campus facilities and parking lots as well as one remaining private entity.

<u>Storm Water</u>. At least for the near future no changes will be made to the impervious surfaces. There is storm infrastructure in the extreme southern end of Ripley Street.

<u>Sanitary Sewer</u>. There is sanitary infrastructure within Ripley Street.

<u>Other Utilities</u>. According to aerial photos and information submitted, there are other overhead and underground utility services located within all of the rights-of-way requested for vacation for which easements are requested by various utility companies (please see attachments).

Emergency Services. There should be no change in emergency access. The campus area is within one (1) mile of Fire Station No. 3 located at 3506 Harrison Street. It is also located with just over 0ne-half (1/2) mile from Genesis West hospital.

Parks/Open Space. There is no impact on existing or proposed greenspaces.

Public Input:
Notices were sent to the 23 owners of properties within 200 feet of the proposed right-of-way vacation in advance of the July 18, 2017 Plan and Zoning Commission Public Hearing. No comments have been returned.

Discussion:
St. Ambrose University is seeking to vacate streets and alley to allow for control and maintenance of infrastructure within its campus. At the public hearing the petitioner indicated that at least of the near future no changes would be made except for safety concerns, such as with the east-west alley just north of Locust Street. That access would be provided to the private entity and easements maintained.

Staff Recommendation
Findings:

- St Ambrose owns almost all of the surrounding proeprty.
- Eventual integration of the street system into the campus was presumed as has happened in the past

Recommendation:
Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. ROW17-04 to the City Council for approval subject to the following conditions:

1. That an easement be placed on the rights-of-way to maintain, operate, remove, repair, replace, construct, reconstruct, or relocate utility services.
2. That an easement for access be provided to the satisfaction of 2020 Harrison Street (Birthright of Davenport) or its successor.

Prepared by:

Wayne Wille, CFM - Planner II
Community Planning Division

Rusnak, Ryan

From: Carlson, Dawn M <DMCarlson@midamerican.com>
Sent: Tuesday, July 11, 2017 1:22 PM
To: Miller, Nathaniel E; Wahlheim, Derek R
Cc: Hofer, Derick; Rusnak, Ryan
Subject: RE: St. Ambrose ROW vacations

Good Afternoon;

In the event a vacation ordinance is adopted, it is requested that a reservation be included to maintain, operate, remove, repair, replace, construct, reconstruct or relocate the electric and gas facilities within the entire vacated street/alley right of way. It is also requested that a copy of the ordinance be forwarded to this office.

Thanks
Dawn

From: Miller, Nathaniel E
Sent: Tuesday, July 11, 2017 11:18 AM
To: Wahlheim, Derek R <DRWahlheim@midamerican.com>; Carlson, Dawn M <DMCarlson@midamerican.com>
Cc: Hofer, Derick <DHofer@midamerican.com>
Subject: RE: St. Ambrose ROW vacations

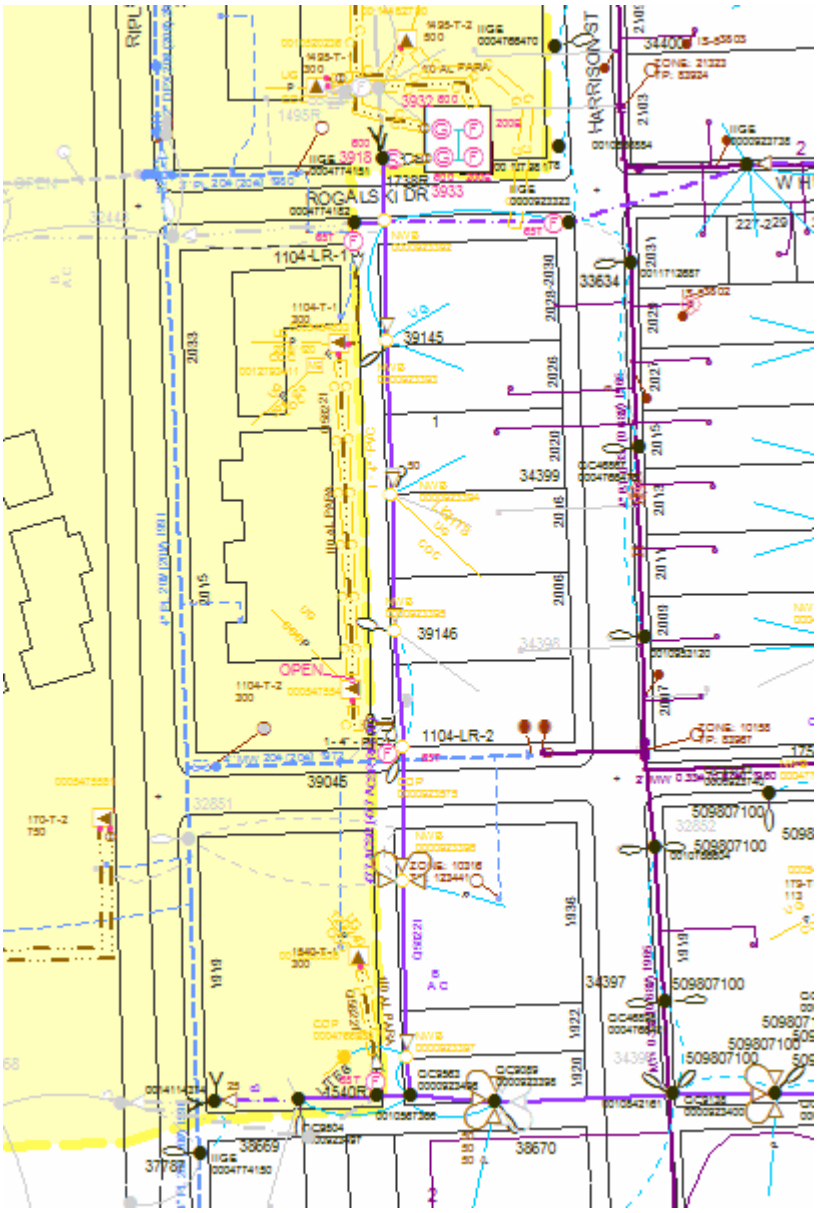
I would agree with Derek statement we need to maintain easements.

Nate

From: Wahlheim, Derek R
Sent: Friday, July 07, 2017 8:57 AM
To: Carlson, Dawn M
Cc: Miller, Nathaniel E; Hofer, Derick
Subject: RE: St. Ambrose ROW vacations

Dawn,

MEC gas and electric both have lots of facilities in these areas they want to vacate. We would need to maintain easements for our existing facilites and make sure that they continue to provide hard surface access. The OH is a mainline circuit for Q58221 that serves the majority of the campus as well as other residential and commercial customers in the area.



I've cc'd Derick Hofer who is the KAM for ST Ambrose.

Derick - It would be interesting to know why the college wants to vacate the easement. Have you heard from them about this? Do you know what their plans are?

Thanks

Derek Wahlheim
Supervisor – Electric Distribution Engineering
2811 5th Ave
Rock Island, IL 61201
(309) 793-3696 – Office
(563) 271-1263 – Cell

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From: Rusnak, Ryan [mailto:rrusnak@ci.davenport.ia.us]
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce; Carlson, Dawn M; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Gleason, Nicole; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Hocker, Ron; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Kull, David; Leabhart, Tom; Longlett, Eric; Maloney, Mike; McGee, Mike; Miers, Dan; Miller, Nathaniel E; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Schnauber, Eric; Sim, Nicholas; Statz, Gary; Tate, Art; Wahlheim, Derek R; Wille, Wayne
Subject: [INTERNET] St. Ambrose ROW vacations

**** STOP. THINK. External Email ****

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

Click here for more information about the Zoning Ordinance Rewrite. Spread the Word!

Subject Property

N

Rusnak, Ryan

From: David A Kull <David.Kull@amwater.com>
Sent: Thursday, July 06, 2017 5:53 PM
To: Rusnak, Ryan
Cc: Julie S Allender
Subject: RE: St. Ambrose ROW vacations

Ryan,

Iowa American has an 8" water main and hydrant within Ripley Street, that would require a utility easement for the west half of the Ripley ROW.

David Kull, P.E.
Senior Engineer
Iowa American Water
5201 Grand Avenue
Davenport, IA 52807
Internal: 7-531-9225
Office: (563) 468-9225
Cell: (563) 529-0729
david.kull@amwater.com

From: Rusnak, Ryan [mailto:rrusnak@ci.davenport.ia.us]
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce <beb@ci.davenport.ia.us>; Carlson, Dawn <DMCarlson@midamerican.com>; Cox, David <dac@ci.davenport.ia.us>; Driskill, Amy <adriskill@davenportlibrary.com>; Julie S Allender <Julie.DuBois@amwater.com>; Fisher, William (Billy) <wfisher@ci.davenport.ia.us>; Flynn, Matt <matt.flynn@ci.davenport.ia.us>; Gleason, Nicole <ngleason@ci.davenport.ia.us>; Glessner, Antonio <Antonio.Glessner@CenturyLink.com>; Hayman, Michael <f513@ci.davenport.ia.us>; Heyer, Brian <beh@ci.davenport.ia.us>; Hock, Scott <shock@ci.davenport.ia.us>; Hocker, Ron <rkh@ci.davenport.ia.us>; Jacobsen, Henry <p11214@ci.davenport.ia.us>; Johnson, Christopher T. <cjohnson@ci.davenport.ia.us>; Johnson, Joy <johnsonj@davenportschools.org>; Jones, Todd <tmj@ci.davenport.ia.us>; Kay, Amy <akay@ci.davenport.ia.us>; Koops, Scott E. <sek@ci.davenport.ia.us>; David A Kull <David.Kull@amwater.com>; Leabhart, Tom <ctl@ci.davenport.ia.us>; Longlett, Eric <elonglett@ci.davenport.ia.us>; Maloney, Mike <maloneym@davenportschools.org>; McGee, Mike <mgm@ci.davenport.ia.us>; Miers, Dan <dmiers@ci.davenport.ia.us>; Miller, Nate <NEMiller@midamerican.com>; Morris, Kathy <kmorris@wastecom.com>; Peterson, Zach <zpeterson@ci.davenport.ia.us>; Ralfs, Jacob <jralfs@ci.davenport.ia.us>; Rusnak, Ryan <rrusnak@ci.davenport.ia.us>; Schadt, Brian <bschadt@ci.davenport.ia.us>; Scheible, Kurt <kscheible@ci.davenport.ia.us>; Schnauber, Eric <eschnauber@ci.davenport.ia.us>; Sim, Nicholas <nsim@ci.davenport.ia.us>; Statz, Gary <gjs@ci.davenport.ia.us>; Tate, Art <tateart@davenportschools.org>; Wahlheim, Derek <drwahlheim@midamerican.com>; Wille, Wayne <wtw@ci.davenport.ia.us>
Subject: St. Ambrose ROW vacations

EXTERNAL EMAIL - "Think before you click!"

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

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www.amwater.com

Rusnak, Ryan

From: Kay, Amy
Sent: Friday, July 07, 2017 7:49 AM
To: Rusnak, Ryan
Cc: Fisher, William (Billy); Hocker, Ron; Leabhart, Tom; Longlett, Eric; Schadt, Brian
Subject: RE: St. Ambrose ROW vacations

Good morning Ryan,

I don't see any initial red flags from a NR perspective. I'd have to review drainage in this area to see if there is any need for drainage easements, though I believe the storm infrastructure is on the periphery of the vacation requests.

Are they working off of a master plan for this area?

Amy

From: Rusnak, Ryan
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce; Carlson, Dawn; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Gleason, Nicole; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Hocker, Ron; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Kull, David; Leabhart, Tom; Longlett, Eric; Maloney, Mike; McGee, Mike; Miers, Dan; Miller, Nate; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Schnauber, Eric; Sim, Nicholas; Statz, Gary; Tate, Art; Wahlheim, Derek; Wille, Wayne
Subject: St. Ambrose ROW vacations

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

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DAVENPORT
ZONING ORDINANCE REWRITE

Rusnak, Ryan

From: Leabhart, Tom
Sent: Friday, July 07, 2017 1:48 PM
To: Rusnak, Ryan
Cc: Cox, David
Subject: RE: St. Ambrose ROW vacations

Ryan,
I will send a response to this soon but first I have a question or two. There is sanitary and storm in Ripley for which we will want to maintain an easement.

When we or other utilities need easements maintained, do we just keep the entire ROW or are specific widths requested? Are there any easement plats or descriptions generated?

For example in the previous St Ambrose vacations to the north we would have requested easements, but we have no record of what was actually kept/conveyed. If we wanted to put easements for these into GIS what would they look like?

Thanks.

Tom Leabhart, P.E.
Davenport Public Works
563-327-5155

From: Rusnak, Ryan
Sent: Thursday, July 06, 2017 5:08 PM
To: Berger, Bruce; Carlson, Dawn; Cox, David; Driskill, Amy; DuBois Julie; Fisher, William (Billy); Flynn, Matt; Gleason, Nicole; Glessner, Antonio ; Hayman, Michael; Heyer, Brian; Hock, Scott; Hocker, Ron; Jacobsen, Henry; Johnson, Christopher T.; Johnson, Joy ; Jones, Todd; Kay, Amy; Koops, Scott E.; Kull, David; Leabhart, Tom; Longlett, Eric; Maloney, Mike; McGee, Mike; Miers, Dan; Miller, Nate; Morris, Kathy; Peterson, Zach; Ralfs, Jacob; Rusnak, Ryan; Schadt, Brian; Scheible, Kurt; Schnauber, Eric; Sim, Nicholas; Statz, Gary; Tate, Art; Wahlheim, Derek; Wille, Wayne
Subject: St. Ambrose ROW vacations

St. Ambrose is requesting to vacate streets and alleys (see attached maps).

I know there are utilities in some of these. Please be specific about what and where so easements can be retained.

I would appreciate comments by 7/13/2017.

Ryan Rusnak, AICP
Planner III
City of Davenport
Community Planning and
Economic Development Department
226 West 4th Street
Davenport, Iowa 52801
(563) 888-2022

Click here for more information about the Zoning Ordinance Rewrite. Spread the Word!

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn 326-2286 **8/1/2017**

Subject:
Request F17-15 of Build to Suit, Inc. on behalf of O.R.A. for a two (2) lot final plat on 6.82 acres, more or less, located north of Northwest Boulevard between Sturdevant and Division Streets. The proposed addition plats the are developed with the new medical facility. The property is zoned “C-1” Neighborhood Shopping District.

ATTACHMENTS:

Type	Description
Exhibit	F17-15 Staff Report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:30 PM

City of Davenport
Community Planning & Economic Development Department
FINAL STAFF REPORT

PLAN AND ZONING COMMISSION

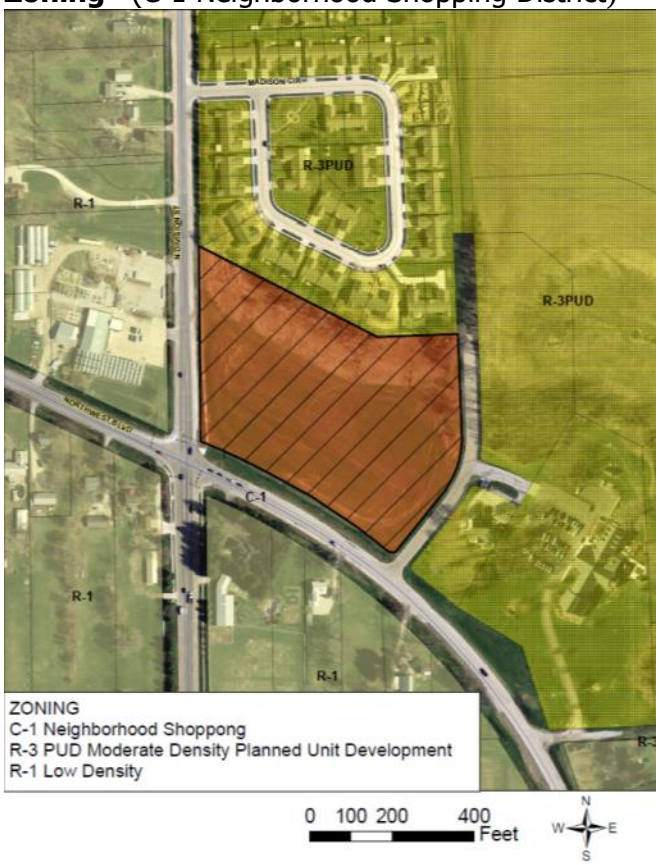
Preview Date:	**August 1, 2017**
Request:	**Final Plat O.R.A. First Addition**
Address:	**North of Northwest Blvd. between Sturdevant & Division**
Case No.:	**F17-15**
Applicant:	**Build to Suit Inc obo O.R.A.**

INTRODUCTION
Request F17-15 of Build to Suit, Inc. on behalf of O.R.A. for a two (2) lot final plat on 6.82 acres, more or less, located north of Northwest Boulevard between Sturdevant and Division Streets. The proposed addition plats the are developed with the new medical facility. The property is zoned "C-1" Neighborhood Shopping District.

Recommendation: Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-15 to the City Council for approval subject to the listed conditions.

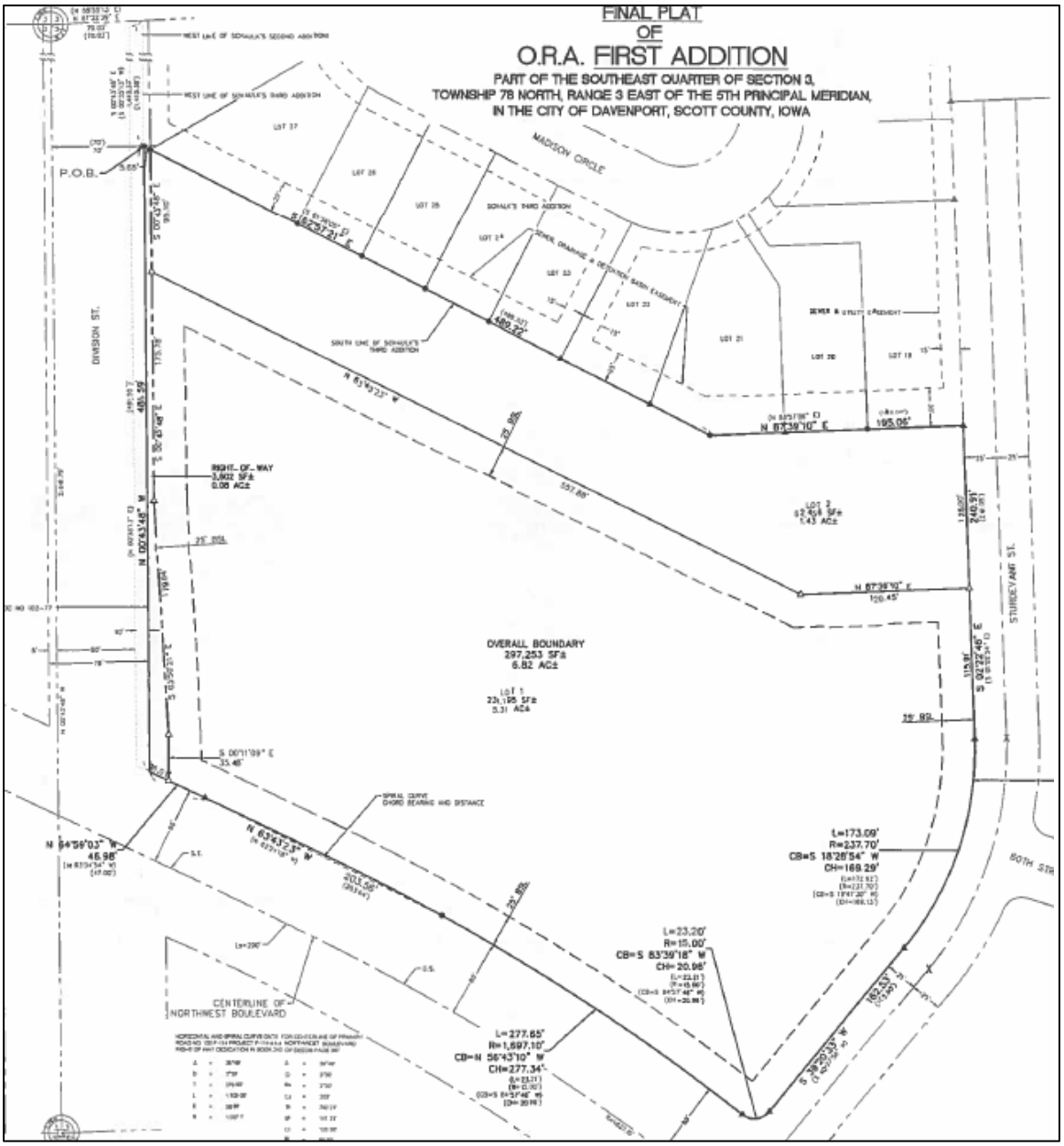
Aerial Photo:

Zoning (C-1 Neighborhood Shopping District)



Land Use 2035 (Residential General)

Plat



BACKGROUND

Comprehensive Plan:

Within Urban Service Area:	Yes
Within Existing Service Area:	Yes
Proposed Land Use Designation:	Residential General - RG

Residential General (RG) - Designates neighborhoods that are mostly residential but include, or are within one-half mile (walking distance) of scattered neighborhood-compatible commercial services, as well as other neighborhood uses like schools, churches, corner stores, etc generally oriented along Urban Corridors (UC).

Neighborhoods are typically designated as a whole. Existing neighborhoods are anticipated to maintain their existing characteristics in terms of land use mix and density, with the exception along edges and transition areas, where higher intensity may be considered.

Relevant *Davenport 2025* Goals and Objectives:
1. Strengthen the existing built environment.
b. Reduce the number of underoccupied, abandoned, or vacant buildings / properties through adaptive reuse and infill.

Iowa Smart Planning Principles:

Revitalization

Planning, zoning, development, and resource management should facilitate the revitalization of established town centers and neighborhoods by promoting development that conserves land, protects historic resources, promotes pedestrian accessibility, and integrates different uses of property. Remediation and reuse of existing sites, structures, and infrastructure is preferred over new construction in undeveloped areas.

Technical Review:

Streets. No new streets are proposed with this request.

Storm Water. Lot 2 (to be renamed "Lot A") shall be designated for storm water retention per the staff conditions. The petitioner shall verify that the 100-year storm will be contained within Lot A(Lot 2), as opposed to lots A and Lot 1 and shall be called out as a detention and drainage easement

Sanitary Sewer. Sanitary sewer service is located at this site.

Other Utilities. This is an urban area and normal utility services are available.

Parks/Open Space. The proposed plat does not impact any existing or planned parks or public open spaces.

PUBLIC INPUT This is a subdivision plat. No notification is required.

DISCUSSION
The plat is remnant land that has previous been unplatted and utilized as one lot.

STAFF RECOMMENDATION
Findings:
The plat facilitates orderly development with designate detention on lot A (Lot 2).

Staff recommends the City Plan and Zoning Commission accept the findings and forward Case No. F17-13 to the City Council for approval subject to the following conditions:

1. The surveyor signs the plat.
2. The utility companies sign the plat when their easement needs have been met.
3. Text "This Plat Prepared For" should be "Owner/Agent".
4. "Lot 2" should be labeled "Lot A"

5. Lot A (former Lot 2) is to be called out as a detention and drainage easement.
6. The right-of-way along the east side of Division Street should be labeled as "being dedicated for street purposes with this plat" as per the City Development Engineer's prefer terminology.
7. That two previously established lot corners or two quarter corners are shown on the plat and that there are descriptions for them containing which lot corner or quarter corner they are. They plat needs to be tied to these two monuments.

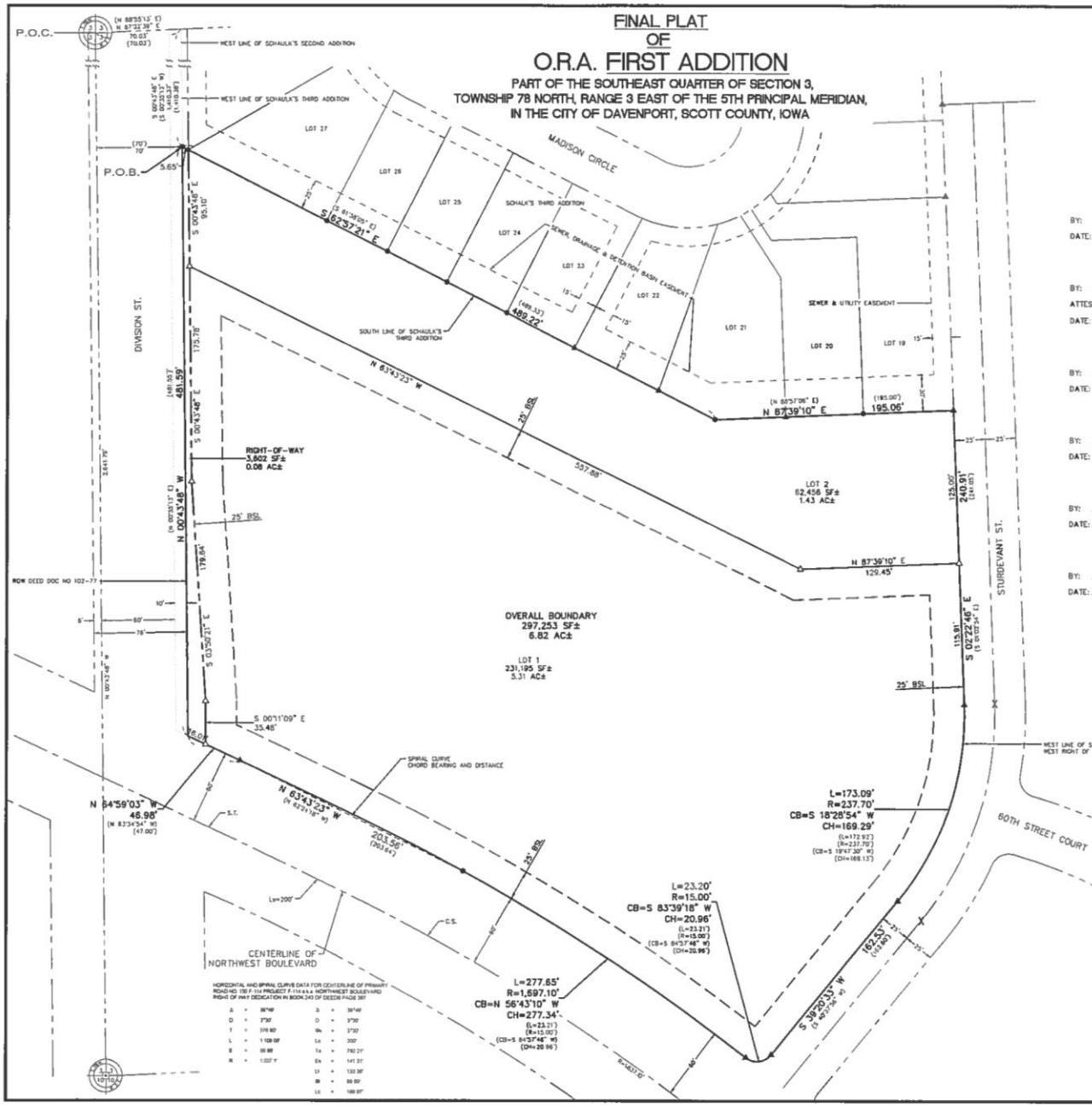
Prepared by:

Scott Koops

Scott Koops - AICP, Planner II
Community Planning

FINAL PLAT OF O.R.A. FIRST ADDITION

PART OF THE SOUTHEAST QUARTER OF SECTION 3,
TOWNSHIP 78 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN,
IN THE CITY OF DAVENPORT, SCOTT COUNTY, IOWA



NORTH IS BASED ON THE NORTH AMERICAN DATUM OF 1983, IOWA STATE PLANE COORDINATE SYSTEM, SOUTH ZONE (2011 ADJUSTMENT)

40' 0 40' 80'
SCALE: 1" = 40'

PLANNING AND ZONING
BY: _____
DATE: _____

CITY OF DAVENPORT, IOWA
BY: _____
ATTEST: _____
DATE: _____

IOWA-AMERICAN WATER CO.
BY: _____
DATE: _____

MEDIACOM
BY: _____
DATE: _____

MID AMERICAN ENERGY CO.
BY: _____
DATE: _____

CENTURY LINK
BY: _____
DATE: _____

THIS PLAT PREPARED FOR:
Build to Suit, Inc.
1805 State Street, Suite 101
Bettendorf, Iowa 52722
Attn: Chuck Meyer
(563) 355-2022

LEGEND

- REBAR, FOUND
- CHISELED "X" IN CONCRETE, FOUND
- CHISELED "X" IN CONCRETE, SET
- REBAR WITH CAP #_____ FOUND
- 5/8" REBAR WITH CAP #13581 SET
- 1/2" SQ. PIN, FOUND
- P.K. NAIL, FOUND
- P.K. NAIL, SET
- PIPE, FOUND
- CONCRETE MONUMENT, FOUND
- SECTION CORNER
- 100.00' MEASURED DIMENSION
- (100.00') RECORDED DIMENSION
- LINE CONTINUATION
- SURVEY BOUNDARY
- PROPERTY LINE
- CENTERLINE
- HISTORICAL LINE - AS NOTED
- EASEMENT LINE
- SECTION LINE
- R.O.W. LINE
- SETBACK LINE

PLAT NOTES

TOTAL AREA OF THE ADDITION = 6.82 ACRES±

LOT 2 IS HEREBY DEDICATED AS A DETENTION EASEMENT

NO PART OF THIS SUBDIVISION IS SUBJECT TO A SPECIAL FLOOD HAZARD AREA AS DESIGNATED BY FEMA ON COMMUNITY FIRM MAP NO. 19163C0255F, WITH AN EFFECTIVE DATE FEBRUARY 18, 2011

BLANKET UNDERGROUND EASEMENTS GRANTED FOR ALL PRIMARY AND SECONDARY ELECTRIC CABLES, PAD MOUNTED TRANSFORMERS, ELECTRIC TRANSFORMERS, PRIMARY CABLE, GAS SERVICE, WATER SERVICE, SEWER LATERALS, TELEPHONE SERVICE, AND CABLE T.V. TO INDIVIDUAL STRUCTURES AND STREET LIGHTS

THIS FINAL PLAT WAS PREPARED AT THE REQUEST OF BUILD TO SUIT, INC.

IT SHOULD BE NOTED THAT IN THE PERFORMANCE OF THIS SURVEY, THE COURSES AND DISTANCES OF THE SURVEY MAY VARY FROM RECORDED CALLS, BASED ON THE EXISTENCE OF FOUND MONUMENTATION, OCCUPATION, OR OTHER CONTROLLING CALLS OR CONDITIONS THAT HAVE OCCURRED IN THE SURVEY OF THIS PROPERTY.

NO INVESTIGATION CONCERNING ENVIRONMENTAL AND SUBSURFACE CONDITIONS, OR FOR THE EXISTENCE OF UNDERGROUND CONTAINERS, STRUCTURES OR FACILITIES WHICH MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY WAS MADE AS A PART OF THIS SURVEY.

NO INVESTIGATION WAS MADE AS A PART OF THIS SURVEY TO DETERMINE OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OF ANY UTILITIES OR MUNICIPAL FACILITIES, EXCEPT AS NOTED. CALL IOWA ONE-CALL AT 1-800-292-8989 FOR INFORMATION REGARDING THESE UTILITIES OR FACILITIES.

DISTANCES ARE LISTED IN FEET AND DECIMAL PART OF A FOOT.

ALL MONUMENTS HAVE BEEN FOUND OR SET AS SHOWN ON THIS PLAT

LICENSED PROFESSIONAL ENGINEER DARYL A. BRICKNER 13581 IOWA

I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Iowa.

Daryl A. Brickner, PLS No. 13581 _____ Date
My license renewal date is December 31, 2017
No. of sheets covered by this seal: ____

No.	DESCRIPTION	DATE

REVISIONS

Missman, INC.
Professional Engineers & Land Surveyors
Rock Island, IL • (309) 788-7644
Bettendorf, IA • (563) 344-0260
Rockford, IL • (815) 965-4400
Dekalb, IL • (815) 748-5543
www.missman.com

O.R.A. First Addition
Davenport, Iowa

Final Plat

Missman Project No: C15L030
File Name: C15L030-Subdivision Plat.dwg
© COPYRIGHT 2017 ALL RIGHTS RESERVED
Field Book No:
Drawn By: DAB
Checked By: BDO
Date: 6/22/2017

Sheet 1 of 1

FINAL PLAT
OF
O.R.A. FIRST ADDITION

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TOWNSHIP 78 NORTH, RANGE 3 EAST OF THE 5TH PRINCIPAL MERIDIAN,
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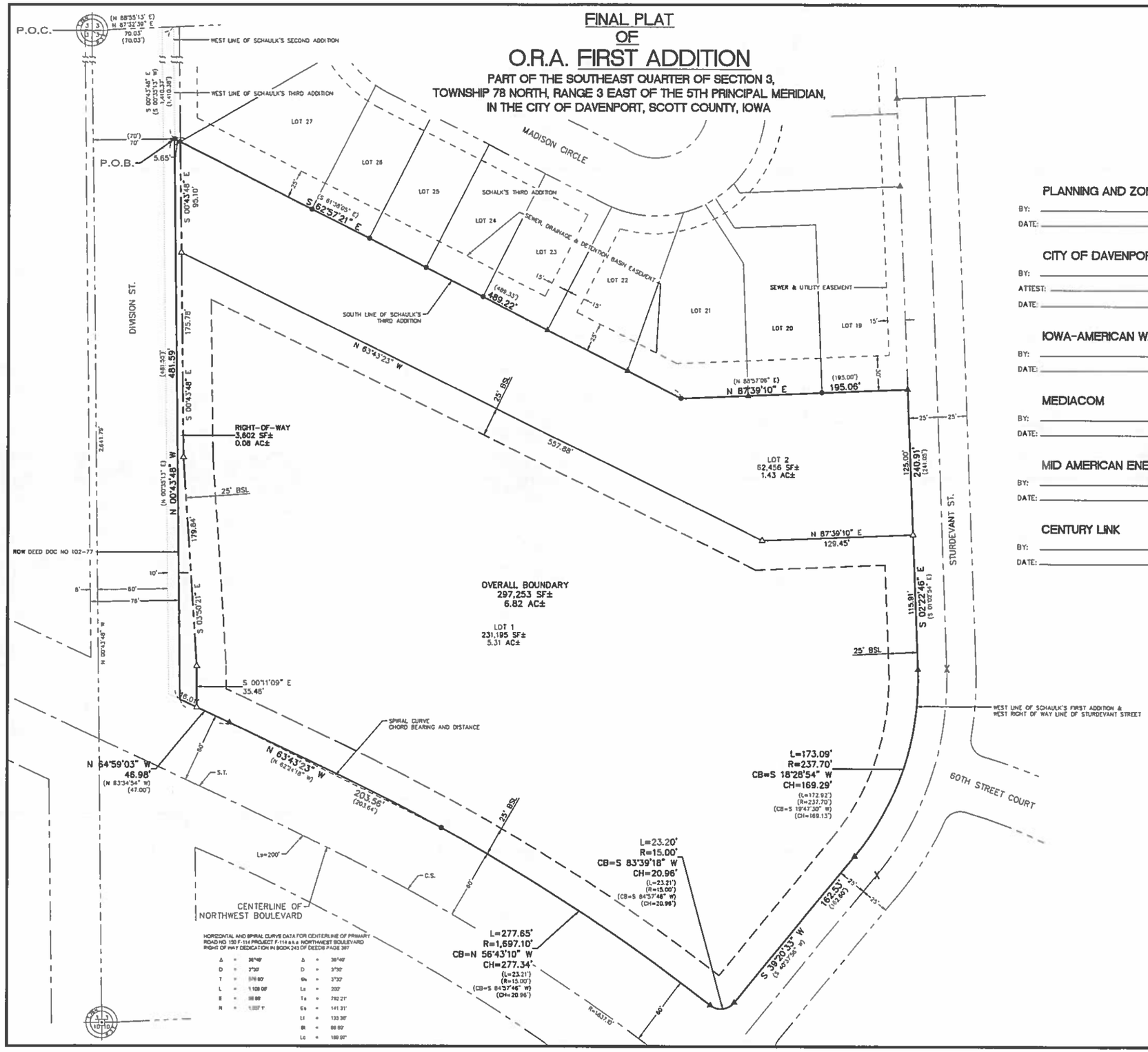

HORIZONTAL AND SPIRAL CURVE DATA FOR CENTERLINE OF PRIMARY ROAD NO 150 F-114 PROJECT F-114 a.k.a. NORTHWEST BOULEVARD RIGHT OF WAY DEDICATION IN BOOK 243 OF DEEDS PAGE 397

Δ	=	36°46'	Δ	=	38°46'
D	=	3°30'	D	=	3°30'
T	=	576.80'	Ds	=	3°30'
L	=	1,109.08'	Ls	=	200'
E	=	88.88'	Ts	=	792.21'
R	=	1,637.1'	Es	=	141.31'
			Lt	=	133.38'
			Rt	=	88.80'
			Lc	=	188.97'

PLANNING AND ZONING

BY: _____

DATE: _____

CITY OF DAVENPORT, IOWA

BY: _____

ATTEST: _____

DATE: _____

IOWA-AMERICAN WATER CO.

BY: _____

DATE: _____

MEDIACOM

BY: _____

DATE: _____

MID AMERICAN ENERGY CO.

BY: _____

DATE: _____

CENTURY LINK

BY: _____

DATE: _____

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Bettendorf, Iowa 52722
Attn: Chuck Meyer
(563) 355-2022

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LICENSED PROFESSIONAL SURVEYOR
DARYL A. BRICKNER
13581
IOWA

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Daryl A. Brickner, PLS No. 13581 Date
My license renewal date is December 31, 2017
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O.R.A. First Addition
Davenport, Iowa

Final Plat

Missman Project No: C15L030

File Name: C15L030-Subdivision Plat.dwg

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ALL RIGHTS RESERVED

Field Book No:

Drawn By: DAB

Checked By: BDO

Date: 6/22/2017

Sheet 1 of 1

MEMORANDUM

Date: July 10, 2017

To: Scott Koops, AICP
Planner II
Community Planning and Economic Development

From: Tom Leabhart, P.E.
Development Engineer

Re: Proposed Final Plat of ORA First Addition

Prior to the approval of the above referenced plat the following conditions and comments need to be addressed:

1. The surveyor signs the plat.
2. The utility companies sign the plat when their easement needs have been met.
3. Lot 2 is to be called out as a detention and drainage easement.
4. That two previously established lot corners or two quarter corners are shown on the plat and that there are descriptions for them containing which lot corner or quarter corner they are. They plat needs to be tied to these two monuments.

Wille, Wayne

From: Wille, Wayne
Sent: Tuesday, July 25, 2017 2:46 PM
To: Koops, Scott E.
Subject: ORA 1st Add'n

Follow Up Flag: Follow up
Flag Status: Flagged

Three comments on ORA First Addition:

1. "This Plat Prepared For" should be "Owner/Agent":
2. "Lot 2" should be labeled "Lot A" and designated as a drainage and detention easement. I will defer to Amy Kay or Billy Fisher as to the type of easement.
3. The right-of-way along the east side of Division Street should be labeled as "being dedicated for street purposes with this plat". I will defer to Tom Leabhart as to the correct language.

Wayne Wille, CFM - Planner II
Community Planning Division
226 W 4th St – Davenport IA 52801
563-326-6172 - wtw@ci.davenport.ia.us
563-326-7765 – planning@ci.davenport.ia.us

CITY OF DAVENPORT
COMMUNITY PLANNING & ECONOMIC DEVELOPMENT (CPED)
SUBDIVISION REFERENCE FILE

PRELIM / (FINAL) / PUD (circle the appropriate designation)

SUBDIVISION NAME: O.R.A. First Addition

LOCATION: Division Street / Northwest Boulevard / Sturdevant Street

DEVELOPER:
Name: Build to Suit, Inc. (Paul Boffeli)
Address: 1805 State Street, Suite 101, Bettendorf, IA 52722
Phone: 563-355-2022 FAX: 563-355-7806
Mobile Phone: Email: paulb@buildtosuitinc.com

ENGINEER:
Name: Jason Holdorf, P.E.
Address: 1717 State Street, Suite 201, Bettendorf, IA 52722
Phone: 563-344-0260 FAX: 563-344-0263
Mobile Phone: Email: jasonh@missman.com

ATTORNEY:
Name: T. F. Olt III
Address: 220 N. Main Street, Suite 600, Davenport, IA 52801
Phone: 563-333-6641 FAX: 563-324-1616
Mobile Phone: Email: tolt@l-wlaw.com

OWNER:
Name: O.R.A (Ken Brockman CEO)
Address: 2300 53rd Avenue, Suite 100 Bettendorf, IA 52722
Phone: 563-459-4088 FAX:
Mobile Phone: Email: kbrockman@qcora.com

NUMBER OF LOTS: 2 ACRES: 6.82
SF 2F MF & EST. UNITS COMM IND

STREETS ADDED: None LINEAR FEET

Does the plat contain a drainage way or floodplain area: ____Yes X No

Fee per Plat	Fee
Ten or fewer lots (< 10 lots)	$400 plus $25/lot
Eleven to twenty-five lots (≥ 11 lots ≤ 25 lots)	$700 plus $25/lot
More than twenty-five lots (> 25 lots)	$1,000 plus $25/lot
Reforestation fee (submit to Land Use Office Prior to City Council review)	$150 per 50 feet of lineal lot frontage

NOTE: THE PLAT WILL NOT BE PROCESSED UNTIL THE FEE AND COMPLETED REFERENCE FILE ARE RECEIVED BY THE PLANNING AND LAND DEVELOPMENT OFFICE.

City of Davenport

City of Davenport
FINANCE - REVENUE
226 W 4th St
Davenport, IA 52801
563-326-7707
www.cityofdavenportiowa.com

010949-0001 Caitlyn W 07/06/2017 08:20AM

MISCELLANEOUS
Description: SUBDIVISION
FEE (SUBDIV)
SUBDIVISION FEE
1 @ 450.00
SUBDIVISION FEE 450.00
Payment Id: 264474

450.00

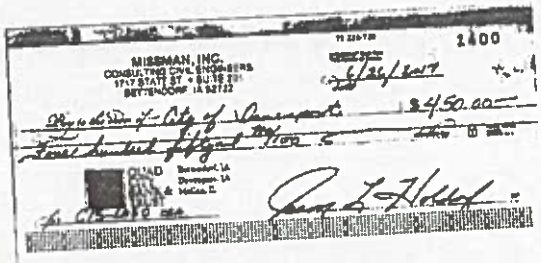
450.00
Subtotal 450.00
Total

450.00
CHECK
Check Number 1400

0.00
Change due

Paid by: MISSMAN INC

Comments: CIS-L030 ORA



Thank you for your payment

CUSTOMER COPY

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
Preview of items for the **August 15th** public hearing and/or regular meeting (note-not all items to be heard may be listed):

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:31 PM

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
2016-2nd Quarter Development Report & Fiscal Year FY2017 Development Report

ATTACHMENTS:

Type	Description
Backup Material	2nd Qtr Report - 2017
Backup Material	FY 2017 Report

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:31 PM

Community Planning & Economic Development (CPED)

Community Planning — 2017 2nd Quarter Development Report

Building GREAT Neighborhoods

Growing GREAT Jobs

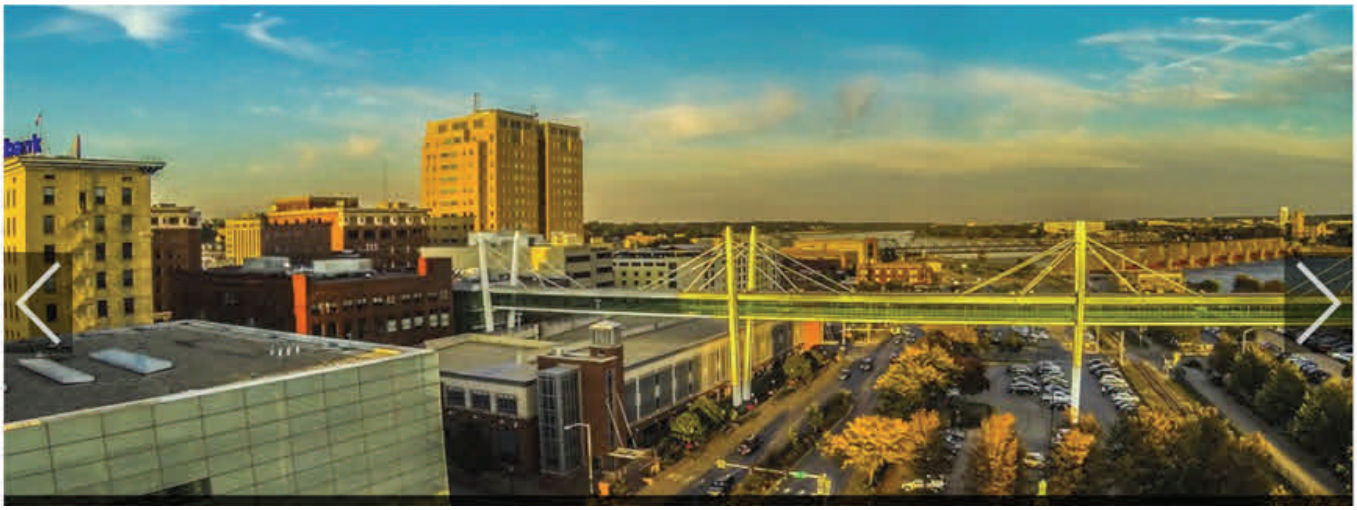
Envisioning a GREAT Future

GREAT *City* | **GREAT** *Life*

The Development Report is an annual publication that presents a summary of the zoning and development related activities in the City of Davenport. The quarterly reports are an attempt to provide more timely and detailed development information. As such analysis of the details is not preformed as in the annual report. Note: The City assumes no liability from the use of the information provided herein.

The Community Planning Division is staff to several review boards and commissions. These include the Plan and Zoning Commission, the Zoning Board of Adjustment, the Historic Preservation Commission and the Design Review Board.

Community Planning Division staff consists of a Senior Manager, a Planner III and two Planner II positions. Staff certifications include AICP and CFM.



Monthly Totals

Community Planning Division
Quarterly Activity Report
2017 - April to June

PLAN & ZONING COMMISSION	Apr	May	Jun	Qrtly
Rezoning Petitions	1	0	2	3
Final Subdivision Plats	4	2	4	10
Preliminary Subdivision Plats	1	1	0	2
Street Vacations & Name Change	0	1	0	1
Final Development Plans	0	2	1	3
Flood Plain Variances	0	0	0	0
Ordinance Text Amendments	0	0	0	0
Comp Plan / Econ Dev Reviews (includes SSMID & EDA)	0	0	0	0
Item Totals	6	6	7	19

Design Review Board	0	14	6	20
Site Plan Review	1	2	2	5

ZONING BOARD OF ADJUSTMENT	Apr	May	Jun	Qrtly
Hardship Variances	1	2	4	7
Special Use Permits	0	0	0	0
Home Occupation Permits	0	0	0	0
Special Exceptions	0	0	0	0
Appeals of Admin Decisions	0	0	0	0
Item Totals	1	2	4	7

HISTORIC PRESERVATION	Apr	May	Jun	Qrtly
Landmark Designations	0	0	0	0
Certificates of Appropriateness	4	1	5	10
Demolition Reviews	0	0	0	0
Environmental Reviews (Section 106)	12	5		
Item Totals	16	6		

MISCELLANEOUS	Apr	May	Jun	Qrtly
Flood Plain Inquiries	6	13	8	27
Flood Plain Development Permits	2	3	3	8
Sign Permit Reviews	3	8	7	18
Item Totals	11	24	18	53

2nd QUARTER NARRATIVE

Plan & Zoning Commission

Rezoning activity –

Two (2) rezoning petitions were submitted for review during the second quarter of 2017. One was approved by Council and two are pending.

Case #	Petitioner	Location	Acres	Zoning	Council Action	Census Tract	Ward/ Precinct
REZ17-03	City of Davenport	W of Division St & S of I-80	64.6	A-1 to M-1	06/28/17 2017-265	126.01	81
REZ17-04	Costco Wholesale Corp	2780-2786 E 53rd St	17.1	A-1, R-1, R-2 to		129.01	61
REZ17-05	Steven & Merideth Hirsch	5135 Marquette St	0.65	R-1 to R-3PUD		127.02	73

Final Development Plan activity –

Two (2) final development plans was submitted for consideration and recommended for approval. Both were approved by Council.

Case #	Petitioner	Location	Acres	Zoning	Council Action	Census Tract	Ward/ Precinct
FDP17-02	Genesis Health Systems	3200 W Kimberly Rd	2.92	PDD	06/28/17 2017-268	126.02	22
FDP17-03	Build to Suit	Lot 9 Utica Corners 6th	1.2	PDD	0614/17 2017-242	129.02	62
FDP17-04	Costco Wholesale Corp	2780-2786 E 53rd St	17.1	PDD		129.01	61

Subdivision activity –

Ten (10) final and two (2) preliminary plats were submitted for consideration. Three plats have been approved by Council. One (1) plat remains for Council submission. All plats were rplats of existing subdivisions reconfiguring lots. One plat added a new lot for development.

Case #	Subdivision Name	Acres	Zoning	Lots	Council Action	Recorded	Census Tract	Ward/ Precinct
F17-05	Villas at Pheasant Creek 2nd	6.12	R-2PUD	35			129.02	62
F17-06	Quinn's Outlots 2nd	0.37	R-4	2	06/14/17 2017-241		127.02	82
F17-07	Lampton	3.37	R-4	2			115	53
F17-08	Bryr's	0.83	PDM-2D	12	Pending submission		124110	1331
F17-09	Riverview on 6th	0.84	R-4	3	06/28/17 2017-266		106	34
F17-10	I-80 Airport Indus Pk 10th	29.44	M-1	2	06/28/17 2017-267		102.02	81
F17-11	Windsor Meadows Comm Pk 3rd	0.46	PDD	1			129.02	62
F17-12	Riverview Collective on Sixth	1.47	R-4	6			106	34
F17-13	Crow Valley Plaza 10th	35.30	C-O C-1	4			129.02	61
F17-14	Falcon Pointe	22.16	R-3	39			125.02	12
F17-15								

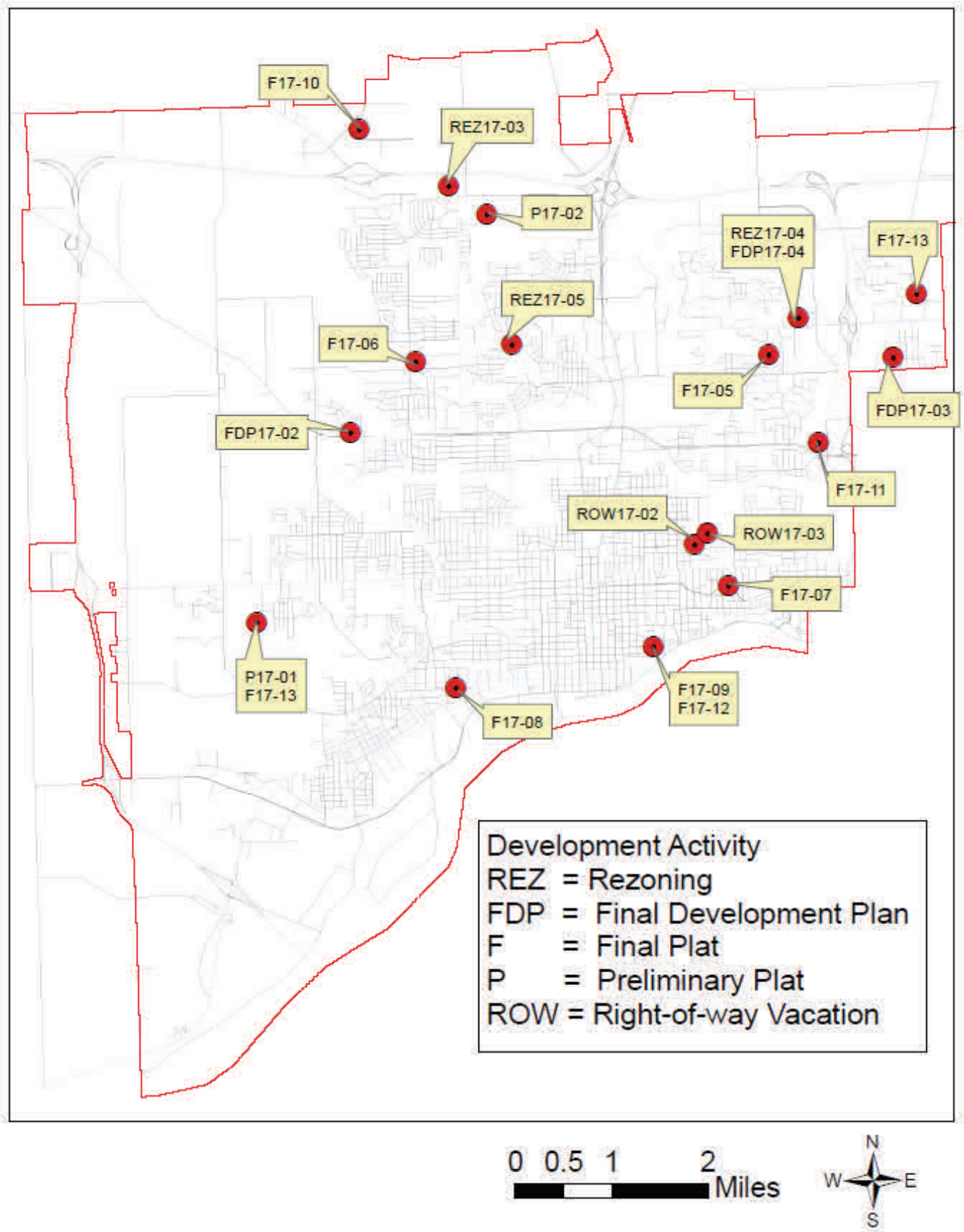
Case #	Subdivision Name	Acres	Zoning	Lots	Council Action	Recorded	Census Tract	Ward/ Precinct
P17-01	Falcon Pointe	22.16	R-3	39	05/10/17 2017-197	N/A	125.02	12
P17-02	Inverness Estates	123	R-3PUD R-4PUD	246	06/14/17 2017-243	N/A	128.01	83

Right-of-Way Vacation activity –

One (1) request to vacate public right-of-way or easements was submitted for consideration but was withdrawn by the applicant.

Case #	Petitioner	Type	Location	Area Square Feet	Council Action	Census Tract	Ward/ Precinct
ROW17-02	Genesis Health System	Street	E Lombard btw College Ave and N-S allet E of vacated Esplanade Ave	16,800		116	53
ROW17-03	Genesis Health System	Street	Denison Ave btw Adams St & the railroad	11,400		116	53

Plan and Zoning Commission
Development Activity Map



Zoning Board of Adjustment

Zoning Board of Adjustment

There were five (5) petitions made to the Board of Adjustment during the first quarter of 2016; three (3) hardship variances and one each for Special use permit and Home Occupation Permit.

The special use permits was for a class A service station The variances involve signage, a second garage and a front yard building encroachment. The home occupation was for a hair salon.

Case No.	Petitioner	Location	Request	Result
HV17-04	James Lamont	4921 Ricker Hill Rd	2nd detached garage	Approved
HV17-05	Brad Witt	5323 W Kimberly Rd	FY encroachment house add'n	Approved
HV17-06	Linda Dierks	4440 W 60th St	2nd garage	Approved
HV1707	Genesis	3200 W Kimberly Rd	setbacks	Approved

Historic Preservation Commission

Historic Preservation Commission

The HPC reviewed one (1) Certificates of Appropriateness (COA) and supported a request for rehabilitation of Buchanan School. (13) environmental reviews were also reviewed by staff.

One work session was held to develop 2-year goals for the Commission.

Case No.	Petitioner	Location	Request	Result
COA17-02	City of Davenport	1234 E 29th St	Collins House-roof & widow's walk	Approved
COA17-03	GAHC	712 W 2nd St	Replace 2nd & 3rd story windows	Approved
COA17-04	Greg Canfield	723 Brown St	Krause-Karlow House-Free-standing solar elec system	Approved
COA17-05	Kathy Hunley	830 W 6th St	German Methodist Episcopal Church-Repair	Approved
COA17-06	City of Davenport	Credit Island	Credit Island Warming House-repairs	
COA17-07	Vinh Van Tran	716 W 7th St	New roof	
COA17-08	Kyle Rahe –180 Zone	615 Marquette St	St Joseph's Church & Rectory ADA ramps & door St	
COA17-09	Bethany Wilson-MDI	420 W River Dr	Linograph Co Bldg Wall sign	
COA17-10	January Winters	407 W 8th St	Gannon Redmond House new roof	

Design Review Board

Design Review Board -

Sixteen (16) cases were brought before the Board for their consideration in the first quarter of 2017 The majority, just under two-thirds or ten (10) of the cases were located in the Downtown Design Overlay District (DDOD). Almost one-fifth or three (3) of the cases were located in the Hilltop Campus area. Two (2) cases were Residential Infill requests and the remaining one (1) was located in the Historic Shopping District of the Village of East Davenport.

Case No.	District	Petitioner	Location	Request	Result
DR17-17	RIDO	City of Davenport	643,634 & 646 E 6th St	SF	Approved
DR17-18	DDOD	Adrew Dasso	218 Iowa St	SF	Approved
DR17-19	DDOD	Sidney Rognoni	136 E 3rd St	Outdoor seating	Approved
DR17-20	HSD	Rich Sampson	1108 Mound St	Bldg sign	Approved
DR17-21	DDOD	Ashton Mixer	421 W River Dr	Concrete deck	Approved
DR17-22	DDOD	Ashton Mixer	208 E River Dr	Outdoor seating	Approved
DR17-23	RIDO	Andrew Dasso	700 Block E 6th St	SF	Approved
DR17-24	DDOD	Mike King	735 Federal St	Bldg sign	T
DR17-25	DDOD	Dean Kuglar	114 Western Ave	Exterior stairwell	Approved
DR17-26	HCVOD	Martha Spears	1329 Harrison St	Monument sign	Approved
DR17-27	HCVOD	Richard Gravert	703 Harrison St	Bldg renovation	Approved
DR17-28	DDOD	Y&J Properties	429 E 3rd St	Wall sign	T
DR17-29	DDOD	Andrew Dasso	321 W 2nd St	Bldg renovation	T
DR17-30	DDOD	Katie Eldridge	630 E River Dr	Windows & paint	Approved
DR17-31	DDOD	City of Davenport	501 W 3rd St	Exterior site improvements	Approved
DR17-32	RIDO	Jason Curtis	304 McClellan BLvd	SF	Approved
DR17-33	DDOD	Great River Brewery	332 E 2nd St	Bldg improvements	Approved
DR17-34	HSD	Kandila Family Trust	2200 E 11th St	Bldg & site improvements	Approved
DR17-35	HSD	Kandila Family Trust	1315 Jersey Ridge Rd	Bldg improvements	Approved
DR17-36	DDOD	Tara Elkins	217 Brady St	Entry & signage	Approved

Permit Activity

New Construction Permits				
Owner	Type	Location	Value	Ward
Colin Woods	SF	2535 Pheasant Crk Cir	$ 169,600	62
River Valley Homes	SF	6147 Belle Ct	$ 346,000	84
Joseph & Kathy Amato	SF	6328 N Division St	$ 272,048	82
Woods Construction	SF	4020 Thomas Pointe Rd	$ 320,000	61
Nicole & Rich Goff	SF	5609 Hidden Valley Dr	$ 99,510	13
Habitat for Humanity	SF	901 Farnam St	$ 88,700	34
Habitat for Humanity	SF	504 W 11th St	$ 88,700	34
Bryr Services	Indus	1730 W 2nd St	$ 35,500	31
Behncke Construction	Indus	1738 W 2nd St	$ 49,000	31
DFE LLC	Comm	4004 W Kimberly Rd	$ 35,000	22
Davenport Memorial Park	Comm	1022 E 39th St	$ 33,413	74
Ingelby Construction LLC	SF	1600 Irish Woods Cir	$ 201,000	74
Ingelby Construction LLC	SF	1602 Irish Woods Cir	$ 201,000	74
Pearson Building Pursuits	SF	1825 E 58th St	$ 178,000	84
Dave Porchaska	SF	5003 Leprechaun Dr	$ 164,090	74
Diamond Builders	SF	Pheasant Creek Ave	$ 166,400	62
Rob & Miranda Edel	SF	1659 Celtic Ct	$ 248,500	74
Exclusive Homes	SF	5704 Prairie Willow Ct	$ 178,000	84
White House Homes	SF	1224 W 63rd St	$ 185,200	83
Diamond Builders	SF	2441 Pheasant Creek Cir	$ 164,800	62
Diamond Builders	SF	2446 Pheasant Creek Cir	$ 162,800	62
Diamond Builders	SF	2449 Pheasant Creek Cir	$ 164,800	62
Diamond Builders	SF	2515 Pheasant Creek Cir	$ 191,600	62
Core Designs	SF	5009 Leprechaun Dr	$ 180,000	74
ELSI LLC	SF	3118 W 34th St	$ 176,000	24
Pearson Building Pusuits	SF	1415 W 39th St	$ 154,870	71
Pearson Building Pursuits	SF	1425 W 40th St	$ 162,500	71
Pearson Building Pursuits	SF	1431 W 40th St	$ 162,500	71
Pearson Building Pursuits	SF	3911 Fillmore Ln	$ 154,870	71

Permit Activity (cont'd)

New Construction Permits				
Owner	Type	Location	Value	Ward
J P Condon	SF	1616 Shamrock Dr	$ 178,500	74
Premier Custom Homes LLC	SF	5017 Leprechaun Dr	$ 208,000	74
Uhl Properties LLC	SF	3121 Lorton Ave	$ 179,000	63
Pearson Building Pursuits	SF	1419 W 39th St	$ 174,500	71
Sebastian Builders	SF	1807 W 75th Pl	$ 177,350	81
Vintage Homes Inc	SF	2004 E 61st St	$ 166,000	84
Vibrant Credit Union	Comm	5354 Elmore Cir	$ 18,000	61

Building Summary

Building Permit Review - New Construction						
Permit Type	Apr	May	Jun	Qtrly		Resid Units
Residential - Single Family	7	13	11	31		31
Residential - Multi-Family	0	0	0	0		
Commercial	2	0	1	3		
Industrial	2	0	0	2		
Item Totals	11	13	12	36		
Building Permit Review - Demolitions						
Permit Type	Apr	May	Jun	Qtrly		Resid Units
Residential - Single Family	1	9	5	15		15
Residential - Multi-Family	0	0	0	0		
Commercial	0	0	2	2		
Industrial	0	0	0	0		
Item Totals	1	9	7	17		

Community Planning & Economic Development (CPED)

Community Planning — Fiscal Year 2017 Development Report

Building GREAT Neighborhoods

Growing GREAT Jobs

Envisioning a GREAT Future

GREAT *City* | **GREAT** *Life*

The Development Report is an annual publication that presents a summary of the zoning and development related activities in the City of Davenport. In this report, the Community Planning Division of CPED provides information development, amendments to the Zoning Ordinance and Comprehensive Plan, as well as other changes that affect future development in Davenport. Note: The City assumes no liability from the use of the information provided herein.

The Community Planning Division is staff to several review boards and commissions. These include the Plan and Zoning Commission, the Zoning Board of Adjustment, the Historic Preservation Commission and the Design Review Board.

Community Planning Division staff consists of a Senior Manager, a Planner III and two Planner II positions. Staff certifications include AICP and CFM.

City Plan and Zoning Commission (P&Z): The City Plan and Zoning Commission is an eleven-member citizen board. The Commission holds regular meetings twice a month preceded by a public hearing. The Commission is charged with making recommendations to the City Council on all matters that pertain to the City's Comprehensive Plan. Among recurring matters considered by the Commission are zoning map amendments (rezonings), subdivision platting, right-of-way vacations or abandonments, site and final development plan reviews, and ordinance text amendments.

Zoning Board of Adjustment (ZBA): The ZBA is a five member citizen board. The Board holds regular meetings twice a month. The Board is authorized by the State Legislature and the City's Zoning Ordinance to hear and determine five categories of requests relating to the zoning ordinance: Appeals, Special Exceptions, Special Use Permits, Home Occupation Permits and Hardship Variances.

Historic Preservation Commission (HPC): The HPC is a seven-member citizen board created in December of 1991. The Commission holds regular meetings once a month.

The Commission is charged with several preservation functions. They recommend to the City Council those structures and/or districts which have been identified as qualifying for designation on the National Register of Historic Places and/or local landmark or historic designation. The Commission reviews applications for building and demolitions permits for National Register district or landmark properties. The Commission also reviews building and sign permits that would alter the appearance of a historic structure for appropriateness.

Design Review Board (DRB): The DRB is an eleven-member citizen board created in January 2012 consolidating design review functions into one body. The Committee holds regular meetings once a month.

The Downtown Overlay District was created to improve the quality of development and the visual image of Downtown Davenport. Exterior construction requiring a building permit is to be reviewed and approved by the Board. This includes the construction of new buildings, additions to existing buildings, demolitions and other substantial external changes visible from the public right-of-way. A pre-application conference is required prior to the petitioner submitting for a Certificate of Design Approval.

ACTIVITY NARRATIVE

Plan & Zoning Commission

Rezoning activity –

Ten (10) petitions were submitted for review with all having public hearings before the Commission. Of the ten (10) petitons all were to rezone property to a different zoning classification. The Commission recommended approval on nine (9) with one pending Commission recommendation. Eight (8) forwarded t the City Council have been approved with one one (1) pending Council action. The approved zoning requests allowed for both residential, commercial and industrial development.

Change in Zoning FY2017

Zoning District	Acres Lost	Acres Gained
A-1	273.40	
R-1	3.96	
R-2	4.43	
R-3	13.50	1.40
R-4	0.69	1.11
R-5M	0.59	13.50
C-1		0.17
PDD		17.17
M-1		263.22
Total	296.57	296.57

Due to rounding total may not be the same

DAVENPORT

Subdivision Development FY 2017

Subdivision activity –

Twenty-six (26) final plats were submitted for consideration. One (1) final plat was revised after the Commission's consideration and reviewed a second time. Of the fifteen (15) final plats forwarded to the Council all but two (2) have been recorded. Nine (9) plats remain for Council submission.

Thirteen (13) plats were slated for residential development (158 lots). Seven (7) plats (14 Lots) were for commercial development with five (5) plats being industrial ((11 Lots).

Fourteen (14) of the plats re-platted existing lots.

Recorded plats

	Acres	Lots
Agricultural	0.0	0
Residential	46.7	74
SF	46.7	74
2F	0.0	0
MF	0.0	0
Commercial	27.3	6.
Industrial	65.4	5
Totals	139.4	85

Final Development Plan activity –

Six (6) final development plans were submitted for consideration. All requests were considered and recommended for approval. Five (5) requests have been forwarded to the Council and approved. One remains pending action on the rezoning. All involved commercial development (office and retail).

Right-of-Way Vacation activity –

Six (6) requests for vacation (abandonment) of public right-of-way or easements were submitted for consideration. One (1) was withdrawn prior to Plan and Zoning Commission action. All dealt with vacating street right-of-way. Of the five (5) all have been approved by Council.

Miscellaneous activity –

Two (2) **ordinance amendments** were submitted for consideration by the Commission. Both were forwarded to the Council, and approved; One ordinances dealt with changes to the "make-up" of the Historic Preservation Commission and the other with regulations regarding alcohol sale and the Special Use permit process.

No (0) items of were related to economic development activity.

Three (3) annexations related to the expansion of the City's industrial park were also approved.

Zoning Board of Adjustment

Zoning Board of Adjustment

There were thirty-five (35) petitions made to the Board of Adjustment. Just under half (16) were hardship variance requests, almost a third (12) were special use permits with the remaining being home occupations, special exceptions and one administrative appeal.

Historic Preservation Commission

Historic Preservation Commission

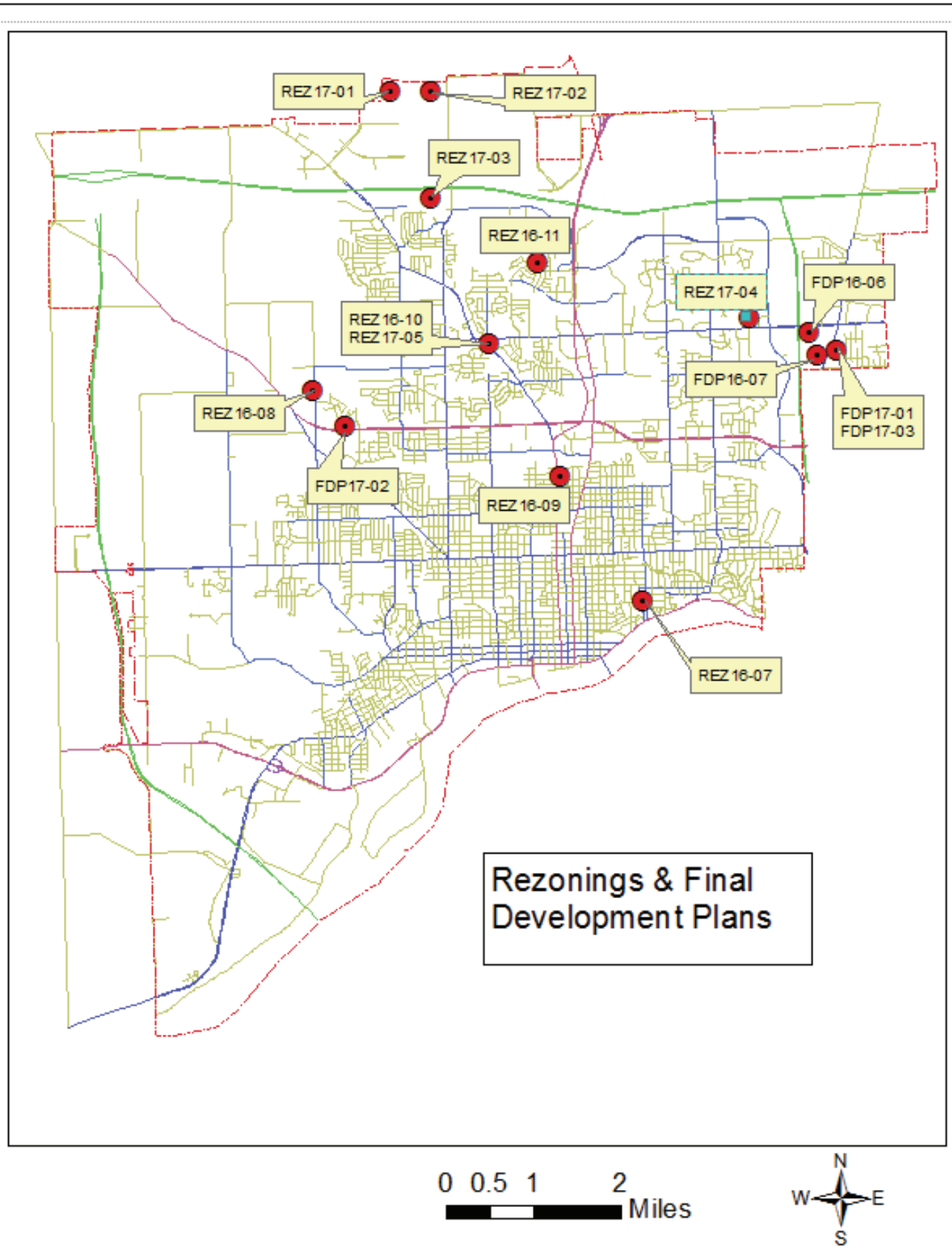
There was only one (1) demolition request; one (1) landmark nominations, and nineteen (19) certificates of appropriateness considered by the Commission. Several work sessions were held by the Commission.

In separate but related to historic considerations of property seventy (70) Section 106 environmental reviews were completed as of May.

Design Review Board

Design Review Board -

Fifty (50) cases were brought before the Board for their consideration. The majority (70%) or thirty-five (35) of the cases were located in the Downtown Design Overlay District (DDOD). The remaining were evenly split with six (6) or 12% of the cases located in the Hilltop Campus Village Overlay District; five (5) or 10% were RIDO cases; and four (4) or 8% were located in the Historic Shopping District area of the Village of East Davenport.


REZ 17-01
REZ 17-02
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FDP16-07
REZ 16-08
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REZ 16-09
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Rezonings & Final Development Plans
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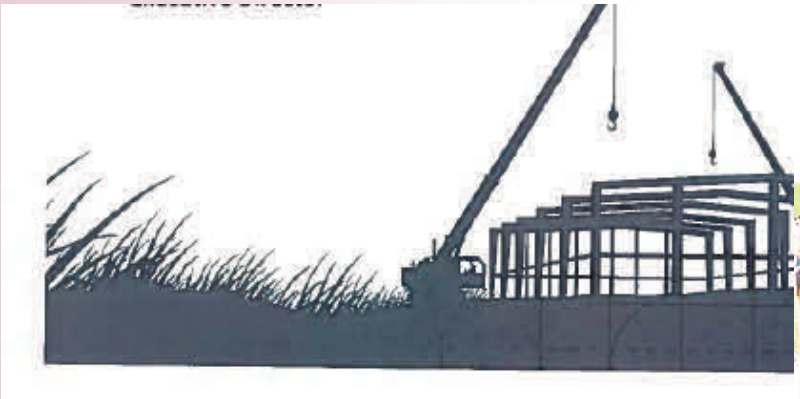
Approved or Pending Rezonings

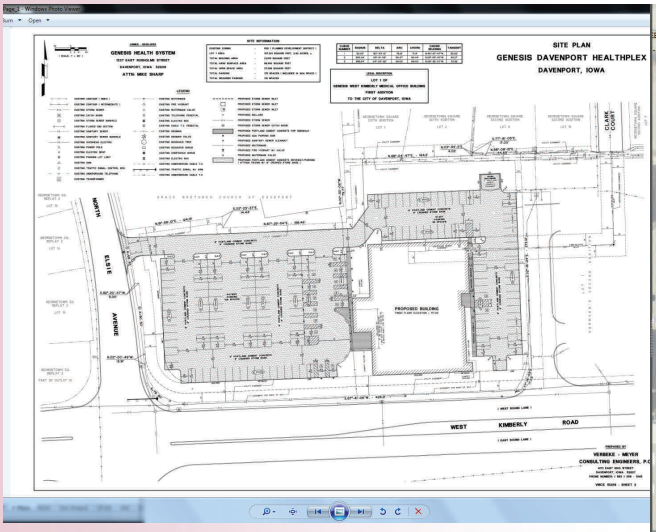
Case #	Petitioner	Location	Acres	Zoning	Council Action	Census Tract	Ward/ Pre-cinct
REZ16-07	Juan Goitia	1002 Bridge Ave	0.52	R-4 to R-4PUD	10/12/16 2016-483	106	54
REZ16-08	Classic Development Co Inc.	4504-06 Fairmount St & 3705-07 W 46th St	0.59	R-5M to R-4PUD	10/12/16 2016-482	126.02	22
REZ16-09	Jamie Banfield	3025 Harrison St	0.17	R-4 to C-1	11/09/16 2016-527	117	72
REZ16-10	Derrick Nix	SE cor 53rd & Marquette Sts	0.75	R-2 to R-3PUD	12/14/16 2016-569	128.02	73
REZ16-11	Raju Penmatchu	Lot 1 Americana Park 2nd—65th & Scott Sts	13.50	R-3PUD to R-5MPUD	02/08/17 2017-49	128.01	81
REZ17-01	GDRC	SE of Slopertown & Hillandale RdsR	40.00	A-1 to M-1	02/08/17 2017-47	102.02	81
REZ17-02	GDRC & City of Davenport	SW of Slopertown Rd & Division St	158.62	A-1 to M-1	02/08/17 2017-48	102.02	81
REZ17-03	City of Davenport	76th St W of Division St	64.60	A-1 to M-1	06/28/17 2017-265	126.01	81
REZ17-04	Costco Wholesale Corp	53rd St W of Elmore Cir	17.17	A-1,R-1 & R-2 to PDD		129.01	61
REZ17-05	Steven & Merideth Hirsch	5135 Marquette St	0.65	R-1 to R-3PUD		128.02	73

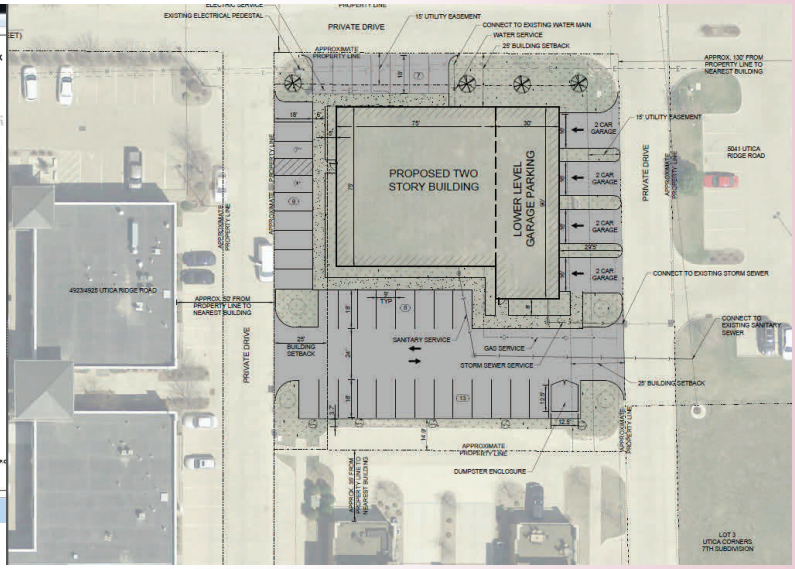


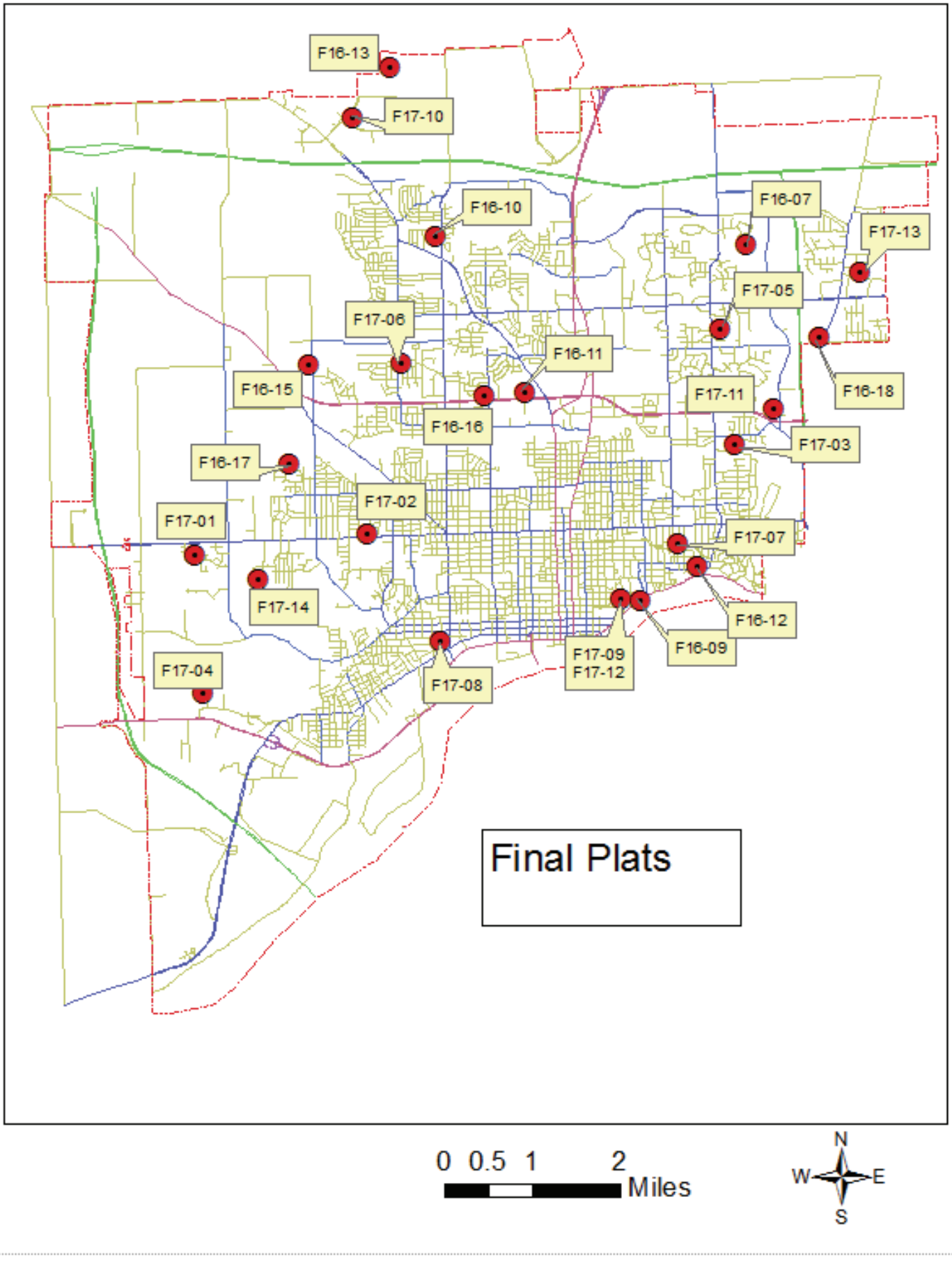
Approved or Pending

Final Development Plans

Case #	Petitioner	Location	Project	Zoning	Council Action	Census Tract	Ward/ Precinct
FDP16-06	Equity Ventures Comm Dev LC	3805 E 53rd St	1.70	PDD	07/27/16 2016-345	129.02	62
FDP16-07	Lange Inc	NW of Utica Ridge Rd & Market Square Cir	3.0	PDD	2017-05	129.02	62
FDP17-01	Geifman Food Stores Inc	4939 Utica Ridge Rd	0.69	PDD	03/08/17 2017-95	129.02	62
FDP17-02	Genesis Health Sys-tems	3200 W Kimberly Rd	2.92	PDD	06/28/17 2017-268	126.02	22
FDP17-03	Build to Suit	Lot 9 Utica Corners 6th	1.2	PDD	0614/17 2017-242	129.02	62
FDP17-04	Costco Wholesale Corp	2780-2786 E 53rd St	17.1	PDD		129.01	61






F16-13
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Final Plats
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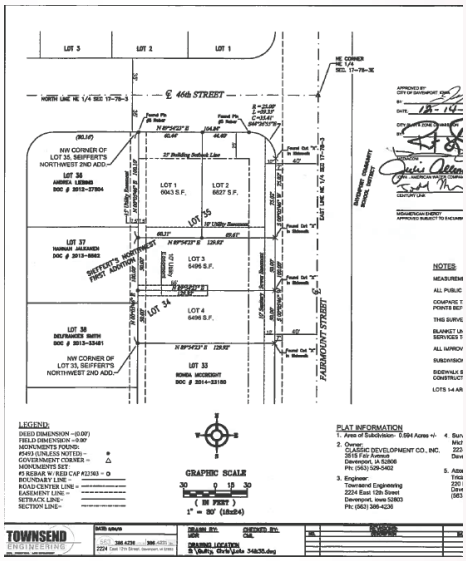
Approved or Pending Final Plats

Case #	Subdivision Name	Acres	Zoning	Lots	Council Action	Recorded	Census Tract	Ward/ Precinct
F16-07	Jersey Farms 11th	0.47 1.08	R-2 R-2PUD	2	10/26/16 2016-505	11/04/16 2016-31241	129.01	61
F16-09	Continental Lots LLC	1.44	M-1	3	10/12/16 2016-484	10/14/16 2016-28968	106	34
F16-10	Amato Way	4.99	R-1	4	09-27-16 2016-448	10/10/16 2016-28341	128.01	82
F16-11	Village Shopping Ctr Subdivision No 3	24.99	PDD	4	10/26/16 2016-504	10/28/16 2016-30430	127.02	73
F16-12	Wisor's Historic	0.28	HSD	1			115	53
F16-13	Kraft 1st	61.65	M-1	2	11/09/16 2016-528	2017-1778	102.02	81
F16-15	Seiffert's NW 2nd	0.59	R-4 PUD	4	12/04/16 2016-572	2016-36619	126.02	22
F16-16	Old K's Subd No 2	0.45	PDD	1	02/22/17 2014-73		127.02	71
F16-17	Crystal Creek 8th	19.77	R-3	3	03/22/17 2017-114	04/04/17 2017-8412	125.01	11
F16-18	Utica Ridge Comm Park 5th	1.65	PDD	1	01/25/17 2017-28	02-03-17 2017-3011	129.02	62
F17-01	Westport	7.23 10.35	R-5M R-4	54	06/14/17 2017-240	07/07/17 2017-17989	125.02	13
F17-02	Windmill Hill 3rd	0.68	C-1	1	04-12-17 2017-139	04/20/17 2017-9599	121	41
F17-03	Daisy Fields	0.53	R-2	2	04-12-17 2017-140	04/24/17 2017-9726	130	63
F17-04	Cross 1st	0.82	PDD	1	05/10/17 2017-195	06/17/17 2017-14185	124	13



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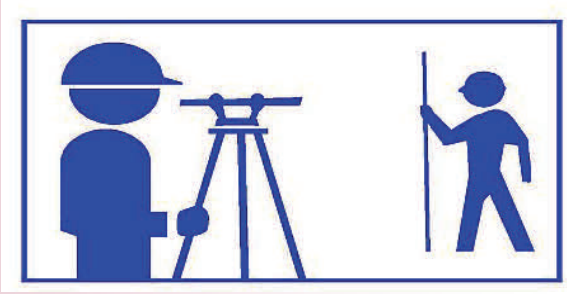
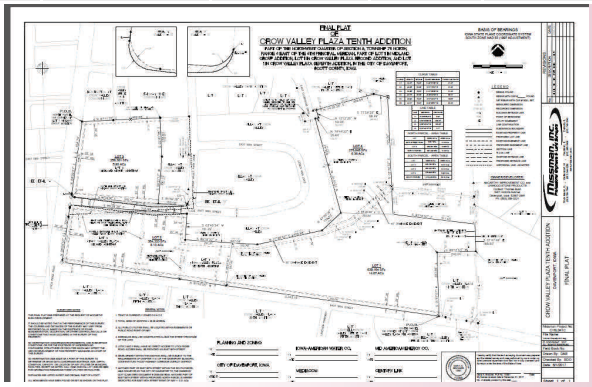
Approved or Pending Final Plats

(continued)

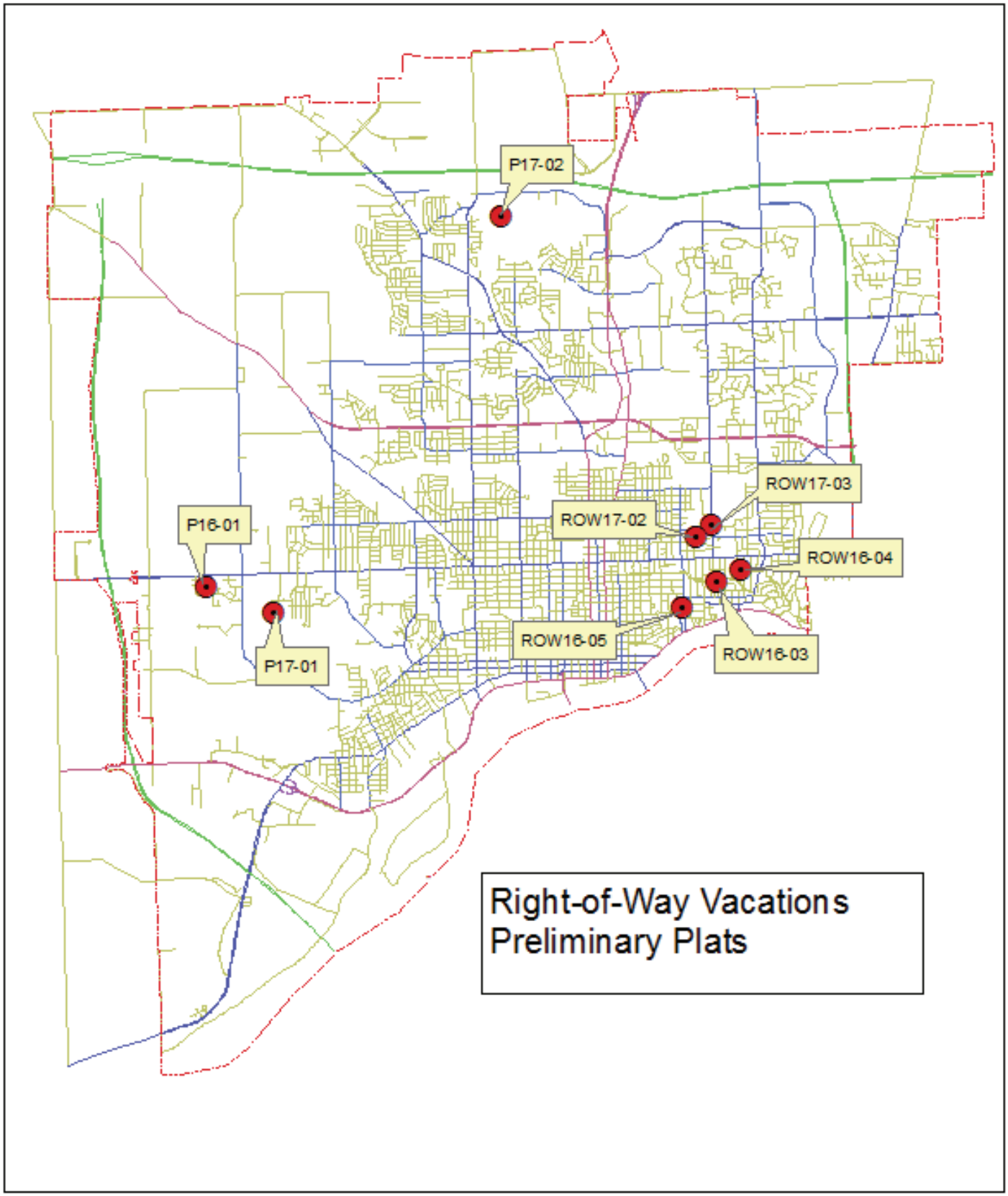
Case #	Subdivision Name	Acres	Zoning	Lots	Council Action	Recorded	Census Tract	Ward/ Precinct
F17-05	Villas at Pheasant Creek 2nd	6.12	R-2PUD	35			129.02	62
F17-06	Quinn's Outlots 2nd	0.37	R-4	2	06/14/17 2017-241		127.02	82
F17-07	Lampton	3.37	R-4	2			115	53
F17-08	Bryr's	0.83	PDM-2D	12			124110	1331
F17-09	Riverview on 6th	0.84	R-4	3	06/28/17 2017-266		106	34
F17-10	I-80 Airport Indus Pk 10th	29.44	M-1	2	06/28/17 2017-267		102.02	81
F17-11	Windsor Meadows Comm Pk 3rd	0.46	PDD	1			129.02	62
F17-12	Riverview Collective on Sixth	1.47	R-4	6			106	34
F17-13	Crow Valley Plaza 10th	35.30	C-O C-1	4	07/26/17		129.02	61
F17-14	Falcon Pointe	22.16	R-3	39			125.02	12





Denied or Withdrawn Final Plats

Case #	Subdivision Name	Acres	Zoning	Lots	Council Action	Recorded	Census Tract	Ward/ Precinct
F16-08	Davenport Indus Park 6th	5	M-2	2	Withdrawn		124	14
F16-14	Crow Valley Plaza 10th	5.00	C-O C-2	1	Revised see F17-13		129.01	61



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Approved or Pending Preliminary Plats

Case #	Subdivision Name	Acres	Zoning	Lots	Council Action	Census Tract	Ward/ Precinct
P16-01	Westport Add'n	7.23 10.35	R-5M R-4	54	09/14/16 2016-425	125.02	13
P17-01	Falcon Pointe 1st	22-15	R-3	70	05/10/17 2017-197	125.02	12
P17-02	Inverness Estates	123	R-3PUD R-4PUD	246	06/14/17 2017-243	128.01	83

Approved or Pending Right-of-Way Vacations

Case #	Petitioner	Type	Location	Area	Council Action	Census Tract	Ward/ Precinct
ROW16-03	Mark Barnes	Street	2151 Kirkwood Blvd	310	09/14/16 2016-421	115	53
ROW16-04	Juan Goitia	Street	14th St E of Christie St	5,800	03/08/17 2017-91	106	54
ROW16-05	Juan Goitia	Street	E 10th in front of 1002 Bridge Ave	2,250	01/25/17 2017-25	115	54
ROW17-02	Genesis Health System	Street	Lombard btw College & alley E of Esplanade	16,800	07/12/17 2017-292	116	53
ROW17-03	Genesis Health System	Street	Denison W of the Railroad to Adams St	11,400	7/12/17 2017-293	117	53

Denied or Withdrawn Right of Way Vacations

Case #	Petitioner	Type	Location	Area	Council Action	Census Tract	Ward/ Precinct
ROW17-01	St Paul the Apostolic Church	Strreet	Rusholme St btw Arlington & Carey Aves	36,700	Withdrawn	116	53

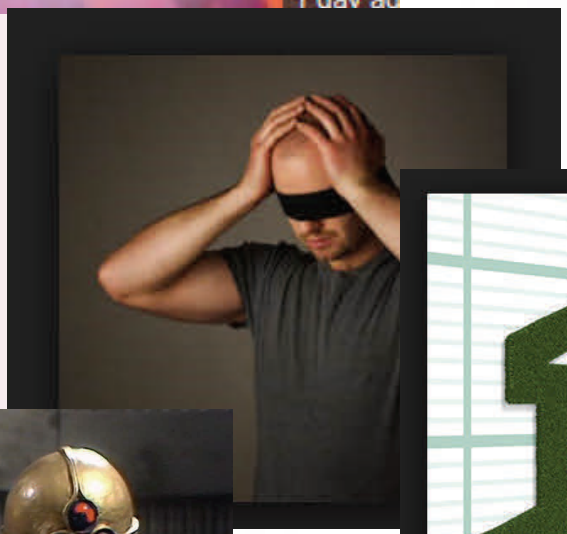
TRENDS

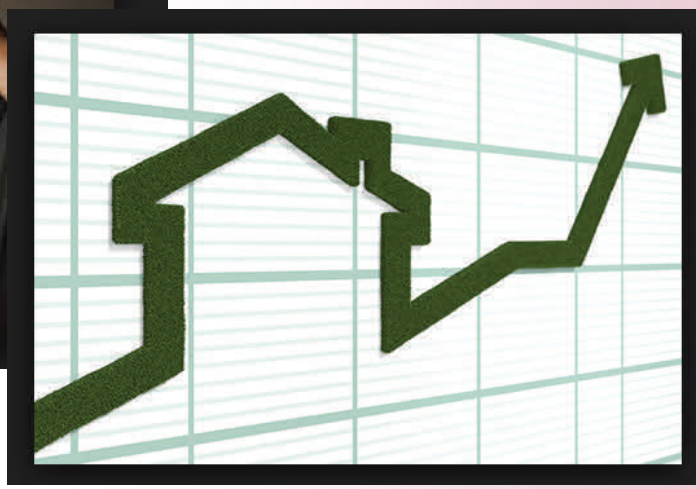
TABLE OF LAND USE ACTIVITY -- FY2012 THRU FY 2017						
PLAN & ZONING COMMISSION	FY2013	FY2014	FY2015	FY2016	FY2017	5-Year Total
Rezoning Petitions	9	16	20	9	10	64
Final Subdivision Plats	23	19	20	14	26	102
Preliminary Subdivision Plats	0	1	0	0	3	4
Street Vacations & Name Change	0	5	10	8	5	28
Final Development Plans	13	9	8	7	6	43
Flood Plain Variances	0	1	0	0	0	1
Ordinance Text Amendments	5	3	0	2	2	12
Comp Plan Map Reviews (includes SSMID & EDA)	2	7	2	5	1	17
Item Totals	52	61	60	45	53	271
Design Review Board *	52	47	51	47	50	247
Site Plan Review	40	36	35	26	18	155
ZONING BOARD OF ADJUSTMENT	FY2013	FY2014	FY2015	FY2016	FY2017	5-Year Total
Hardship Variances	26	23	20	23	16	108
Special Use Permits	13	17	22	14	12	78
Home Occupation Permits	2	4	3	3	4	16
Special Exceptions	3	6	3	3	2	17
Appeals of Admin Decisions	0	0	2	1	1	4
Item Totals	44	50	50	44	35	223
HISTORIC PRESERVATION COMMISSION	FY2013	FY2014	FY2015	FY2016	FY2017	5-Year Total
Landmark Designations	1	1	1	5	1	9
Certificates of Appropriateness	14	16	13	21	19	83
Demolition Reviews	0	3	2	14	1	20
Environmental Reviews (Section 106)	238	189	93	75	70 thru May	665
MISCELLANEOUS	FY2013	FY2014	FY2015	FY2016	FY2017	5-Year Total
Liquor License Reviews	264	288	266	277	268	1363
Sign Permit Reviews	93	84	**	69	57	303

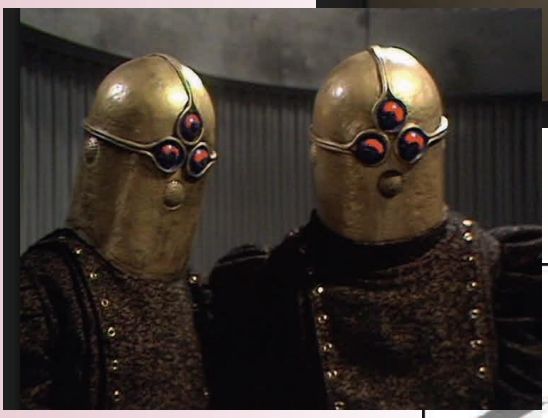
Building Office Summary

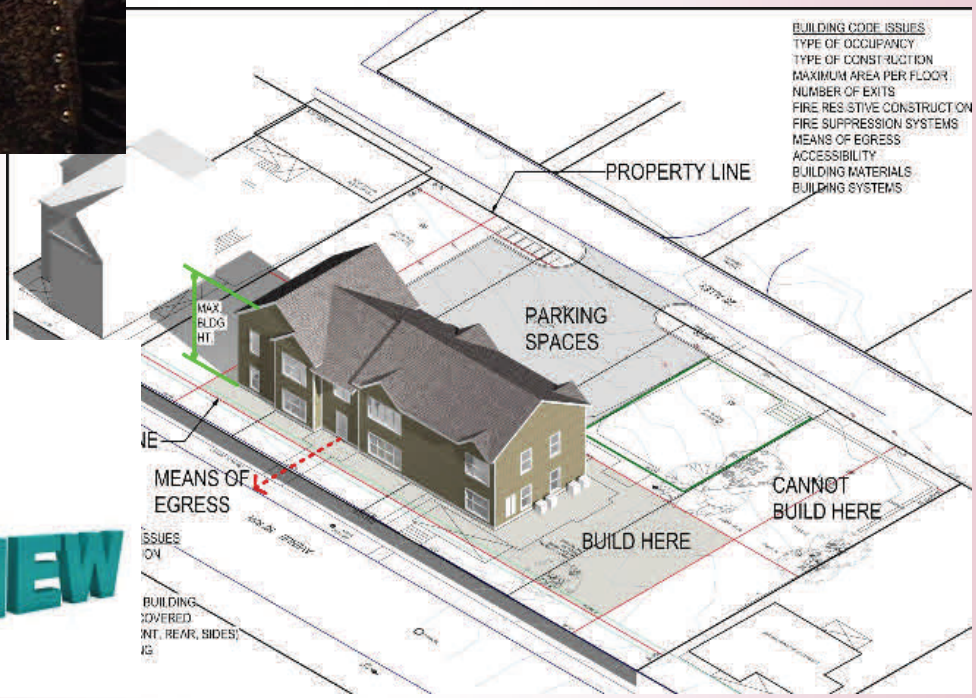
Fiscal Year	FY2013		FY2014		FY2015		FY2016		FY2017		5-year totals	
Building Permit Types	Permits	Valuation*	Permits	Valuation*	Permits	Valuation*	Permits	Valuation*	Permits	Valuation*	Permits	Valuation*
Residential Reroof	887	$ 4,617,005.00	1023	$ 5,844,887.00	880	$ 5,206,310.11	1481	$ 9,846,310.62	1256	$ 8,472,329.73	5527	$ 33,986,842
Residential Reside	152	$ 979,308.00	126	$ 935,043.00	153	$ 1,349,306.76	241	$ 2,006,354.62	163	$ 1,485,343.05	835	$ 6,755,355
Commercial Reroof	89	$ 2,836,093.00	89	$ 1,770,518.50	85	$ 2,397,409.80	89	$ 4,028,714.20	109	$ 5,250,959.76	461	$ 16,283,355
Commercial Reside	3	$ 34,100.00	5	$ 116,900.00	9	$ 138,016.00	15	$ 133,422.00	14	$ 100,928.00	46	$ 523,366
New Single Family Buildings	117	$ 20,082,145.00	112	$ 20,236,615.00	81	$ 17,990,263.00	99	$21,875,108.00	112	$ 22,626,726.00	521	$ 102,810,857
New Multi Family Buildings	1	$ 5,600,000.00	4	$ 2,160,000.00	4	$ 5,046,068.00	10	$16,210,567.00	0	$ 0.00	19	$ 29,016,635
New Residential Garages	41	$ 550,819.00	60	$ 1,135,855.00	54	$ 947,289.00	45	$ 1,106,988.00	51	$ 1.140,739.98	251	$ 4,881,691
New Commercial	22	$ 17,157,164.00	24	$ 35,646,358.00	30	$ 71,405,840.00	26	$122,808,759.00	23	$ 30,227,670.00	125	$ 277,245,791
New Industrial	2	$ 4,694,885.00	1	$ 998,900.00	0	$0.00	3	$23,295,802.00	1	$ 43,190,255.00	7	$ 72,179,842
Residential Remodels	659	$ 7,925,326.00	539	$ 6,042,739.50	494	$6,175,138.39	480	$4,149,879.13	474	$ 5,162.343.36	2646	$ 29,455,426
Commercial Remodels	190	$ 37,792,460.00	178	$ 65,663,681.00	183	$ 91,038,522.00	193	$62,200,901.00	195	$ 82,904,826.34	939	$ 399,600,390
Industrial Remodels	13	$ 9,562,731.00	12	$ 5,140,786.00	1	$ 90,000.00	0	$0.00	1	$ 778,000.00	27	# 15,571,517
Miscellaneous	307	$ 2,055,223.00	429	$ 2,382,393.00	421	$ 4,666,823.68	460	$ 6,101,890.24	474	$ 5,773,358.23	2091	$ 20,979,688
Totals	2483	$ 113,887,259.00	2602	$148,047,676.00	2395	$206,450,986.74	3142	$275,141,935.95	2873	$ 208,218,111.31	13495	$951,745,969
Fee Types	Permits	Fees*	Permits	Fees*	Permits	Fees*	Permits	Fees*	Permits	Fees*	Permits	Fees*
Building	2483	$ 624,082.86	2602	$ 836,642.09	2395	$ 16,507,926.88	3142	$ 1,377,240.14	2873	$ 1,104,631.86	13,024	$ 20,450,524
Mechanical	1491	$ 195,377.00	1612	$ 278,441.82	1682	$ 201,723.19	1507	$ 145,143.00	1562	$ 300,217.05	7,780	$ 1,120902
Electrical	901	$ 109,953.00	950	$ 107,707.37	897	$ 200,129.70	897	$ 290,286.00	947	$ 231,574.65	4,594	$ 939,651
Plumbing	820	$ 80,969.00	986	$ 98,250.64	918	$ 117,048.89	841	$ 580,562.00	846	$ 145,519.93	4,378	$ 1,022,350
Meter Inspection	321	$ 4,650.00	302	$ 4,920.00	178	$ 8,045.00	249	$ 1,161,124.00	203	$ 11,000.00	1,286	$ 1,189,793
Mobile Homes	10	$ 40.00	24	$ 1,068.00	30	$ 2,310.00	44	$ 3,696.00	9	$ 693.00	121	$ 2,326,314
Totals	6026	$ 1,015071.86	6,476	$ 1,327,029.92	6100	$ 17,037,183.66	6,682	$ 5,876,558.14	6410	$ 1,793,636.49	31,185	$ 27,049,480

TRENDS
2017
1 day ag








BUILDING CODE ISSUES
TYPE OF OCCUPANCY
TYPE OF CONSTRUCTION
MAXIMUM AREA PER FLOOR
NUMBER OF EXITS
FIRE RESISTIVE CONSTRUCTION
FIRE SUPPRESSION SYSTEMS
MEANS OF EGRESS
ACCESSIBILITY
BUILDING MATERIALS
BUILDING SYSTEMS
PROPERTY LINE
MAX. BLDG HT.
PARKING SPACES
MEANS OF EGRESS
CANNOT BUILD HERE
BUILD HERE

REVIEW

City of Davenport
Plan and Zoning Commission

Department: Community Planning & Economic Development **Date**
Contact Info: Matt Flynn, 888-2286 **8/1/2017**

Subject:
Note: Pursuant to §17.60.030 and §2.64.120 of the Davenport City Code the Commission is required to act on this item within 30 days unless the petitioner waives this requirement. Pursuant to the city code if the Commission does not act and report on this item within 30 days' time this agenda item is to be construed as approved by the Commission.
Note: The Plan and Zoning Commission meeting is not a public hearing. It is time for the commission to discuss the issue(s) with City staff and if questions rise, with the developer.
A rezoning or ordinance text amendment has a second public hearing before the City Council at its Committee of the Whole meeting. Notification of that meeting will be sent to surrounding owners following the Plan and Zoning Commission meeting.

Next Public Hearing/Regular Plan & Zoning Meeting: Monday, August 15, 2017 at 5:00 P.M. in the Council Chambers of Davenport City Hall 226 West 4th Street.

REVIEWERS:

Department	Reviewer	Action	Date
City Clerk	Wille, Wayne	Approved	7/27/2017 - 4:32 PM